



70 TAPLEY STREET  
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## **MEETING AGENDA**

**DATE:** Thursday, May 21, 2026

**TIME:** 5:30 PM

**PLACE:** Congressman Richard E. Neal Municipal Operations Center  
Video Conference Room  
70 Tapley Street, Springfield, MA 01104

### **I. ROLL CALL & PROCEDURES**

### **II. ACCEPTANCE OF MINUTES**

- 1) *SPRINGFIELD HISTORICAL COMMISSION MEETING HELD ON APRIL 16, 2026*
- 2) *SPRINGFIELD HISTORICAL COMMISSION MEETING HELD ON MAY 7, 2026*

### **III. ADVISORY REVIEWS (Non-Hearings)**

- 1) *SECTION 106 – 24 BOWLES PARK (SAMUEL BOWLES ELEMENTARY SCHOOL), BOWLES PARK, AND EAST STREET:* Sidewalk and Pedestrian Improvements
- 2) *SECTION 106 – RIVERFRONT PARK:* Park Access and Parking Lot Improvements
- 3) *SECTION 106 – 334 FRANKLIN STREET:* Demolition of an Existing Building(s)
- 4) *SECTION 106 – 346 FRANKLIN STREET:* Demolition of an Existing Building(s)
- 5) *SECTION 106 – 28 UNDERWOOD STREET:* Demolition of an Existing Building(s)
- 6) *SECTION 106 – 385 FRANKLIN STREET:* Demolition of an Existing Building(s)

### **IV. PUBLIC HEARINGS (Continued)**

- 1) *60 BYERS STREET:* Eliminate Two Windows and Replace Multiple Doors
- 2) *207 PINE STREET:* Front Porch, Rear Porch, Exterior Renovations & Repairs
- 3) *WS WESTMINSTER STREET (12201-0032):* Single-Family Dwelling

### **V. PUBLIC HEARINGS (New)**

- 1) *NS CLARENDON STREET (02820-0055):* Single-Family Dwelling
- 2) *WS BUCKINGHAM STREET (02042-0022):* Single-Family Dwelling

### **VI. OTHER MATTERS PROPERLY BEFORE THE COMMISSION**

- 1) *LYMAN STREET DEMOLITION UPDATE*
- 2) *ADMINISTRATIVE UPDATES*
- 3) *CORRESPONDENCE TO COMMISSION*
- 4) *JUNE 4, 2026 QUORUM CALL*
- 5) *PUBLIC SPEAK-OUT SESSION*

# ***SPRINGFIELD HISTORICAL COMMISSION***

***THURSDAY, MAY 21, 2026 | HEARING OVERVIEWS***

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## ***ADVISORY REVIEWS***

### **24 BOWLES PARK (SAMUEL BOWLES ELEMENTARY SCHOOL), BOWLES PARK, AND EAST STREET (SECTION 106)**

- **STAFF COMMENTS:**
  - At the Commission's May 7 meeting, the Commission was unable to determine if there would be an adverse impact to the property and/or surrounding area due to the lack of detail. Plans have since been submitted and a representative is intending on attending the meeting to answer any questions.
- **HISTORIC DISTRICT:** n/a
- **APPLICATION SUBMISSION DATE:** Wednesday, April 15, 2026
- **APPLICATION EXPIRATION DATE:** Friday, May 15, 2026
- **APPLICATION OVERVIEW:** Members from the Toole Design Group, LLC are requesting that the Commission review pedestrian safety improvements on Bowles Park, which are to be funded through the 2027 Transportation Improvement Program for the Pioneer Valley Planning Commission, and in accordance with the State's Environmental Review Checklist. The project consists of reconstructing existing sidewalks and constructing of new sidewalks, installing of ADA curb ramps, incorporating new pedestrian crossing crossings along the school frontage of Bowles Park between Windemere Street and Osborne Terrace, as well as making key geometric and safety upgrades to the intersection of Bowles Park and East Street.
- **LETTER OF AUTHORIZATION:** n/a
- **SUBMITTED WRITTEN COMMENT:** n/a
- **DRAFT APPROVAL MOTION:**

*To find that the proposed work will not be detrimental to the area/building and that the project will have no adverse impact on the historical character of the area/buildings.*

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### **RIVERFRONT PARK (SECTION 106)**

- **LOCAL HISTORIC DISTRICT:** None
- **APPLICATION SUBMISSION DATE:** Tuesday, May 12, 2026
- **APPLICATION EXPIRATION DATE:** Thursday, June 11, 2026
- **APPLICATION OVERVIEW:** Members from Amtrak are requesting that the Commission review the proposed project involving the reconstruction of the existing paved parking area. Additional project activities include developing a communal space in the parking area and installing an ADA-compliant concrete ramp from the existing sidewalk on Hall of Fame Avenue to the Riverfront Park Entrance.

- **LETTER OF AUTHORIZATION:** n/a
- **SUBMITTED WRITTEN COMMENT:** n/a
- **DRAFT APPROVAL MOTION:**

*To find that the proposed work will not be detrimental to the area/building and that the project will have no adverse impact on the historical character of the area/buildings.*

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**334 FRANKLIN STREET, 346 FRANKLIN STREET, 28 UNDERWOOD STREET, AND 385 FRANKLIN STREET (SECTION 106)**

- **LOCAL HISTORIC DISTRICT:** None
- **APPLICATION SUBMISSION DATE:** Monday, May 18, 2026
- **APPLICATION EXPIRATION DATE:** Wednesday, June 17, 2026
- **APPLICATION OVERVIEW:** Members from Home City Development, Inc. are requesting that the Commission review the proposed project involving the demolition and construction of 55 affordable rental apartments on the following four sites: 334 Franklin Street, 346 Franklin Street, 28 Underwood Street, and 38 5 Franklin Street.
- **LETTER OF AUTHORIZATION:** n/a
- **SUBMITTED WRITTEN COMMENT:** n/a
- **STAFF COMMENTS:** Should the buildings be older than 75 years, a Demolition Delay waiver from the Historical Commission will be required if the developer wishes to proceed any sooner than nine months from when the Demolition Permit Application is filed with the Building Department.
- **DRAFT APPROVAL MOTION:**

*To find that the proposed work will not be detrimental to the area/building and that the project will have no adverse impact on the historical character of the area/buildings.*

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***CONTINUED HEARINGS***

**60 BYERS STREET (APPROPRIATENESS)**

- **REASON FOR CONTINUANCE:** The hearing was continued because the Commission did not have a quorum to vote on the application.
- **LOCAL HISTORIC DISTRICT:** Thurston Munson House
- **APPLICATION SUBMISSION DATE:** Wednesday, April 15, 2026
- **APPLICATION EXPIRATION DATE:** Sunday, June 14, 2026
- **APPLICATION OVERVIEW:** The Petitioner has submitted an Application for Certificate of Appropriateness for the purpose of removing two (2) second floor windows, as visible from Byers Street, as well as replacing multiple doors:
  - The Petitioner has advised that the two rectangular windows on the front façade were not part of the original structure and added for two internal bathrooms that

have since been removed. The Petitioner is proposed to seal the openings and stucco the exterior.

- The Petitioner is proposing to replace three Art Deco-styled doors with MP Doors fiberglass/metal Art Deco-styled doors, black in color.
- **STAFF COMMENTS:** none
- **LETTER OF AUTHORIZATION:** n/a
- **SUBMITTED WRITTEN COMMENT:** none
- **DRAFT APPROVAL MOTION:**

*To approve the removal of two second floor windows and seal the openings with stucco exterior, as well as the replacing three Art Deco-styled doors with MP Doors fiberglass/metal Art Deco-styled doors, black in color, as presented in the application and during this evening's hearing.*

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### **207 PINE STREET (APPROPRIATENESS)**

- **REASON FOR CONTINUANCE:** The hearing was continued at the request of the Petitioner.
- **LOCAL HISTORIC DISTRICT:** Maple Hill
- **APPLICATION SUBMISSION DATE:** Thursday, April 9, 2026
- **APPLICATION EXPIRATION DATE:** Monday, June 8, 2026
- **APPLICATION OVERVIEW:** The Petitioner has submitted an Application for Certificate of Appropriateness for the purpose of making various front porch renovations:

- Replacing front porch pressure-treated wood balusters and front steps with new black balusters with white posts;
- Replacing the three-story pressure-treated wood porch with a new three-story pressure-treated wood porch.

- **STAFF COMMENTS:**

- Staff originally flagged issues relating to the property last year, noting that work to the first-floor front door; second-floor front-door; and features relating to the first-floor porch, railing, and spindles appear to have been completed without approval from the Commission.

- **LETTER OF AUTHORIZATION:** n/a
- **SUBMITTED WRITTEN COMMENT:** n/a
- **DRAFT APPROVAL MOTION:**

*To approve the proposed renovation work involving the replacement of the front porch pressure-treated wood balusters and front steps with new black balusters containing white posts, and the replacement of the three-story pressure-treated wood porch with a new three-story pressure-treated wood porch, as presented in the application and during this evening's hearing.*

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### **WS WESTMINSTER STREET (APPROPRIATENESS)**

- **REASON FOR CONTINUANCE:** The hearing was continued to allow the Petitioner to update the application after the following requests by the Commission were made:
  - Submit detailed drawings of the handrail;
  - Update the elevation drawings to depict framed lattice;

- Update the elevations to indicate the material of the proposed shakes;
- Reposition the porch lamps so they align with one another;
- Remove the shutters from the elevation plans;
- Ascertain the venting infrastructure and depict it accordingly; and
- Ascertain the railing height and adjust the elevation plans accordingly.
- **STAFF COMMENTS:** The Petitioner has made the requested updates, which are provided in the updated packet.
- **LOCAL HISTORIC DISTRICT:** McKnight
- **APPLICATION SUBMISSION DATE:** Monday, April 13, 2026
- **APPLICATION EXPIRATION DATE:** Friday, June 12, 2026
- **APPLICATION OVERVIEW:** The Petitioner has submitted an Application for Certificate of Appropriateness for the purpose of constructing a Single-Family Dwelling. The Petitioner is specifically proposing the following:
  - Thirteen (13) MaxView II double-hung, double-pane, black vinyl windows, with interior six-over-six grids;
  - Two Home Depot black colonial steel doors with side lights;
  - James Hardie Board siding, aged pewter in color; and
  - Landmark Pro Certainteed Architectural Shingles, pewterwood in color;
- **APPROVED WINDOW STATUS:** The Commission has not approved the MaxView II window in the past, as it is not listed on the approved window list.
- **LETTER OF AUTHORIZATION:** n/a
  - **SUBMITTED WRITTEN COMMENT:** n/a

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## ***NEW HEARINGS***

### **NS CLARENDON STREET (02820-0055)**

- **LOCAL HISTORIC DISTRICT:** McKnight
- **APPLICATION SUBMISSION DATE:** Friday, May 1, 2026
- **APPLICATION EXPIRATION DATE:** Tuesday, June 30, 2026
- **APPLICATION OVERVIEW:** The Petitioner has submitted an Application for Certificate of Appropriateness for the purpose of constructing a single-family dwelling. The Petitioner is specifically proposing the following:
  - **WINDOWS:** Twenty (20) Simonton 5500 Reflections double-hung, double-pane windows, laminate materials, black external color with no grids.
  - **DOORS:** One Therma-Tru fiberglass door (front) and one Simonton-patio fiberglass door (rear).
  - **SIDING:**
    - Everlast advanced composite material – the main siding will be cedar woodgrain texture-like clapboard style; the front gable end will be board and batten style siding.
    - Front-facing wood decorative shutters affixed to the building;
    - Everlast composite or hardie board to be used for the trim;

- **ROOFING:**
  - GAF Timberline natural shadow asphalt shingles, charcoal in color;
  - A ridge vent will be installed;
- **PORCH:**
  - Full length porch containing Douglas fir tongue and groove decking running perpendicular to the front wall of the house;
  - Wood square columns;
  - Framed wood lattice in three sections;
  - Three (3) foot high railings that do not exceed the bottom of the window sill;
  - A wood railing where the balusters sit between the upper and lower rails, as shown in the accompanying pictures.
- **MISCELLANEOUS:**
  - The electric meter to be placed on the left elevation (west side) towards the rear of the property;
  - Compressor unit to be located at the rear of the building between the rear porch and the basement bulk head; and
  - The building is to be situated on the lot so it is along the same front plane as 51 Clarendon Street.
- **APPROVED WINDOW STATUS:** The Simonton 5500 Reflections window model was approved by the Commission on December 4, 2025 as part of a Certificate of Appropriateness application relating to 238 Sumner Avenue, which was proposed by the same Petitioner.
- **STAFF COMMENTS:** None
- **LETTER OF AUTHORIZATION:** n/a
- **SUBMITTED WRITTEN COMMENT:** None

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### **WS BUCKINGHAM STREET (02042-0022)**

- **LOCAL HISTORIC DISTRICT:** McKnight
- **APPLICATION SUBMISSION DATE:** Friday, May 1, 2026
- **APPLICATION EXPIRATION DATE:** Tuesday, June 30, 2026
- **APPLICATION OVERVIEW:** The Petitioner has submitted an Application for Certificate of Appropriateness for the purpose of constructing a single-family dwelling with the same features, noting the following differences between the application:
  - The electric meter to be placed on the left elevation (south side) towards the rear of the property;
  - The building is being situated so it is along the same front plane as 104 Buckingham Street.
- **LETTER OF AUTHORIZATION:** n/a
- **SUBMITTED WRITTEN COMMENT:** None
- **STAFF COMMENTS:** None

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## ***OTHER MATTERS BEFORE THE COMMISSION***

NONE

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## ***ADMINISTRATIVE UPDATES***

- ***FOR YOUR INFORMATION (FYI)***
  - None
- ***QUESTIONS TO THE COMMISSION***
  - None
- ***RECENTLY APPROVED CERTIFICATES OF NON-APPLICABILITY***
  - ***119 MAPLEWOOD TERRACE*** → CPC Historic Homes Restoration Grant Non-Applicability Application – Multiple Exterior Restorations
  - ***48 CLARENDON STREET*** → CPC Historic Homes Restoration Grant Non-Applicability Application – Paint
  - ***39 WESTMINSTER STREET*** → Asphalt Shingle Roof to Asphalt Shingle Roof
  - ***114 PARK DRIVE*** → Repairs to Front Entrance, Repairs to Rotted Wood, Rebuild Basement Covers, Re-establishing/Reconstructing Brick Façade
  - ***35 RIVERVIEW TERRACE*** → Asphalt Shingle Roof to Asphalt Shingle Roof
  - ***477 STATE STREET*** → Replacement of Asphalt Shingle Roof and Repointing & Repairing Existing Bricks; Replacing Missing Brick; Rebuilding Lower Brick Wall; Re-mortaring & Repairing Existing Mortar
  - ***25 OXFORD STREET*** → Rear Door Replacement
  - ***14 FAIRFIELD STREET*** → Replacing Wooden Shingles, Rotted Soffits, Rotted Trim, and Repainting the Entire Primary Building
- ***LETTERS OF SUPPORT ISSUED***
  - ***NONE***
- ***NEW VIOLATIONS ISSUED***
  - ***NONE***
- ***VIOLATION RESOLUTION IN PROGRESS***
  - ***174 PINEYWOODS AVENUE*** → Installation of Compressor Unit (*Contacted by Landowner*)
  - ***207 PINE STREET*** → Deviations from Issued Certificate (*Expected on Future Agenda*)
- ***UNRESOLVED VIOLATIONS***
  - ***21 MOUNTAIN VIEW STREET*** → Did not resolve replacement windows that were part of the original 2023 application
  - ***158 SHERMAN STREET*** → Replacement of Side and Front Porch Railings
  - ***275 PINE STREET*** → Replacement of Rear Porch Railings
- ***RESOLVED VIOLATIONS***
  - ***NONE***
- ***STOP-WORK ORDERS ISSUED***
  - ***NONE***
- ***INQUIRIES ISSUED***
  - ***NONE***



## **SPRINGFIELD HISTORICAL COMMISSION MEETING MINUTES**

*THURSDAY, APRIL 16, 2026*

### **COMMISSIONERS IN ATTENDANCE:**

*Kevin Coffee (in-person)  
Judith Crowell (in-person)  
Walter Kroll, Vice Chair (in-person)  
Alfonso Nardi, Chair (remote)  
Vana Nespor (in-person)  
Vincent Walsh (remote)  
Marisa Zorzi (absent)*

### **STAFF AND ELECTED OFFICIALS IN ATTENDANCE:**

*Latoya Smith, Economic Development Planner (in-person)  
Jonathan Carignan, Municipal Maintenance Specialist (in-person)  
Attorney Robert Shewchuk, Associate City Solicitor (remote)*

### **PUBLIC IN ATTENDANCE:**

*Gary White (14 Fairfield Street | in-person)  
Phil Contant (52 Oxford Street | in-person)  
Carl Moccia (14 Cherryvale Avenue | in-person)  
Denise Moccia (14 Cherryvale Avenue | in-person)  
Dmitriy Dyachuk (238 Sumner Avenue | in-person)  
James Sedlak (24 Spruceland Avenue | in-person)  
Siervo Jimenez (80 Cornell Street | in-person)  
Asad Mohmood (167 Maple Street | in-person)  
Rahim Dad (167 Maple Street | in-person)  
Nick Nipon (21 Mountainview Street | in-person)  
Luba [last name unknown] (21 Mountainview Street | in-person)  
Cornelius Phillips (185 Belmont Avenue | in-person)  
Philip Maheu (Representing City of Springfield – 50 Elm Street | in-person)*

### **I. OPENING REMARKS**

- Chair A. Nardi called the meeting to order at 5:30 PM, welcomed attendees, and referenced that agendas were available at the entrance. The Chair asked all attendees to sign in to ensure the public record reflected accurate names and addresses. He then described the evening's order of business and noted that the Commission would proceed item-by-item in accordance with the agenda.
- Before taking up the first hearing, the Chair A. Nardi explained the Commission's standard procedures: each item would include an overview, applicant presentation, questions from Commissioners, public comment (when applicable), and deliberation leading to a motion and recorded vote. He also reminded applicants

that exterior changes require Commission review and approval and that any modifications to an approved scope must return to the Commission.

**II. ROLL CALL**

- Chair A. Nardi proceeded with the evening’s roll call:

<b>COMMISSIONER</b>	<b>ATTENDANCE</b>
<i>Chair Alfonso Nardi</i>	<i>Present – In-Person</i>
<i>Vice Chair Walter Kroll</i>	<i>Present – In-Person</i>
<i>Kevin Coffee</i>	<i>Present – In-Person</i>
<i>Judi Crowell</i>	<i>Absent</i>
<i>Vana Nespor</i>	<i>Present – In-Person</i>
<i>Vincent Walsh</i>	<i>Present – In-Person</i>
<i>Marisa Zorzi</i>	<i>Present – In-Person</i>

**III. ACCEPTANCE OF MINUTES – APRIL 2, 2026**

<b>MOTION TO ACCEPT THE MINUTES OF APRIL 2, 2026</b>	
<b>CHAIR ALFONSO NARDI</b>	<i>YAY</i>
<b>VICE CHAIR WALTER KROLL</b>	<i>MOTION – YAY</i>
<b>KEVIN COFFEE</b>	<i>YAY</i>
<b>JUDI CROWELL</b>	<i>ABSENT</i>
<b>VANA NESPOR</b>	<i>YAY</i>
<b>VINCENT WALSH</b>	<i>SECONDED – YAY</i>
<b>MARISA ZORZI</b>	<i>YAY</i>

- Commissioner W. Kroll made a motion to accept the minutes of April 2, 2026. The motion was seconded by Commissioner M. Zorzi. With no discussion on the motion, it was approved unanimously.

**IV. ENVIRONMENTAL REVIEW – 50 ELM STREET (OLD FIRST CHURCH)**

<b>MOTION TO APPROVE THE PROPOSED PROJECT AT 50 ELM STREET</b>	
<b>CHAIR ALFONSO NARDI</b>	<i>YAY</i>
<b>VICE CHAIR WALTER KROLL</b>	<i>MOTION – YAY</i>
<b>KEVIN COFFEE</b>	<i>YAY</i>
<b>JUDI CROWELL</b>	<i>ABSENT</i>
<b>VANA NESPOR</b>	<i>YAY</i>
<b>VINCENT WALSH</b>	<i>SECONDED – YAY</i>
<b>MARISA ZORZI</b>	<i>YAY</i>

- Jon Carrigan, representing the City of Springfield, and Philip Maheu, the City’s consultant from Gale Associates, were before the Commission to present the Old First Church project. The project is a stabilization-focused project that adheres to recommendations from the Deitz architectural study and has been translated by Gale Associates into an implementable construction scope. Work targets the exterior envelope: masonry repointing and limited rebuilding where needed;

targeted gutter and drainage improvements to mitigate moisture intrusion; repair or replication in kind for missing/damaged trim and balustrade sections; and a parish house roof replacement using asphalt shingles in a slate-look profile, with required ventilation and ice/water shield per building code. No changes are proposed to historic design or materials; mortar and brick will be matched in color and texture following testing of existing mortar to ensure appropriate composition (lime vs. Portland cement context was discussed).

- The City explained funding constraints and the tiered procurement strategy: a base bid with additive alternates to scale the scope depending on bid favorability and any additional funding obtained (trusts, ARPA sources, and potential grants). Commissioners emphasized that matching mortar color/texture is essential to avoid visual discontinuity and material incompatibility; Gale confirmed specifications include on-site testing to identify the original mortar. Commissioners noted the project’s emphasis on addressing time and weather impacts rather than introducing new design elements, and they expressed appreciation for the comprehensive approach and the intention to adhere to historic character.
- Commissioner W. Kroll made a motion to approve the proposed exterior repairs and restoration work at Old First Church, as presented in the submitted materials and during the evening’s meeting, and that the proposed work will not be detrimental to the building and that the project will have no adverse impact on the historical character of the building. The motion was seconded by Commissioner V. Walsh. With no discussion on the motion it was approved unanimously.

V. **CONTINUED PUBLIC HEARING – 21 MOUNTAINVIEW STREET (WINDOWS)**

<b>MOTION TO APPROVE THE WINDOW PROJECT @ 21 MOUNTAINVIEW STREET</b>	
<b>CHAIR ALFONSO NARDI</b>	<i>YAY</i>
<b>VICE CHAIR WALTER KROLL</b>	<i>YAY</i>
<b>KEVIN COFFEE</b>	<i>YAY</i>
<b>JUDI CROWELL</b>	<i>ABSENT</i>
<b>VANA NESPOR</b>	<i>SECONDED – YAY</i>
<b>VINCENT WALSH</b>	<i>MOTION – YAY</i>
<b>MARISA ZORZI</b>	<i>YAY</i>

- Nick Nipon and Luba [last name unknown] were back before the Commission to present their application that was continued at the last meeting, which concerns the vinyl window replacements performed after the 2022 fire. The Petitioners explained that a series of miscommunications occurred resulting in the unauthorized replacement of the windows: they submitted a building permit and a Historical certificate application that initially covered the siding and windows; while the siding component was approved at an earlier hearing, staff did not issue a formal written denial for the windows. Petitioners subsequently believed the windows were approved, particularly given that white vinyl windows had existed prior to the fire and that inspections occurred with a Certificate of Compliance issued for other work.
- Commissioners reviewed the record and acknowledged the prior presence of white vinyl windows alongside the lack of a formal denial notice in the documentation, which contributed to the misunderstanding.

- Commissioners reiterated expectations for developers/landowners to return to the Commission when scopes change or when approvals are ambiguous. They emphasized that while the misunderstanding explained how the situation arose, future exterior alterations must be reviewed. Discussion centered on whether the replacement was consistent with pre-fire conditions and whether the Commission had jurisdiction to require historic-profile units where vinyl had already been established. Based on the record, the Commission found the replacement was essentially like-for-like (vinyl for vinyl) and best handled as Non-Applicability, with a clear reminder to seek approvals going forward.
- Commissioner V. Walsh made a motion to reclassify the Certificate of Appropriateness application to a Certificate of Non-Applicability application and approve the unauthorized replacement windows since the Commission verified that the pre-existing windows were white vinyl windows. The motion was seconded by Commissioner V. Nespor. With no discussion on the motion, it was approved unanimously.

VI. **CONTINUED PUBLIC HEARING – 167 MAPLE STREET**

<b>MOTION TO APPROVE THE UNAUTHORIZED WINDOW REPLACEMENT AT 167 MAPLE STREET</b>	
<b>CHAIR ALFONSO NARDI</b>	<i>YAY</i>
<b>VICE CHAIR WALTER KROLL</b>	<i>SECONDED – YAY</i>
<b>KEVIN COFFEE</b>	<i>YAY</i>
<b>JUDI CROWELL</b>	<i>ABSENT</i>
<b>VANA NESPOR</b>	<i>MOTION – YAY</i>
<b>VINCENT WALSH</b>	<i>YAY</i>
<b>MARISA ZORZI</b>	<i>YAY</i>

- Rahim Dad and Asad Mahmood were back before the Commission to present their application that was continued at the last meeting, which concerned the unauthorized replacement of a second-floor window. Commissioners M. Zorzi and W. Kroll reported findings from a site visit conduct prior to the meeting; many openings retain dark-painted storm windows with interior white replacement units behind them, resulting in a darker exterior read; one opening at the front lacked a storm window. Petitioners stated that much of the interior window work predated their ownership and agreed to match exterior/storm window color across visible elevations to reduce irregularity.
- The Commission discussed the importance of maintaining a coherent street-facing presentation. Given the predominance of storm windows across the elevation and the confusion caused by painted frames, the Commission sought a simple correction that preserves existing conditions while improving consistency. Petitioners expressed willingness to coordinate color and address the missing storm.
- Commissioner V. Nespor made a motion to accept the application with the stipulation that the color of both the exterior and the storm window match the color and in application as closely as possible to the other windows already installed. Commissioner W. Kroll seconded the motion. With no other discussion on the motion, it was approved unanimously.

VII. **NEW PUBLIC HEARING – 185 BELMONT AVENUE**

<b>MOTION TO CONTINUE THE WINDOW PROJECT TO THE MAY 7 AGENDA</b>	
<b>CHAIR ALFONSO NARDI</b>	<i>YAY</i>
<b>VICE CHAIR WALTER KROLL</b>	<i>YAY</i>
<b>KEVIN COFFEE</b>	<i>YAY</i>
<b>JUDI CROWELL</b>	<i>ABSENT</i>
<b>VANA NESPOR</b>	<i>MOTION – YAY</i>
<b>VINCENT WALSH</b>	<i>YAY</i>
<b>MARISA ZORZI</b>	<i>SECONDED – YAY</i>

- The Petitioner, Cornelius Phillips, sought approval to replace 36 windows with black, double-hung units (mix of wood and vinyl), noting prior experience across the street and a desire to improve energy performance and exterior coherence. Commissioners explained the importance of approved “slim-line” profiles whose lower sash sits more naturally on the sill (reducing the visual bulk common with some vinyl units). Commissioners requested clarification about the picture window and asked that the Petitioner provide a physical sample (or detailed section/profile) of an approved window model to confirm sill engagement and exterior appearance.
- The Commission emphasized that one-over-one units without grids simplify review, but profile depth and sill sit-down remain critical to achieving a historically appropriate look. Commissioners encouraged the Petitioner to consult the approved window list and return with product specifications to ensure alignment.
- No public comments were offered.
- Commissioner V. Nespore made a motion to continue the hearing to the next meeting agenda – Thursday, May 7, 2026. The motion was seconded by Commissioner M. Zorzi. With no discussion on the motion, it was approved unanimously.

VIII. **NEW PUBLIC HEARING – 238 SUMNER AVENUE**

<b>MOTION TO APPROVE THE WINDOW PROJECT AT 238 SUMNER AVENUE</b>	
<b>CHAIR ALFONSO NARDI</b>	<i>YAY</i>
<b>VICE CHAIR WALTER KROLL</b>	<i>YAY</i>
<b>KEVIN COFFEE</b>	<i>YAY</i>
<b>JUDI CROWELL</b>	<i>ABSENT</i>
<b>VANA NESPOR</b>	<i>MOTION – YAY</i>
<b>VINCENT WALSH</b>	<i>SECONDED – YAY</i>
<b>MARISA ZORZI</b>	<i>YAY</i>

- Dmitry Dyachuk was before the Commission requesting approval for the unauthorized modification to two windows on the Greenleaf Street-facing side of the residential building addressed at 238 Sumner Avenue.
- Staff learned that the Petitioner had reduced the size of two additional windows (one on the first floor and one on the second) beyond the single window reduction explicitly authorized at a December hearing. The Petitioner explained interior constraints (kitchen sink location, plumbing/electrical routing, small room configuration) and acknowledged proceeding without returning to the Commission

for approval. Commissioners expressed strong concern, underscoring the need for applicants—especially contractors—to adhere strictly to approvals and return for changes.

- Discussion focused on the visual remediation of exterior patches where openings were reduced. Commissioners reviewed photographs and noted that the siding patches were conspicuous, with joints telegraphing the prior opening size. The Commission discussed appropriate remediation techniques, including staggering joints and blending siding to eliminate visible patch lines. The Petitioner agreed to correct the work and pledged to follow Commission procedures for any future exterior changes.
- Phil Contant, from 52 Oxford Street, vocalized opposition to the modification, provided public comment and opining that contractors should know the rules, and that the windows should be restored to their original design. No other members of the public elected to speak on the application.
- Commissioner V. Nespore made a motion to approve the reduction in size of the two additional windows as it relates to the window replacement work, and the siding is to be patched and finished, with the joints staggered and not visible in any form. The motion was seconded by Commissioner V. Walsh. Commissioner W. Kroll sought a good faith pledge to return to the Commission should future modifications occur. The motion was approved unanimously.

**IX. NEW PUBLIC HEARING – E S LONGHILL STREET (07900-0129)**

<b>MOTION TO CONTINUE THE HEARING TO THE MAY 7 MEETING AGENDA</b>	
<b>CHAIR ALFONSO NARDI</b>	<i>YAY</i>
<b>VICE CHAIR WALTER KROLL</b>	<i>YAY</i>
<b>KEVIN COFFEE</b>	<i>YAY</i>
<b>JUDI CROWELL</b>	<i>ABSENT</i>
<b>VANA NESPOR</b>	<i>YAY</i>
<b>VINCENT WALSH</b>	<i>YAY</i>
<b>MARISA ZORZI</b>	<i>YAY</i>

- Siervo Jimenez was before the Commission to re-present the proposed single-family dwelling project at E S Longhill Street (07900-0129). The previous application was denied due to the potential of the application timing out and receiving de facto approval.
- The Petitioner presented a revised new-construction proposal with a reduced width from an earlier iteration and introduced a second-floor front porch to visually lower and break up the massing. Commissioners discussed context and proportion, emphasizing how front-facade width relates to adjacent houses and the broader streetscape.
- Public comment was provided. Denise Moccia from 14 Cherryvale vocalized opposition to the project and opined that the proposed building does not conform to the historic district and that the building is much larger than other buildings in the district.
- Carl Moccia from Cherryvale Avenue vocalized opposition to the project and opined that the trim work was not appropriate for the design.

- James Sedlock from 24 Spruceland Avenue vocalized opposition to the project and opined that the proposed design was the same design as before, which was rejected; that the proposal does not have any historic value.
- Written public comment from Ralph Slate and Ruth Mahoney were read into the record.
- Commissioners requested an accurate site plan (to scale) and recommended a site visit with temporary stakes/posts marking proposed foundation corners and porch limits to understand true scale in situ. They explained that while the Commission does not regulate zoning matters (e.g., lot splits or driveway placement), the street-facing massing and proportions must be appropriate to the district and compatible with adjacent properties. The Petitioner agreed to stake the site and provide scaled documentation for the next hearing.
- Commissioner V. Walsh made a motion to continue the application to the next meeting agenda – May 7, 2026, with the Petitioner staking the property for the Commission to gain a better understanding of the building’s scale. The motion was seconded by Commissioner W. Kroll. With no discussion on the motion, it was approved unanimously. The Petitioner should contact Staff once the property is staked to inform the Commission that they may visit the site.

**X. CPC HISTORIC HOME RESTORATION GRANTS**

<b>MOTION TO ACCEPT THE PROPOSED REVIEW PLAN FOR CPC HISTORIC HOME RESTORATION GRANT APPLICATIONS</b>	
<b>CHAIR ALFONSO NARDI</b>	<i>YAY</i>
<b>VICE CHAIR WALTER KROLL</b>	<i>YAY</i>
<b>KEVIN COFFEE</b>	<i>YAY</i>
<b>JUDI CROWELL</b>	<i>ABSENT</i>
<b>VANA NESPOR</b>	<i>YAY</i>
<b>VINCENT WALSH</b>	<i>YAY</i>
<b>MARISA ZORZI</b>	<i>YAY</i>

- The Commission discussed handling restoration-only CPC items administratively when scopes strictly follow the Secretary of the Interior’s Standards and are fully documented (e.g., mortar, masonry, in-kind repairs). Staff would continue reviewing such items administratively and flag exceptions for Commission action.
- Commissioner M. Zorzi made a motion to move forward with the proposed approach unless there is an exception to be reviewed. The motion was seconded by Commissioner W. Kroll. With no discussion on the motion, it was approved unanimously.

**XI. OTHER MATTERS PROPERLY BEFORE THE COMMISSION – 52 BAY STREET – DEMOLITION PERMIT APPLICATION FILED**

- Staff informed the Commission that a Demolition Permit application was filed with the Building Department for the purposes of demolishing the rear building at 52 Bay Street, which was subject to a denied Demolition Delay application with the Commission in the winter. No action was requested at this time.

XII. ***OTHER MATTERS PROPERLY BEFORE THE COMMISSION – QUORUM CALL***

- Chair A. Nardi and Commissioner M. Zorzi will be unavailable for the next meeting – May 7, 2026. Commissioners W. Kroll, V. Walsh, N. Nespor, and K. Coffee will be in attendance.
- 

XIII. ***OTHER MATTERS PROPERLY BEFORE THE COMMISSION – PUBLIC SPEAK OUT***

- No public speak-out was offered.
- Commissioner W. Kroll made a motion to adjourn. The motion was seconded by Commissioner V. Nespor. With no discussion on the motion, it was approved unanimously. The Commission adjourned at 7:21 PM.

DRAFT



## **SPRINGFIELD HISTORICAL COMMISSION MEETING MINUTES**

*THURSDAY, MAY 7, 2026*

### **COMMISSIONERS IN ATTENDANCE:**

*Kevin Coffee (in-person)*  
*Judith Crowell (in-person)*  
*Walter Kroll, Vice Chair (in-person)*  
*Alfonso Nardi, Chair (remote)*  
*Vana Nespor (in-person)*  
*Vincent Walsh (remote)*  
*Marisa Zorzi (absent)*

### **STAFF AND ELECTED OFFICIALS IN ATTENDANCE:**

*Phil Dromey, Deputy Planning Director (in-person)*  
*Attorney Robert Shewchuk, Associate City Solicitor (remote)*

### **PUBLIC IN ATTENDANCE:**

*Jacqueline Pleet (70 Bellevue Avenue | in-person)*  
*Chad Thompson (80 Bellevue Avenue | in-person)*  
*Gary White (14 Fairfield Street | in-person)*  
*Carl Moccia (14 Cherryvale Avenue | in-person)*  
*Denise Moccia (14 Cherryvale Avenue | in-person)*  
*Djuan Barlow (109 Michon Street | in-person)*  
*Michael Simmonds (Unknown | in-person)*  
*James Sedlak (24 Spruceland Avenue | in-person)*  
*Mark Betscher (88 Bellevue Avenue | in-person)*  
*Robert Decker (77 Federal Street, Millers Falls, MA | in-person)*  
*Cornelius Phillips (185 Belmont Avenue | in-person)*

### **I. OPENING REMARKS**

- Acting Chair W. Kroll opened the meeting at 5:30 PM and informed the attending public of the Commission's meeting procedures for reviewing applications.

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### **II. ROLL CALL**

- Acting Chair W. Kroll proceeded with the evening's roll call:

<b>COMMISSIONER</b>	<b>ATTENDANCE</b>
<i>Chair Alfonso Nardi</i>	<i>Present - Remote</i>
<i>Vice Chair Walter Kroll</i>	<i>Present - In-Person</i>
<i>Kevin Coffee</i>	<i>Present - In-Person</i>
<i>Judi Crowell</i>	<i>Present - In-Person</i>
<i>Vana Nespor</i>	<i>Present - In-Person</i>

<i>Vincent Walsh</i>	<i>Absent</i>
<i>Marisa Zorzi</i>	<i>Absent</i>

III. **ACCEPTANCE OF MINUTES – MARCH 5, 2026**

- The minutes of April 16, 2026 were tabled to the May 21, 2026 meeting agenda.

IV. **NEW PUBLIC HEARING – 60 BYERS STREET**

<b>MOTION TO CONTINUE THE HEARING TO THE MAY 21 MEETING AGENDA</b>	
<b>CHAIR ALFONSO NARDI</b>	<i>YAY</i>
<b>VICE CHAIR WALTER KROLL</b>	<i>YAY</i>
<b>KEVIN COFFEE</b>	<i>YAY</i>
<b>JUDI CROWELL</b>	<i>MOTION – YAY</i>
<b>VANA NESPOR</b>	<i>SECONDED – YAY</i>
<b>VINCENT WALSH</b>	<i>ABSENT</i>
<b>MARISA ZORZI</b>	<i>ABSENT</i>

- Petitioners and/or representatives for the first four hearings were not available to present their respective application; therefore, the Commission moved this agenda item up on the agenda.
- Because two attending commissioners were affiliated with the subject project at 60 Byers Street, as the Commission only had five (5) members attending the evening, the Commission lacked a quorum to hear the application. Attorney R. Shewchuk, the City’s counsel, advised that affiliated members may still vote to continue the hearing for procedural efficiency.
- Commissioner J. Crowell made a motion to continue the hearing to the Commission’s May 21 meeting agenda. The motion was seconded by Commissioner V. Nespor. With no discussion on the motion, it was approved unanimously.

V. **NEW PUBLIC HEARING – 207 PINE STREET**

<b>MOTION TO CONTINUE THE HEARING TO THE MAY 21 MEETING AGENDA</b>	
<b>CHAIR ALFONSO NARDI</b>	<i>YAY</i>
<b>VICE CHAIR WALTER KROLL</b>	<i>YAY</i>
<b>KEVIN COFFEE</b>	<i>MOTION – YAY</i>
<b>JUDI CROWELL</b>	<i>YAY</i>
<b>VANA NESPOR</b>	<i>SECONDED – YAY</i>
<b>VINCENT WALSH</b>	<i>ABSENT</i>
<b>MARISA ZORZI</b>	<i>ABSENT</i>

- Petitioners and/or representatives for the first four hearings were not available to present their respective application; therefore, the Commission moved this agenda item up on the agenda.
- Staff informed the Commission that the Petitioner requested to be continued to next meeting agenda. Commissioner K. Coffee made a motion to continue the hearing to

the May 21 meeting agenda. The motion was seconded by Commissioner V. Nespor. With no discussion on the motion, it was approved unanimously.

**VI. NEW HEARINGS – 65 BELLEVUE AVENUE**

<b>MOTION TO APPROVE THE SOLAR PROJECT AT 65 BELLEVUE AVENUE</b>	
<b>CHAIR ALFONSO NARDI</b>	<i>SECONDED – YAY</i>
<b>VICE CHAIR WALTER KROLL</b>	<i>YAY</i>
<b>KEVIN COFFEE</b>	<i>YAY</i>
<b>JUDI CROWELL</b>	<i>YAY</i>
<b>VANA NESPOR</b>	<i>MOTION – YAY</i>
<b>VINCENT WALSH</b>	<i>ABSENT</i>
<b>MARISA ZORZI</b>	<i>ABSENT</i>

- Petitioners and/or representatives relating to the continued hearings were not available, and therefore, the Commission moved to the next available agenda item where someone was present – 65 Bellevue Avenue.
- A representative from Sunrun Solar, Robert Decker, was before the Commission to present the solar installation project on behalf of the landowner. The proposal relates to the installation of 12 black-on-black solar panels on the rear accessory structure, consolidating equipment and shutoffs at the rear of the primary structure – routing power to the primary structure via a buried trench to keep conduit out of view. Commissioners reviewed street-view images and site photographs, confirming that roof orientation, existing fencing, and existing vegetation effectively limiting panel and utility visibility from both Bellevue Avenue and Laverne Street.
- Jacqueline Pleet, from 70 Bellevue Avenue, voiced general opposition to panels on the front or back of the primary building, but had no opinion regarding the installation of panels confined to the accessory building.
- Given the minimal visibility and consolidation of equipment away from the public way, Commissioners found the design consistent with established practice that prioritizes minimal visibility. Commissioner V. Nespor made a motion to accept the application as presented. The motion was seconded by Commissioner A. Nardi. With no discussion on the motion, it was approved unanimously.

**VII. NEW PUBLIC HEARING – 17 GEORGE STREET**

<b>MOTION TO APPROVE THE SOLAR PROJECT AT 17 GEORGE STREET</b>	
<b>CHAIR ALFONSO NARDI</b>	<i>YAY</i>
<b>VICE CHAIR WALTER KROLL</b>	<i>YAY</i>
<b>KEVIN COFFEE</b>	<i>YAY</i>
<b>JUDI CROWELL</b>	<i>SECONDED – YAY</i>
<b>VANA NESPOR</b>	<i>MOTION – YAY</i>
<b>VINCENT WALSH</b>	<i>ABSENT</i>
<b>MARISA ZORZI</b>	<i>ABSENT</i>

- Petitioners and/or representatives relating to the continued hearings were not available, and therefore, the Commission moved to the next available agenda item where someone was present – 17 George Street.
- The same representative from Sunrun Solar, Robert Decker, was before the Commission to present the solar installation project on behalf of the landowner. The petitioner proposed 16 black-on-black panels on the rear roof and one Franklin battery at the rear, with equipment and shutoffs kept out of public view. Conduit is proposed to run through the attic; however, the Commission discussed the likelihood of some exterior conduit being exposed. The Commission agreed that any exposed conduit shall be painted to match the house.
- No public comments were offered.
- Commissioner V. Nespor made a motion to accept the application as presented. The motion was seconded by Commissioner J. Crowell. With no discussion on the motion, it was approved unanimously.

VIII. **CONTINUED HEARING – 185 BELMONT AVENUE**

<b>MOTION TO APPROVE THE WINDOW PROJECT AT 185 BELMONT AVENUE</b>	
<b>CHAIR ALFONSO NARDI</b>	<i>YAY</i>
<b>VICE CHAIR WALTER KROLL</b>	<i>YAY</i>
<b>KEVIN COFFEE</b>	<i>YAY</i>
<b>JUDI CROWELL</b>	<i>SECONDED – YAY</i>
<b>VANA NESPOR</b>	<i>MOTION – YAY</i>
<b>VINCENT WALSH</b>	<i>ABSENT</i>
<b>MARISA ZORZI</b>	<i>ABSENT</i>

- Cornelius Phillips was back before the Commission with a refined proposal to replace approximately 36 windows with black, gridless National Vinyl brand (Trustgard) vinyl-clad units, including the large front picture window. The presentation emphasized profile and proportion, referencing the same National brand installation across the street at 198 Belmont, where the bottom sash reads notably slim—an attribute Commissioners watch closely because sash massing influences historic façades’ visual rhythm. The Petitioner confirmed the removal of aluminum storm windows to avoid unnecessary layering and affirmed no grids in the replacement units to match current openings.
- Commissioners reviewed the 1939 photographic documentation to situate the request in historic context, confirming that the proposed replacements would respect both the house’s established appearance and neighborhood patterns. Questions focused on the front picture window’s configuration and trim continuity, ensuring that glazing and surrounding treatment would present as compatible rather than conspicuous.
- No members of the public elected to speak on the application.
- Commissioner J. Crowell made a motion to approve the installation of the proposed windows as provided in the application – black in color. The motion was seconded by Commissioner V. Nespor. With no discussion on the motion, it was approved unanimously.

**IX. NEW PUBLIC HEARING – WS WESTMINSTER STREET (12201-0032)**

<b>MOTION TO CONTINUE THE HEARING TO THE MAY 21 MEETING AGENDA</b>	
<b>CHAIR ALFONSO NARDI</b>	<i>YAY</i>
<b>VICE CHAIR WALTER KROLL</b>	<i>YAY</i>
<b>KEVIN COFFEE</b>	<i>YAY</i>
<b>JUDI CROWELL</b>	<i>MOTION – YAY</i>
<b>VANA NESPOR</b>	<i>SECONDED – YAY</i>
<b>VINCENT WALSH</b>	<i>ABSENT</i>
<b>MARISA ZORZI</b>	<i>ABSENT</i>

- Djuan Barklow and Michael Simmonds were before the Commission to present their application relating to the proposed construction of a single-family dwelling.
- The Petitioner presented a colonial-inspired design with Hardie plank clapboard, architectural shingles (charcoal, not black per neighborhood guidelines), black windows/doors, a Douglas fir porch (tongue-and-groove decking running toward the house), round wood columns, a rear garage, shake treatment at the gables; and shutters were initially indicated. Commissioners commended the design, which incorporated period-appropriate materials and porch decking orientation. The Commission requested a set of targeted revisions and clarifications to align with the submitted plans.
- Directives from the Commission included: (1) Porch/Railing — submit detail drawings showing a rounded, grippable top rail, stair/handrail specifications, and confirm Douglas fir materials and decking orientation; (2) Lattice — framed wood lattice (tight square pattern) into three sections aligned with porch posts and revise elevations accordingly; (3) Lamps — set fixtures at a consistent height, clarifying scale and placement; (4) Shutters — remove them; (5) Roof/Venting — verify ridge-vent requirements and depict bath/exhaust vents with minimal visibility (finish to match); and (6) Code interface — reflect the Building Department’s 36" guard height, and if necessary, show a black pipe guard above the historically proportioned rail. Commissioners also asked the Petitioner to clarify whether gables will use cedar shakes (preferred) rather than Hardie shakes, adjusting the drawings if needed. The Commission agreed to continue the hearing to the next meeting, and Staff will send a consolidated list to support an efficient resubmittal.
- Commissioner J. Crowell made a motion to continue the hearing to the Commission’s May 21 meeting agenda. The motion was seconded by Commission V. Nespor. With no discussion on the motion, it was approved unanimously.

**X. CONTINUED HEARING – ES LONGHILL STREET (07900-0129)**

<b>MOTION TO APPROVE THE PROPOSED SINGLE-FAMILY DWELLING AT ES LONGHILL STREET (07900-0129)</b>	
<b>CHAIR ALFONSO NARDI</b>	<i>NAY</i>
<b>VICE CHAIR WALTER KROLL</b>	<i>NAY</i>
<b>KEVIN COFFEE</b>	<i>SECONDED – NAY</i>
<b>JUDI CROWELL</b>	<i>NAY</i>

<i>VANA NESPOR</i>	<i>MOTION – NAY</i>
<i>VINCENT WALSH</i>	<i>ABSENT</i>
<i>MARISA ZORZI</i>	<i>ABSENT</i>

- Siervo Jimenez was back before the Commission to present the proposed single-family dwelling project at E S Longhill Street (07900-0129).
- As decided at the April 16 meeting, for the Commission to have a better understanding of the building’s massing, the Petitioner installed site posts to illustrate setbacks and the extent of the proposed footprint. Commissioners visited the site between hearings to assess scale in the Street’s context, as infill on traditionally narrow lots demands careful attention to spatial proportion and sightlines along a historic streetscape.
- Commissioners described the façade as reading “solid” and “continuous,” lacking the relief and void-to-solid modulation typical of neighboring houses with open porches and column spacing. Specific concerns included masonry-like corner quoining and colonnade proportions that felt stylistically incongruent with the frame construction prevalent on either side. Commissioners observed that, compared with a larger corner exemplar benefitting from substantial green space, this lot’s limited side and rear yards amplify the building mass, resulting in a visually dominant wall plane insufficiently broken by recesses or porch openness.
- James Sedlock, from 24 Spruceland Avenue vocalized opposition to the project and opined that the proposed design does not fit the neighborhood.
- Denise Moccia from 14 Cherryvale Avenue vocalized opposition to the project and opined that the building would be too big for the property.
- Carl Moccia from 14 Cherryvale Avenue vocalized opposition to the project and opined that the building would be too big for the property.
- Gary White from 14 Fairfield Street vocalized opposition to the project and opined that that the proposed building was too big for the lot and it did not fit the neighborhood.
- Commissioner V. Nespors informed the Petitioner that the Commission was not trying to frustrate him; however, the style and size did not fit the location. Commissioner V. Nespors made a motion to accept the application as presented. The motion was seconded by Commissioner K. Coffee. Commissioner A. Nardi advised that he appreciated the property owner’s willingness to take the time and work with the Commission; Commissioner V. Nespors recommended that the Petitioner get an architect. With no further discussion, the motion was denied unanimously.

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XI. **ADVISORY REVIEWS – BOWLES PARK & EAST STREET: SIDEWALK/PEDESTRIAN IMPROVEMENTS (95 CMR § 71.00)**

- Staff Member A. Strniste informed the Commission about a request to perform an advisory review of a proposed project involving sidewalk reconstruction and new sidewalks, ADA curb ramps, new pedestrian crossings along Bowles Park frontage (Windermere St. to Osborne Terrace), as well as “key geometric and safety upgrades” at Bowles Park & East Street, with limited pavement resurfacing. The Commission requested a site plan to clarify what “geometric” changes entail—e.g., curb realignments, crossing geometry, or traffic-calming features—before offering formal comment. Commissioners acknowledged that ADA and safety elements often

fall outside historic purview; nonetheless, understanding the extent of alterations ensures the Commission can evaluate any potential impact on historic patterns, widths, or curb details. Staff will request plans and advised that Commission remarks may arrive after the stated 30-day comment period.

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XII. **ADVISORY REVIEW – 18–22 WILLOW STREET (WILLOW/STOCKBRIDGE/CROSS): SITE PREPARATION FOR PARKING GARAGE (SECTION 106)**

<b>MOTION TO FIND AN ADVERSE IMPACT RELATING TO THE PROJECT AT WILLOW STREET</b>	
<b>CHAIR ALFONSO NARDI</b>	YAY
<b>VICE CHAIR WALTER KROLL</b>	YAY
<b>KEVIN COFFEE</b>	MOTION – YAY
<b>JUDI CROWELL</b>	SECONDED – YAY
<b>VANA NESPOR</b>	YAY
<b>VINCENT WALSH</b>	ABSENT
<b>MARISA ZORZI</b>	ABSENT

- Staff Member A. Strniste informed the Commission about a request to remove an existing parking lot, sidewalks, pedestrian path, and site improvements in preparation for a parking garage, near but outside the National Register district boundary. Commissioners identified the existing foundation wall as likely being a historic foundation fabric (from a former structure), concluding that removal would constitute an adverse impact under Section 106. The Commission noted that the submission appears to have marked rehabilitation of existing structures as “N/A,” which may understate the presence of historic material on site.
- Commissioner K. Coffee made a motion to draft a letter notifying VHB that the removal of the foundation wall would constitute an adverse effect. The motion was seconded by Commissioner J. Crowell. With no discussion on the motion, it was approved unanimously. Staff will issue the formal adverse-effect letter with the Commission’s findings.

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XIII. **ADVISORY REVIEW – NORTH END BRIDGE (SECTION 106)**

- Staff Member A. Strniste noted that the Section 106 review request was withdrawn at this time. Members requested that the consultants provide a future presentation to discuss design considerations relevant to the City’s historic context—e.g., approach spans, pier treatments, lighting standards, and river-edge interfaces—so that constructive feedback can be provided early in any renewed process.

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XIV. **OTHER MATTERS PROPERLY BEFORE THE COMMISSION – 21 OSBORNE TERRACE & 52 BAY STREET – DEMOLITION PERMIT APPLICATION FILED**

- Demolition Permit applications have been filed for 21 Osborne Terrace (East Springfield Library) and 52 Bay Street. Staff highlighted the Commission’s option to consider establishing a local historic district when preservation of a threatened building is desired, while recognizing current community interest in a new library for East Springfield.

XV. ***OTHER MATTERS PROPERLY BEFORE THE COMMISSION – ADMINISTRATIVE UPDATES***

- Regarding 114 Park Drive, Staff inquired as to whether a brick repair qualified as a Certificate of Non-Applicability. Commissioners emphasized best practice for soft historic brick: lime mortar should be used to prevent compression and spalling associated with higher-strength Portland cement mortars. Staff asked for a brief technical summary suitable for the owner’s mason. Commissioners supported sharing practical guidance (e.g., mix types, curing considerations, and gentle cleaning methods) so the repair reads seamless and performs durably.
  - Staff also noted recent approvals of Certificates of Non-Applicability: a polycarbonate trash-abatement shield behind metal grates under the stairs at 220 State Street, exterior restoration/painting at 47 Garfield Street, and roof replacements at 415 State and 49 Sumner Avenue (schools).
  - Commissioners will submit comments on the draft New Construction Guidelines by May 31, 2026, enabling a June review session. Commissioners noted that clarifying guidance—particularly around massing, porch detailing, materials, and mechanicals placement—helps applicants produce context-sensitive submittals on the first pass, saving time for all parties.
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XVI. ***OTHER MATTERS PROPERLY BEFORE THE COMMISSION – CORRESPONDENCE TO THE COMMISSION***

- No correspondence was submitted for the Commission to review.
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XVII. ***OTHER MATTERS PROPERLY BEFORE THE COMMISSION – QUORUM CALL***

- A quorum is expected for May 21, 2026. Commissioners K. Coffee, A. Nardi, V. Nespor, and W. Kroll are expected to be in attendance. Commissioner J. Crowell is tentatively attending.
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XVIII. ***OTHER MATTERS PROPERLY BEFORE THE COMMISSION – PUBLIC SPEAK OUT***

- No additional public speak-out was offered. Acting Chair W. Kroll and Staff expressed appreciation for Commissioners’ volunteer service, preparation, and constructive discourse, noting that detailed pre-meeting staff work (complete packets, visual references, and applicant briefings) improves deliberations and consistency.
- Commissioner J. Crowell made a motion to adjourn. The motion was seconded by Commissioner K. Coffee. With no discussion on the motion, it was approved unanimously. The Commission adjourned at 7:10 PM.

April 15, 2026

Andrew Strniste  
Director of Community Planning  
Springfield Historical Commission  
70 Tapley Street  
Springfield, MA 01104

RE: Samuel Bowles Elementary School Safe Routes to School (SRTS) Project  
Springfield, Massachusetts  
MassDOT Project Number 613515  
Early Environmental Coordination

Dear Mr. Strniste:

The Massachusetts Department of Transportation, Highway Division (MassDOT Highway Division) proposes pedestrian safety improvements on Bowles Park in Springfield, Massachusetts. This project will be funded through the 2027 Transportation Improvement Program for the Pioneer Valley Planning Commission. The project information described herein is provided to the Springfield Historical Commission to initiate consultation with appropriate representatives of local government in compliance with the Environmental Review Checklist.

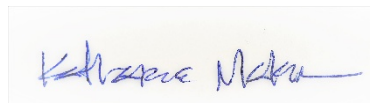
The proposed project consists of the reconstruction of existing sidewalks and construction of new sidewalks, installation of ADA curb ramps, incorporating new pedestrian crossings along the school frontage on Bowles Park between Windemere Street and Osborne Terrace. The project also proposes key geometric and safety upgrades to the intersection of Bowles Park and East Street. Limited portions of the pavement will be resurfaced.

MassDOT requests that the Springfield Historical Commission provide any comments or input related to the project area at their earliest convenience. Please feel free to contact Fil Yee at (617)817-8986 of MassDOT Highway Division and/or Kate Maker of Toole Design Group, LLC at (857) 398-6477 or kmaker@tooledesign.com if you have any questions concerning the project information described herein.

Sincerely,

Toole Design Group, LLC

Katharine Maker  
Project Manager  
Attachment: Locus Map



CC:

Filbert Yee, MassDOT Highway Division (via email)  
Massachusetts Historical Commission (via mail)  
Jameson M. Harwood, MassDOT Cultural Resources Supervisor (via email)

**ATTACHMENT A:**

- Locus Map



**Legend**

- Mass Historic Commission Inventory (Points)
- Mass Historic Commission Inventory (Areas)

Figure 1 - Locus Map  
 Samuel Bowles Elementary School  
 SRTS Project  
 MassDOT Project #610535  
 Springfield, Massachusetts

# MASSACHUSETTS DEPARTMENT OF TRANSPORTATION HIGHWAY DIVISION

SPRINGFIELD  
SAMUEL BOWLES SRTS

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	#####	1	29
PROJECT FILE NO.		613515	

TITLE SHEET

PLAN AND PROFILE OF  
**SAMUEL BOWLES ELEMENTARY  
SAFE ROUTES TO SCHOOL PROJECT**

IN THE CITY OF  
**SPRINGFIELD**  
HAMPDEN COUNTY

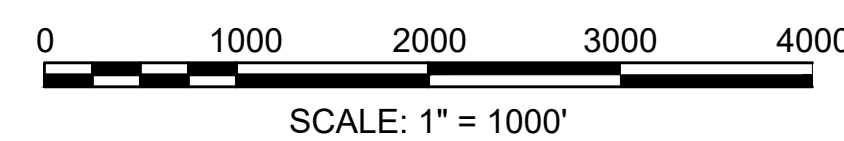
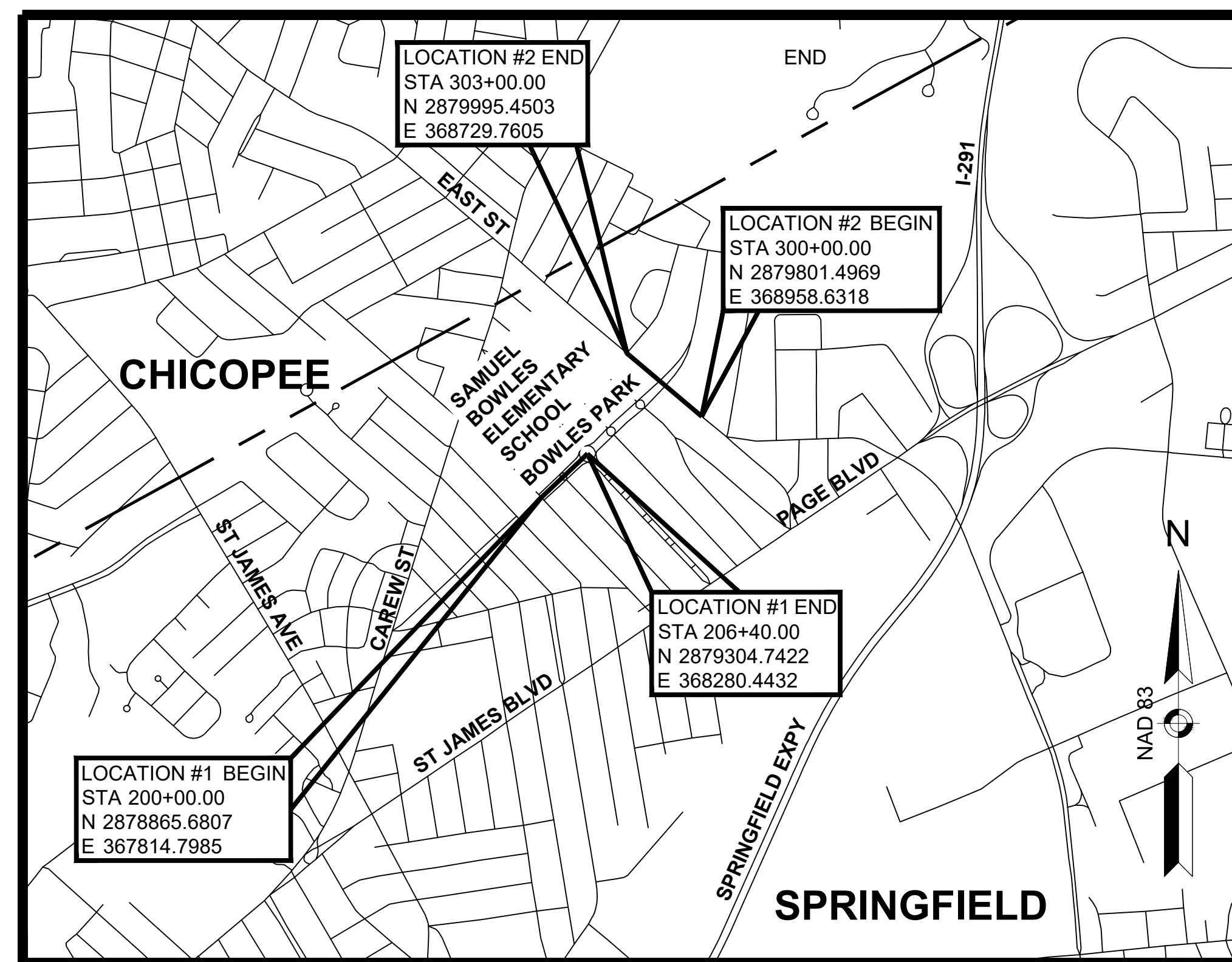
FEDERAL AID PROJECT NO. #####

THESE PLANS ARE SUPPLEMENTED BY THE JANUARY 2026 CONSTRUCTION STANDARD DETAILS, THE 2026 STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, THE 2015 OVERHEAD SIGNAL STRUCTURE AND FOUNDATION STANDARD DRAWINGS, MASSDOT TRAFFIC MANAGEMENT PLANS AND DETAIL DRAWINGS, THE 1990 STANDARD DRAWINGS FOR SIGNS AND SUPPORTS, THE 1968 STANDARD DRAWINGS FOR TRAFFIC SIGNALS AND HIGHWAY LIGHTING, AND THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK.

## 25% SUBMITTAL

**INDEX**

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	LEGEND
3	GENERAL NOTES
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26	PEDESTRIAN CURB RAMP DETAILS
27 - 29	CROSS SECTIONS



LENGTH OF PROJECT = 940 FEET = 0.178 MILES

DESIGN DESIGNATION (BOWLES PARK)	
DESIGN SPEED	25 MPH
ADT (2025)	1,183
ADT (2032)	1,313
K	8.2%
D	78%
T (PEAK HOUR)	8.4%
T (AVERAGE DAY)	5.4%
DHV	97
DDHV	76
FUNCTIONAL CLASSIFICATION	LOCAL ROAD

DESIGN DESIGNATION (EAST STREET)	
DESIGN SPEED	25 MPH
ADT (2025)	12,296
ADT (2032)	12,705
K	8.2%
D	50.5%
T (PEAK HOUR)	3.1%
T (AVERAGE DAY)	1.8%
DHV	1082
DDHV	546
FUNCTIONAL CLASSIFICATION	URBAN PRINCIPAL ARTERIAL NHS - PRINCIPAL ARTERIAL (MAP 21)

DATE	DESCRIPTION	REV #



APPROVED

\_\_\_\_\_  
CHIEF ENGINEER

\_\_\_\_\_  
DATE

**TOOLE** DESIGN  
141 TREMONT STREET, 9TH FLOOR  
BOSTON, MA 02111  
PHONE: 617.619.9910  
FAX: 301.927.2800  
www.tooledesign.com

## GENERAL SYMBOLS

EXISTING	PROPOSED	DESCRIPTION
		JERSEY BARRIER
		CATCH BASIN
		CATCH BASIN CURB INLET
		FLAG POLE
		GAS PUMP
		MAIL BOX
		POST SQUARE
		POST CIRCULAR
		WELL
		ELECTRIC HANDHOLE
		FENCE GATE POST
		GAS GATE
		BORING HOLE
		MONITORING WELL
		TEST PIT
		HYDRANT
		LIGHT POLE
		COUNTY BOUND
		GPS POINT
		CABLE MANHOLE
		DRAINAGE MANHOLE
		ELECTRIC MANHOLE
		GAS MANHOLE
		MISC MANHOLE
		SEWER MANHOLE
		TELEPHONE MANHOLE
		WATER MANHOLE
		MASSACHUSETTS HIGHWAY BOUND
		MONUMENT
		STONE BOUND
		TOWN OR CITY BOUND
		TRAVERSE OR TRIANGULATION STATION
		TROLLEY POLE OR GUY POLE
		TRANSMISSION POLE
		UTILITY POLE W/ FIREBOX
		UTILITY POLE WITH DOUBLE LIGHT
		UTILITY POLE W / 1 LIGHT
		UTILITY POLE
		BUSH
		TREE
		STUMP
		SWAMP / MARSH
		WATER GATE
		PARKING METER
		OVERHEAD CABLE/WIRE
		CURBING
		CONTOURS (ON-THE-GROUND SURVEY DATA)
		CONTOURS (PHOTOGRAMMETRIC DATA)
		UNDERGROUND DRAIN PIPE (DOUBLE LINE 24 INCH AND OVER)
		UNDERGROUND ELECTRIC DUCT (DOUBLE LINE 24 INCH AND OVER)
		UNDERGROUND GAS MAIN (DOUBLE LINE 24 INCH AND OVER)
		UNDERGROUND SEWER MAIN (DOUBLE LINE 24 INCH AND OVER)
		UNDERGROUND TELEPHONE DUCT (DOUBLE LINE 24 INCH AND OVER)
		UNDERGROUND WATER MAIN (DOUBLE LINE 24 INCH AND OVER)
		BALANCED STONE WALL
		GUARD RAIL - STEEL POSTS
		GUARD RAIL - WOOD POSTS
		GUARD RAIL - DOUBLE FACE - STEEL POSTS
		GUARD RAIL - DOUBLE FACE - WOOD POSTS
		CHAIN LINK OR METAL FENCE
		WOOD FENCE
		SEDIMENT BARRIER
		COIR LOG SEDIMENT BARRIER
		TREE LINE
		SAWCUT LINE
		TOP OR BOTTOM OF SLOPE
		LIMIT OF EDGE OF PAVEMENT OR COLD PLANE AND OVERLAY
		BANK OF RIVER OR STREAM
		BORDER OF WETLAND
		100 FT WETLAND BUFFER
		200 FT RIVERFRONT BUFFER
		STATE HIGHWAY LAYOUT
		TOWN OR CITY LAYOUT
		COUNTY LAYOUT
		RAILROAD SIDELINE
		TOWN OR CITY BOUNDARY LINE
		PROPERTY LINE OR APPROXIMATE PROPERTY LINE
		EASEMENT

## TRAFFIC SYMBOLS

EXISTING	PROPOSED	DESCRIPTION
		CONTROLLER PHASE ACTUATED
		TRAFFIC SIGNAL HEAD (SIZE AS NOTED)
		WIRE LOOP DETECTOR (6' x 6' TYP UNLESS OTHERWISE SPECIFIED)
		VIDEO DETECTION CAMERA
		MICROWAVE DETECTOR
		PEDESTRIAN PUSH BUTTON, SIGN (DIRECTIONAL ARROW AS SHOWN) AND SADDLE
		EMERGENCY PREEMPTION CONFIRMATION STROBE LIGHT
		VEHICULAR SIGNAL HEAD
		VEHICULAR SIGNAL HEAD, OPTICALLY PROGRAMMED
		FLASHING BEACON
		PEDESTRIAN SIGNAL HEAD, (TYPE AS NOTED OR AS SPECIFIED)
		RAILROAD SIGNAL
		SIGNAL POST AND BASE (ALPHA-NUMERIC DESIGNATION NOTED)
		MAST ARM, SHAFT AND BASE (ARM LENGTH AS NOTED)
		HIGH MAST POLE OR TOWER
		SIGN AND POST
		SIGN AND POST (2 POSTS)
		MAST ARM WITH LUMINAIRE
		OPTICAL PRE-EMPTION DETECTOR
		CONTROL CABINET, GROUND MOUNTED
		CONTROL CABINET, POLE MOUNTED
		FLASHING BEACON CONTROL AND METER PEDESTAL
		LOAD CENTER ASSEMBLY
		PULL BOX 12"x12" (OR AS NOTED)
		ELECTRIC HANDHOLE 12"x24" (OR AS NOTED)
		TRAFFIC SIGNAL CONDUIT

## PAVEMENT MARKINGS SYMBOLS

EXISTING	PROPOSED	DESCRIPTION
		PAVEMENT ARROW - WHITE
		LEGEND "ONLY" - WHITE
		STOP LINE (12" SOLID WHITE LINE)
		CROSSWALK (24" SOLID WHITE LINES - 3.5' GAP)
		6" SOLID WHITE LINE
		6" SOLID YELLOW LINE
		6" BROKEN WHITE LINE (10' LINE/20' GAP)
		6" BROKEN YELLOW LINE (10' LINE/20' GAP)
		6" DOTTED WHITE LINE (2' LINE/4' GAP)
		6" DOTTED YELLOW LINE (2' LINE/4' GAP)
		6" DOTTED WHITE LINE EXTENSION (2' LINE/6' GAP)
		6" DOTTED YELLOW LINE EXTENSION (2' LINE/6' GAP)
		6" DOUBLE WHITE LINE
		6" DOUBLE YELLOW LINE

## ABBREVIATIONS

GENERAL	
AADT	ANNUAL AVERAGE DAILY TRAFFIC
ABAN	ABANDON
ADJ	ADJUST
APPROX.	APPROXIMATE
A.C.	ASPHALT CONCRETE
ACCM PIPE	ASPHALT COATED CORRUGATED METAL PIPE
BIT.	BITUMINOUS
BC	BOTTOM OF CURB
BD.	BOUND
BL	BASELINE
BLDG	BUILDING
BM	BENCHMARK
BO	BY OTHERS
BOS	BOTTOM OF SLOPE
BR.	BRIDGE
CB	CATCH BASIN
CBCI	CATCH BASIN WITH CURB INLET
CC	CEMENT CONCRETE
CCM	CEMENT CONCRETE MASONRY
CEM	CEMENT
CI	CURB INLET
CIP	CAST IRON PIPE
CLF	CHAIN LINK FENCE
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CSP	CORRUGATED STEEL PIPE
CO.	COUNTY
CONC	CONCRETE
CONT	CONTINUOUS
CONST	CONSTRUCTION
CR GR	CROWN GRADE
DHV	DESIGN HOURLY VOLUME
DI	DROP INLET
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DW	STEADY DON'T WALK - PORTLAND ORANGE
DWY	DRIVEWAY
ELEV (or EL.)	ELEVATION
EMB	EMBANKMENT
EOP	EDGE OF PAVEMENT
EXIST (or EX)	EXISTING
EXC	EXCAVATION
F&C	FRAME AND COVER
F&G	FRAME AND GRATE
FDN.	FOUNDATION
FLDSTN	FIELDSTONE
GAR	GARAGE
GD	GROUND
GG	GAS GATE
GI	GUTTER INLET
GIP	GALVANIZED IRON PIPE
GRAN	GRANITE
GRAV	GRAVEL
GRD	GUARD
HDW	HEADWALL
HMA	HOT MIX ASPHALT
HOR	HORIZONTAL
HYD	HYDRANT
INV	INVERT
JCT	JUNCTION
L	LENGTH OF CURVE
LB	LEACH BASIN
LP	LIGHT POLE
LT	LEFT
MAX	MAXIMUM
MB	MAILBOX
MH	MANHOLE
MHB	MASSACHUSETTS HIGHWAY BOUND
MIN	MINIMUM
M&O	MILL & OVERLAY
NIC	NOT IN CONTRACT
NO.	NUMBER
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PCR	PEDESTRIAN CURB RAMP
P.G.L.	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
POC	POINT ON CURVE
POT	POINT ON TANGENT
PRC	POINT OF REVERSE CURVATURE
PROJ	PROJECT
PROP	PROPOSED
PSB	PLANTABLE SOIL BORROW
PT	POINT OF TANGENCY

SPRINGFIELD			
SAMUEL BOWLES SRTS			
STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	#####	2	29
PROJECT FILE NO.		613515	

## LEGEND

## ABBREVIATIONS (cont.)

GENERAL	
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
PVMT	PAVEMENT
PWW	PAVED WATER WAY
R	RADIUS OF CURVATURE
R&D	REMOVE AND DISPOSE
RCP	REINFORCED CONCRETE PIPE
RD	ROAD
RDWY	ROADWAY
REM	REMOVE
RET	RETAIN
RET WALL	RETAINING WALL
ROW	RIGHT OF WAY
RR	RAILROAD
R&R	REMOVE AND RESET
R&S	REMOVE AND STACK
RT	RIGHT
SB	STONE BOUND
SHLD	SHOULDER
SMH	SEWER MANHOLE
ST	STREET
STA	STATION
SSD	STOPPING SIGHT DISTANCE
SHLO	STATE HIGHWAY LAYOUT LINE
SW	SIDEWALK
T	TANGENT DISTANCE OF CURVE/TRUCK %
TAN	TANGENT
TEMP	TEMPORARY
TC	TOP OF CURB
TCE	TEMPORARY CONSTRUCTION EASEMENT
TOS	TOP OF SLOPE
TYP	TYPICAL
UP	UTILITY POLE
VAR	VARIES
VERT	VERTICAL
VC	VERTICAL CURVE
WG	WATER GATE
WIP	WROUGHT IRON PIPE
WM	WATER METER/WATER MAIN
X-SECT	CROSS SECTION

## TRAFFIC SIGNAL ABBREVIATIONS

CAB	CABINET
CCVE	CLOSED CIRCUIT VIDEO EQUIPMENT
DW	STEADY UPRAISED HAND
FDW	FLASHING UPRAISED HAND
FR	FLASHING CIRCULAR RED
FRL	FLASHING RED LEFT ARROW
FRR	FLASHING RED RIGHT ARROW
FY	FLASHING CIRCULAR YELLOW
FYL	FLASHING YELLOW LEFT ARROW
FYR	FLASHING YELLOW RIGHT ARROW
G	STEADY CIRCULAR GREEN
GL	STEADY GREEN LEFT ARROW
GR	STEADY GREEN RIGHT ARROW
GSL	STEADY GREEN SLASH LEFT ARROW
GSR	STEADY GREEN SLASH RIGHT ARROW
GV	STEADY GREEN VERTICAL ARROW
OL	OVERLAP
PED	PEDESTRIAN
PTZ	PAN, TILT, ZOOM
R	STEADY CIRCULAR RED
RL	STEADY RED LEFT ARROW
RR	STEADY RED RIGHT ARROW
TR SIG	TRAFFIC SIGNAL
TSC	TRAFFIC SIGNAL CONDUIT
W	STEADY WALKING PERSON
Y	STEADY CIRCULAR YELLOW
YL	STEADY YELLOW LEFT ARROW

**GENERAL NOTES**

- UNDERGROUND UTILITIES SHOWN ARE BASED UPON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND PIPES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN. CH. 82 SEC. 40 OF THE M.G.L. REQUIRED 72 HOUR NOTICE TO ALL UTILITY OWNERS. PRIOR TO EXCAVATION AND OR DRIVING ANY OBJECTS INTO THE GROUND, CALL "DIG SAFE" 1-888-DIG-SAFE AND EACH UTILITY OWNER.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND RESERVE ANY AND ALL UNDERGROUND UTILITIES.
- DRAINAGE ELEVATIONS ARE PROVIDED FOR DESIGN PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY BY TEST PIT, THE LOCATIONS OF EXISTING UTILITIES WHICH MAY CONFLICT WITH THE PROPOSED DRAINAGE DESIGN. ANY FIELD ADJUSTMENTS REQUIRED WILL BE MADE AS APPROVED OR DIRECTED BY THE ENGINEER. ONLY AFTER THE CONTRACTOR VERIFIES ELEVATIONS FOR THE CONSTRUCTABILITY OF THE DRAINAGE SYSTEM SHALL ANY STRUCTURES BE ORDERED.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, SIZE AND MATERIAL OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE AND SEWER STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES AND BOXES TO THE PROPOSED FINISH SURFACE GRADE. REQUIRED NEW MASONRY SHALL BE CLAY BRICK.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- EXISTING UTILITY POLES WILL BE RELOCATED OR REPLACED BY NATIONAL GRID. CONTRACTOR RESPONSIBLE FOR COORDINATION.
- EXISTING GAS UTILITY ADJUSTMENTS TO BE MADE BY EVERSOURCE. CONTRACTOR RESPONSIBLE FOR COORDINATION.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT NO EXPENSE TO THE OWNER.
- THE TERM "PROPOSED" (PROP) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET" (R&R).
- ALL VERTICAL JOINTS ABUTTING NEW ASPHALT CONCRETE ROADWAY PAVEMENT SHALL BE SEALED WITH HOT APPLIED PAVEMENT JOINT ADHESIVE MEETING THE REQUIREMENTS OF STANDARD SPECIFICATION SECTION 450.30.
- IF SUITABLE, EXISTING GRANITE CURB SHALL BE RE-USED IN THE PROPOSED WORK, EXCEPT CURVED STONES OF A DIFFERENT RADIUS THAN PROPOSED CURB.
- PROPOSED BOUNDS SHALL BE PLACED BY A PROFESSIONAL LAND SURVEYOR. THE CONTRACTOR SHALL EXERCISE DUE CARE WHEN WORKING AROUND ALL EXISTING PROPERTY BOUNDS AND PRIVATE PROPERTY PINS. SHOULD ANY DAMAGE TO A HIGHWAY BOUND OR PROPERTY PIN RESULT FROM THE ACTION OF THE CONTRACTOR, THE CONTRACTOR IS RESPONSIBLE FOR REPLACING THAT HIGHWAY BOUND OR PRIVATE PROPERTY PIN TO ITS LOCATION JUST PRIOR TO CONSTRUCTION. IF THE EXISTING HIGHWAY BOUND OR PRIVATE PROPERTY PIN WASN'T LOCATED IN THE PRELIMINARY SURVEY FOR THE PROJECT, THEN THE CONTRACTOR SHALL HAVE THE HIGHWAY BOUND OR PROPERTY PIN REPLACED AND/OR REALIGNED BY A LICENSED PROFESSIONAL SURVEYOR AS DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST.
- DISPOSAL OF ALL SURPLUS MATERIAL SHALL BE AS APPROVED BY THE ENGINEER AND OWNER.
- LATERAL DRAIN PIPES SHALL BE INSTALLED WITH A PITCH OF 0.01 FOOT PER FOOT (MINIMUM) UNLESS NOTED OTHERWISE ON THE PLANS.
- WHEN AN EXISTING MANHOLE, HANDHOLE OR OTHER "SURFACE" TYPE STRUCTURE IS WITHIN THE PROPOSED ACCESSIBLE SURFACE, THE STRUCTURE SHALL BE CAREFULLY ADJUSTED SUCH THAT THE TOPMOST SURFACE OF THE STRUCTURE COVER SHALL BE FLUSH WITH THE CURB RAMP SURFACE. ANY ADJUSTMENTS MUST COMPLY WITH PROWAG 302.7.2.
- PROTECT ALL EXISTING UTILITIES NOT INDICATED FOR REMOVAL AND UTILITIES IDENTIFIED AS CONTINGENT BID ITEMS FROM DAMAGE BY THE CONTRACTOR'S OPERATIONS.
- PROTECT EX STREET TREES AND LANDSCAPING NOT INDICATED FOR REMOVAL FROM DAMAGE BY THE CONTRACTOR'S OPERATIONS.
- ITEMS IDENTIFIED AS CONTINGENT BID ITEMS WILL NOT BE CONSTRUCTED/ INSTALLED UNLESS SOILS UNDERLYING THOSE UTILITES ARE FOUND TO BE SATURATED OR YIELDING, AND THERE IS UNDUE RISK OF DAMAGE FROM VEHICULAR LOADING AS DETERMINED BY THE GEOTECHNICAL ENGINEER.
- REFER TO DRAINAGE AND UTILITY PLAN FOR ADDITIONAL INFORMATION.

- CONTRACTOR SHALL HAVE ALL SUBSURFACE UTILITIES MARKED PRIOR TO THE START OF WORK. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT DIGSAFE (811 OR 1-888-DIG-SAFE) A MINIMUM OF 72 HOURS PRIOR TO ANY CONSTRUCTION TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND HAVE A VALID CITY TRENCH PERMIT BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL DISTURBED AREAS MUST BE LOAMED AND SEEDED UNLESS NOTED OTHERWISE.

**SURVEY NOTES**

- THE EXISTING CONDITIONS SHOWN ON THESE PLANS CONSIST OF AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED IN JANUARY AND FEBRUARY 2024, BY NITSCH ENGINEERING. SEE MASSDOT FIELD BOOKS 28752 AND 20296.
- COORDINATES SHOWN HEREON ARE RESULTANT FROM GPS OBSERVATIONS TO THE MACORS NETWORK, CONVENTIONAL TOTAL STATION TRAVERSING AND DIFFERENTIAL LEVELING AND ARE RELATED TO THE NORTH AMERICAN DATUM OF 1983 – NAD 83(2011), SPC 83 – MASSACHUSETTS (MAINLAND ZONE), EPOCH 2010.00. SOURCE CONTROL POINTS' COORDINATES, ELEVATIONS AND COMBINED SCALE FACTOR WERE ESTABLISHED BY MASS DOT GEODETIC SURVEY AND ARE LISTED BELOW:

POINT ID	NORTHING (US FT)	EASTING (US FT)	ELEVATION	COMBINED GROUND TO GRID S.F.
3463	2879391.7190	368238.3040	220.1570	0.99995904
3464	2879722.5950	368588.4480	218.6810	0.99995910
1	2879831.2448	368873.8048	218.2884	0.99995911
2	2879549.2492	368395.2486	219.5269	0.99995907
8	2880036.4160	368981.5246	219.9961	0.99995902
9	2879165.8274	367795.0418	221.8061	0.99995898

- ELEVATIONS SHOWN HEREON ARE RESULTANT FROM GPS OBSERVATIONS TO MACORS NETWORK AND DIFFERENTIAL LEVELING AND ARE RELATED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND ARE RELATIVE POINTS 1, 2, 8, 9 AS LISTED ABOVE.
- ALL UNITS FOR THIS PROJECT ARE COLLECTED AND SHOWN IN US SURVEY FEET
- DIVISIONS OF PRIVATE OWNERSHIPS ARE APPROXIMATE AND WERE COMPILED FROM RECORD DEEDS, PLANS AND ASSESSOR'S MAPS.
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND MAY NOT DISCLOSE ANY MATTERS THAT MAY BE REVEALED BY ONE.
- THIS PLAN DOES NOT SHOW UNWRITTEN OR UNRECORDED EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT AND VISIBLE USES OF THE LAND. THIS PLAN DOES NOT GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- LEGAL STATUS OF EASEMENTS, WAYS AND RESTRICTIONS NOT DETERMINED BY THIS SURVEY.

**PLAN REFERENCES**

REFERENCE NUMBERS FROM CITY RECORDS

ARDMORE STREET	(69-53)
BOWLES PARK	(348-19, 369-15, 369-17)
EAST STREET	(372-5)
EDENDALE STREET	(100-8, 370-16)
OSBORNE STREET	(69-54, 370-12)
PRENTICE STREET	(367-41)
WINDEMERE STREET	24-4, 200-13)

**SPRINGFIELD  
SAMUEL BOWLES SRTS**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	#####	3	29
PROJECT FILE NO.		613515	

**GENERAL NOTES**

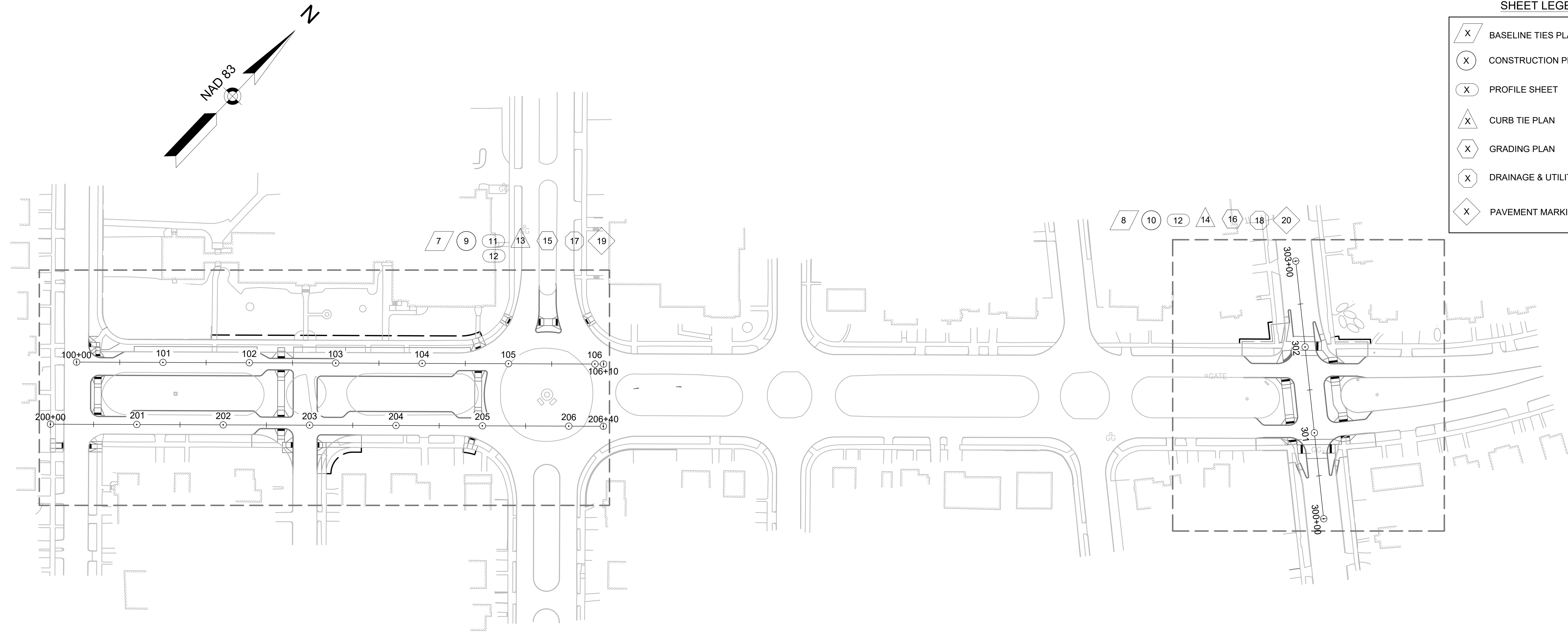
**SPRINGFIELD  
SAMUEL BOWLES SRTS**

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	#####	4	29
PROJECT FILE NO.		613515	

**KEY PLAN**

**SHEET LEGEND**

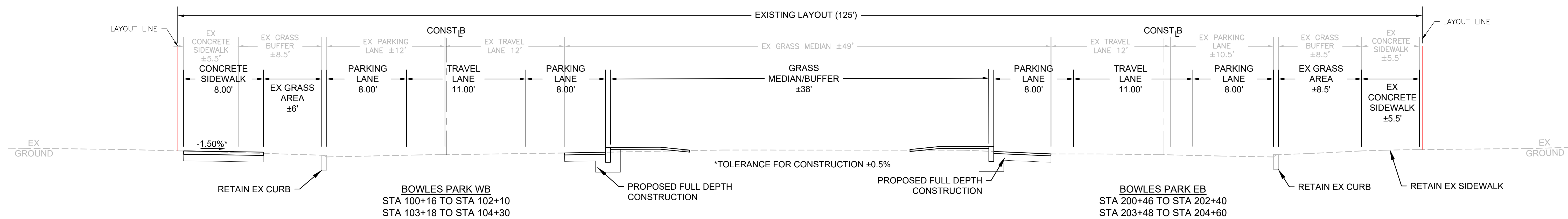
	BASELINE TIES PLAN
	CONSTRUCTION PLAN
	PROFILE SHEET
	CURB TIE PLAN
	GRADING PLAN
	DRAINAGE & UTILITY PLAN
	PAVEMENT MARKING PLANS



SPRINGFIELD  
SAMUEL BOWLES SRTS

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	#####	5	29
PROJECT FILE NO.		613515	

TYPICAL SECTIONS  
SHEET 1 OF 2



GENERAL PAVEMENT NOTES:

1. ANY EXISTING GRAVEL BASE DEEMED SUITABLE FOR REUSE BY THE ENGINEER SHALL REMAIN AND BE COMPACTED. ADD GRAVEL BORROW TYPE B AS REQUIRED.
2. ASPHALT EMULSION FOR TACK COAT SHALL MEET SECTION 450.43 PART-G OF STANDARD SPECIFICATION.
3. ASPHALT EMULSION FOR TACK COAT SHALL BE GRADE RS-1H AND SHALL MEET THE REQUIREMENTS OF AASHTO M 140.

CEMENT CONCRETE SIDEWALK/WHEELCHAIR RAMP/SPLITTER ISLANDS  
SURFACE: 4" CEMENT CONCRETE AIR ENTRAINED (4000 PSI, 3/4", 610.)

BASE: 8" GRAVEL BORROW TYPE B

HOT MIX ASPHALT (HMA) FULL DEPTH  
SURFACE: 2" SUPERPAVE SURFACE COURSE- 12.5 POLYMER (SSC-12.5-P) OVER

INTERMEDIATE: 2-1/4" SUPERPAVE INTERMEDIATE COURSE- 19.0 (SIC-19.0) OVER

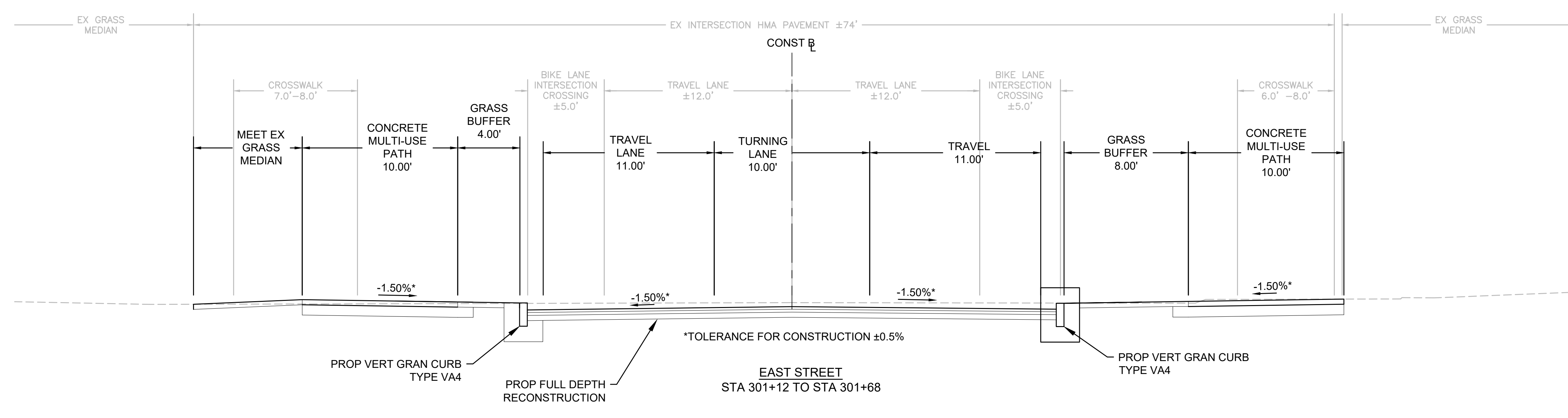
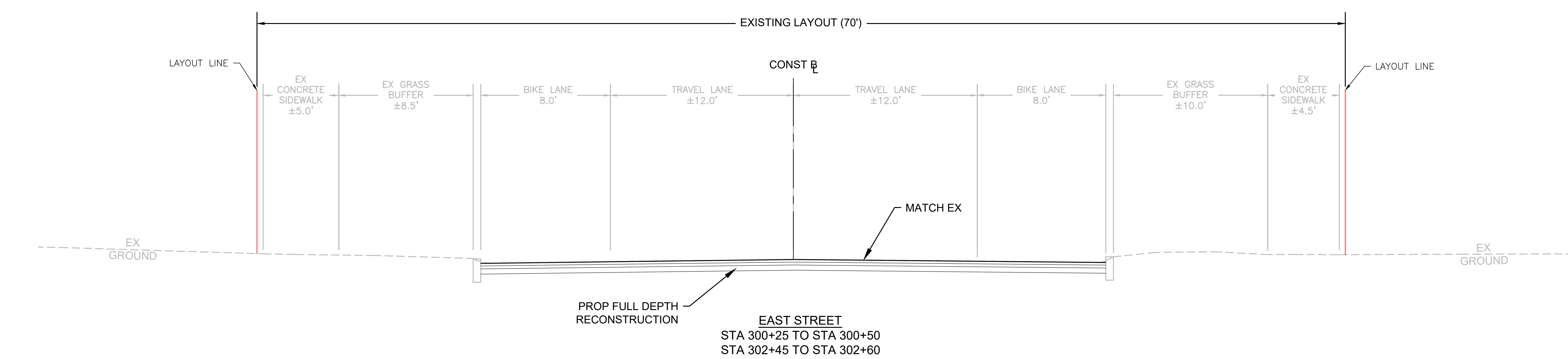
BASE: 4" SUPERPAVE BASE COURSE- 37.5 (SBC-37.5) MATERIAL PLACED IN ONE COURSE OVER

SUB-BASE 4" DENSE GRADED CRUSHED STONE FOR SUB-BASE OVER 8" GRAVEL BORROW TYPE B (OR SUITABLE EXISTING MATERIAL, SEE GENERAL PAVEMENT NOTE 1).

SPRINGFIELD  
SAMUEL BOWLES SRTS



STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	#####	6	29
PROJECT FILE NO.		613515	

TYPICAL SECTIONS  
SHEET 2 OF 2



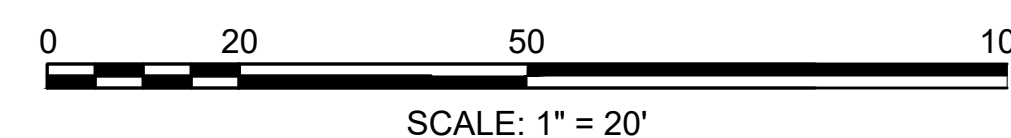
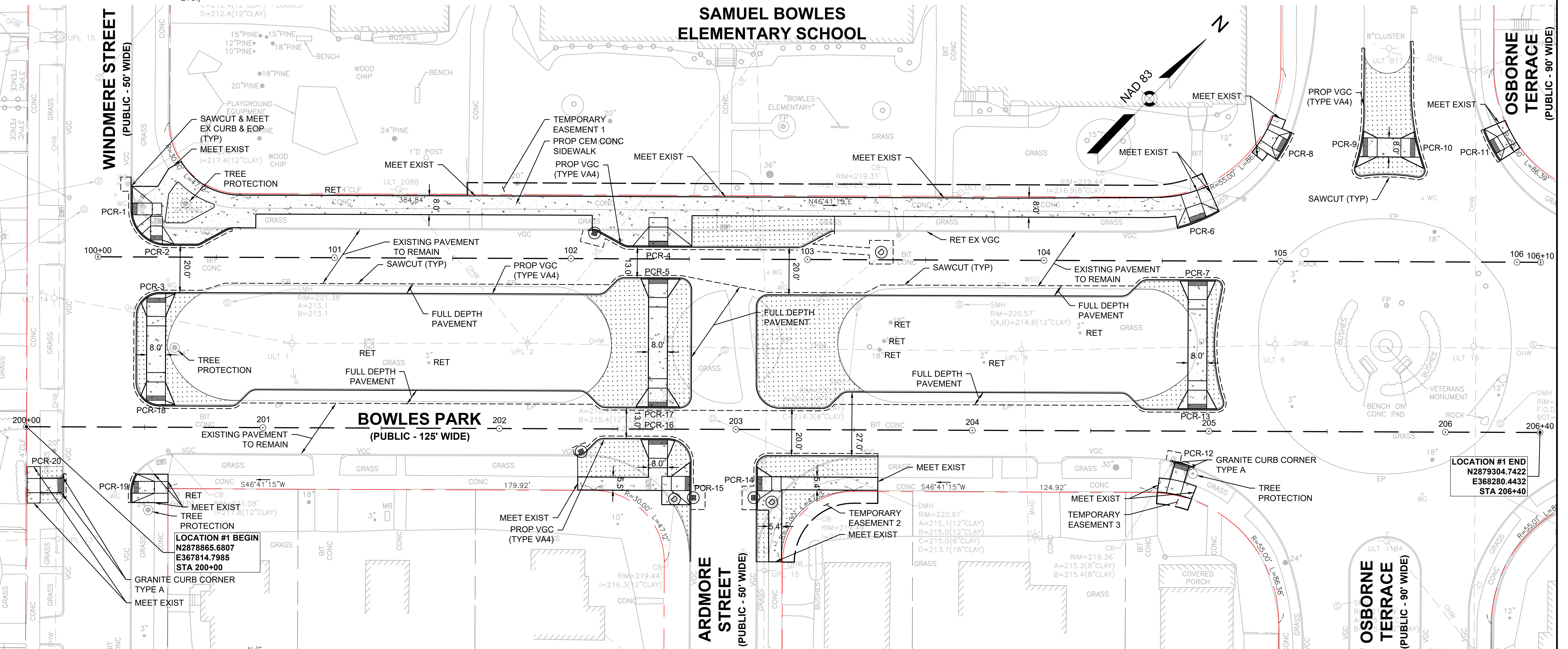
STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	#####	9	29
PROJECT FILE NO.		613515	

LEGEND:

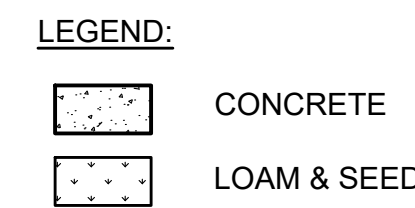
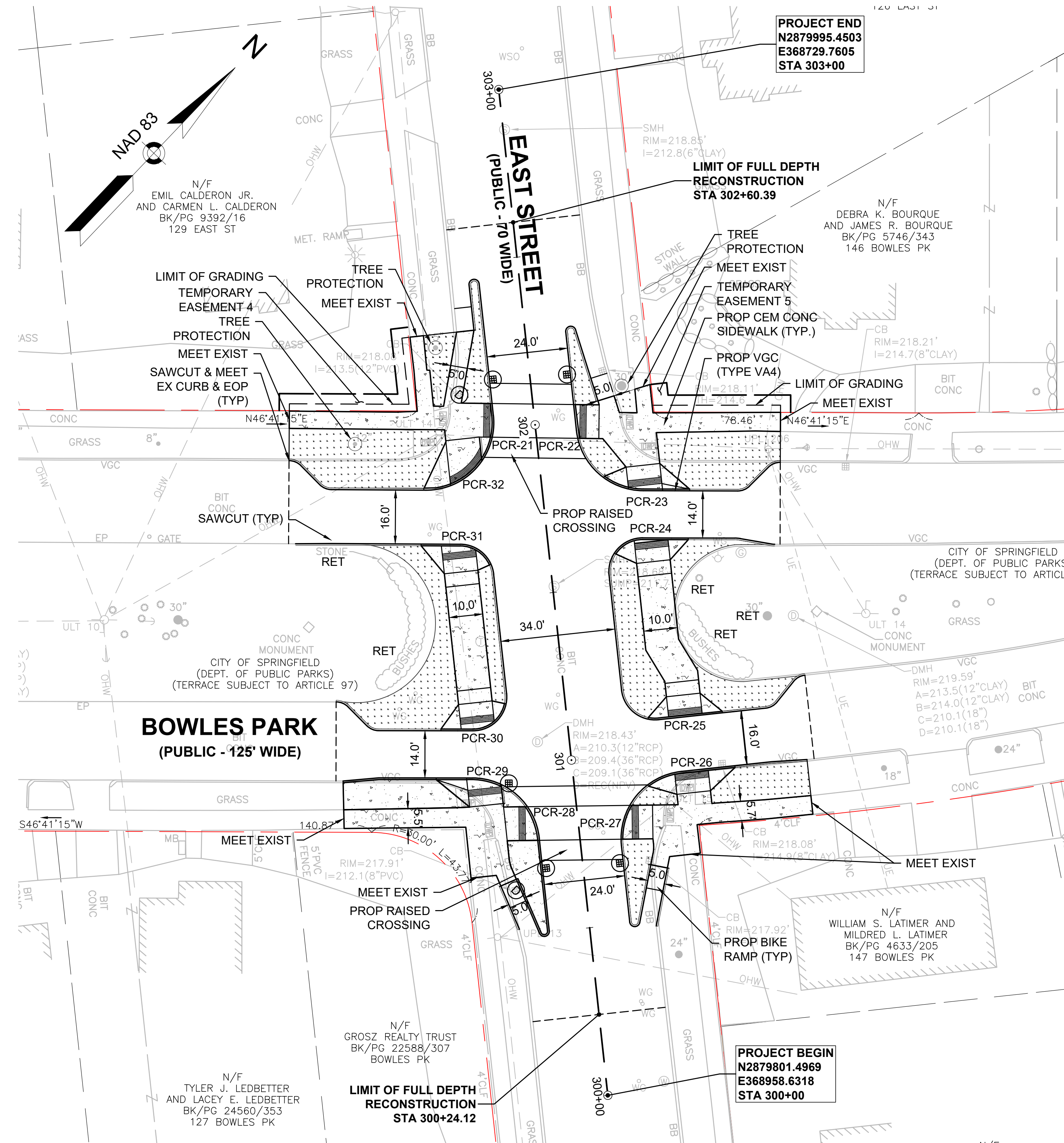
-  CONCRETE
-  LOAM & SEED

CONSTRUCTION NOTES:

1. FOR CONSTRUCTION BASELINE TIE PLAN, SEE SHEET 7-8.
2. FOR CURB TIE PLAN, SEE SHEETS 13 - 14.
3. FOR DRAINAGE AND UTILITY PLAN, SEE SHEET 17 - 18.
4. FOR PAVEMENT MARKINGS AND SIGNAGE PLAN, SEE SHEET 19 - 20.
5. FOR CONSTRUCTION DETAILS, SEE SHEETS 24 - 25
6. SEE GENERAL NOTES FOR SURVEY INFORMATION.
7. THE TERM "MEET EXIST" MEANS TO MEET BOTH THE EXISTING ALIGNMENT AND ELEVATION
8. AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 3'-0" SHALL BE MAINTAINED PAST ALL OBSTRUCTIONS FOR THE PROPOSED CONDITIONS (UTILITY POLES, SIGNS, MAILBOXES, ALONG DRIVEWAY OPENINGS, ETC.)
9. PROPOSED GRANITE TRANSITION CURBING SHALL BE USED AT ALL PEDESTRIAN RAMPS, DRIVEWAYS AND BIKE RAMPS TO MEET EXISTING PAVEMENT WHEN REQUIRED.
10. ADJUST ALL MANHOLES, HANDHOLES, AND OTHER SURFACE STRUCTURES WITHIN THE PROPOSED LIMIT OF WORK.
11. LOAM & SEED ALL DISTURBED AREAS WHERE APPROPRIATE.
12. CONTRACTOR TO REMOVE AND DISPOSE OF EXISTING PAVEMENT IN ALL AREAS OF CONSTRUCTION. OVEREXCAVATION MAY BE NECESSARY FOR AREAS WHERE PROPOSED GRADE DIFFERS FROM EXISTING GRADE.

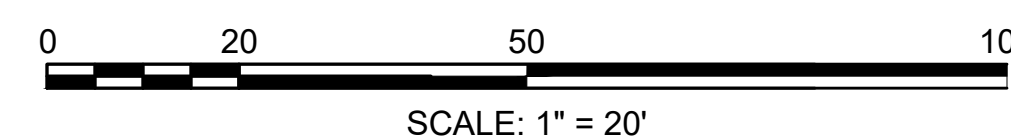


FOR CONSTRUCTION PROFILE:  
 SEE SHEET NO. 11



**CONSTRUCTION NOTES:**

- FOR CONSTRUCTION BASELINE TIE PLAN, SEE SHEET 7-8.
- FOR CURB TIE PLAN, SEE SHEETS 13 - 14.
- FOR DRAINAGE AND UTILITY PLAN, SEE SHEET 17 - 18.
- FOR PAVEMENT MARKINGS AND SIGNAGE PLAN, SEE SHEET 19 - 20.
- FOR CONSTRUCTION DETAILS, SEE SHEETS 24 - 25
- SEE GENERAL NOTES FOR SURVEY INFORMATION.
- THE TERM "MEET EXIST" MEANS TO MEET BOTH THE EXISTING ALIGNMENT AND ELEVATION
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- ADJUST ALL MANHOLES, HANDHOLES, AND OTHER SURFACE STRUCTURES WITHIN THE PROPOSED LIMIT OF WORK.
- LOAM & SEED ALL DISTURBED AREAS WHERE APPROPRIATE.
- CONTRACTOR TO REMOVE AND DISPOSE OF EXISTING PAVEMENT IN ALL AREAS OF CONSTRUCTION. OVEREXCAVATION MAY BE NECESSARY FOR AREAS WHERE PROPOSED GRADE DIFFERS FROM EXISTING GRADE.



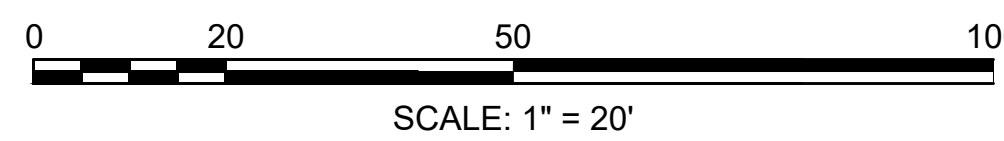
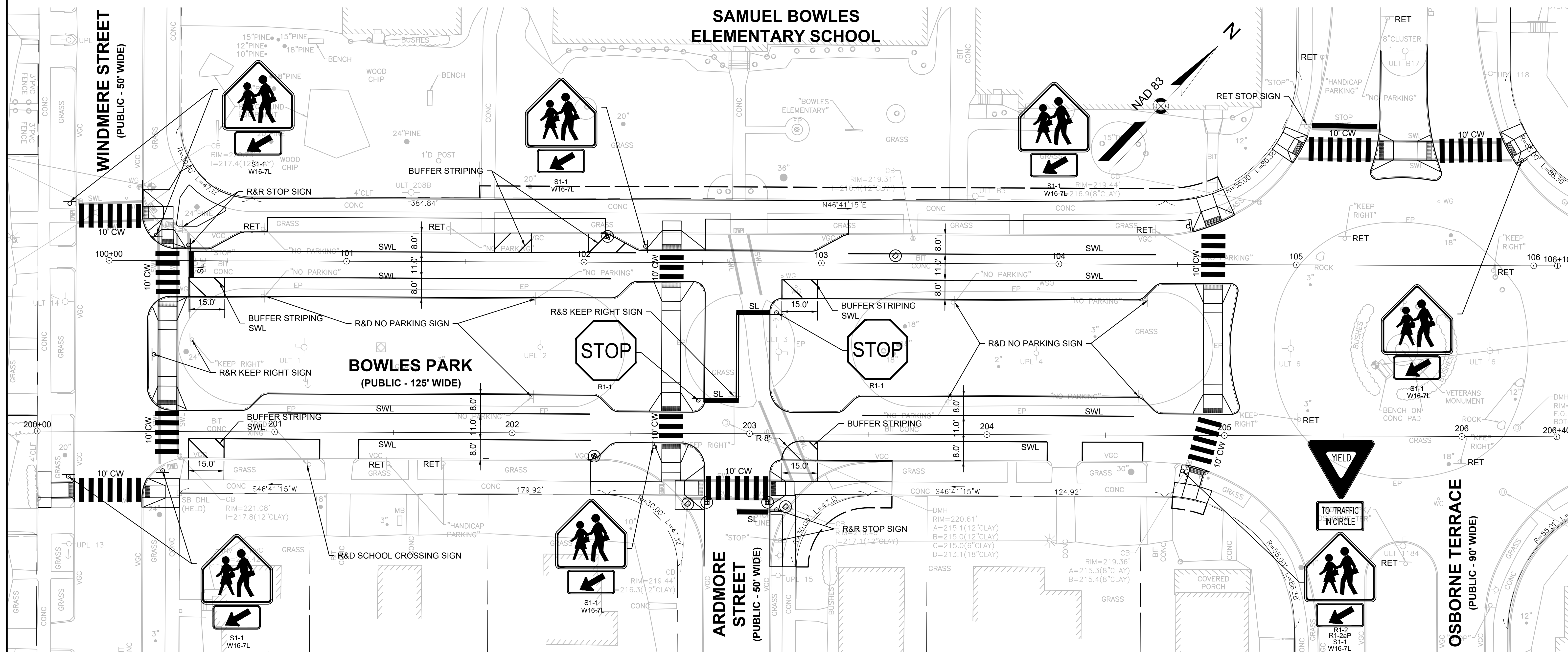
FOR CONSTRUCTION PROFILE:  
 SEE SHEET NO. 12

SPRINGFIELD  
SAMUEL BOWLES SRTS

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	#####	19	29
PROJECT FILE NO.		613515	

TRAFFIC SIGN & PAVEMENT MARKINGS  
SHEET 1 OF 3

613515\_HD(MARKING PLAN).DWG Plotted on 12-Mar-2026 6:50 PM

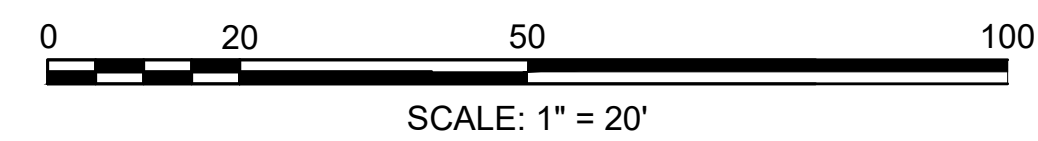
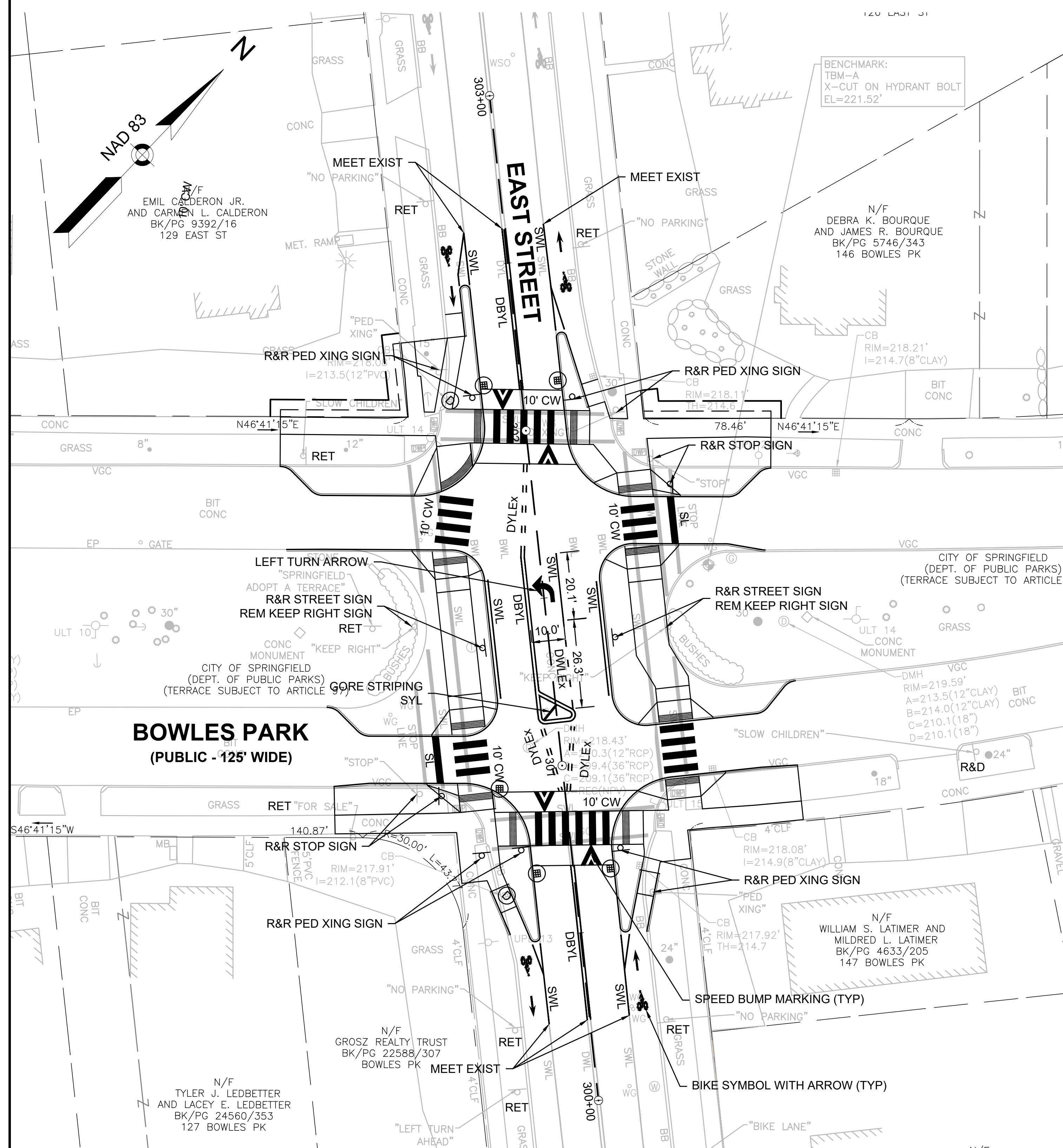


FOR CONSTRUCTION PROFILE:  
SEE SHEET NO. XX

SPRINGFIELD  
SAMUEL BOWLES SRTS

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MA	#####	20	29
PROJECT FILE NO.		613515	

TRAFFIC SIGN & PAVEMENT MARKINGS  
SHEET 2 OF 3



FOR CONSTRUCTION PROFILE:  
SEE SHEET NO. XX



May 12, 2026

Brona Simon  
State Historic Preservation Officer  
Massachusetts Historical Commission  
220 Morrissey Boulevard  
Boston, MA 02125

RE: Springfield (MA) Riverfront Park Access Improvements  
Springfield, Hampden, Massachusetts  
Initiation of Section 106 Consultation and Finding of No Adverse Effects

Dear Ms. Simon:

The Federal Railroad Administration (FRA) is providing financial assistance to the National Railroad Passenger Corporation (Amtrak) for the proposed Springfield (MA) Riverfront Park Access Improvements Project (Project). The Project is located on Hall of Fame Avenue in Springfield, Massachusetts, just northwest of the South Springfield Railroad Station (**Attachment 1**). The Project is an undertaking subject to Section 106 of the National Historic Preservation Act of 1966, as amended, and its implementing regulations 36 CFR Part 800 (Section 106). FRA previously authorized Amtrak to initiate and conduct certain Section 106 consultations in your state pursuant to 36 CFR 800.2(c)(4). On behalf of FRA, Amtrak is providing this letter to initiate Section 106 consultation for the Project and seek comment on findings for components of the Project that do not qualify as an exempted activity under the Advisory Council on Historic Preservation's *Program Comment to Exempt Consideration of Effects to Rail Properties Within Rail Rights-of-Way* (83 FR 42920, August 24, 2018; amended 84 FR 31075, June 28, 2019) (Program Comment). Amtrak is providing the *Project Notification Form* required by your office together with this package.

### **Project Background**

Pedestrians currently access Springfield's Riverfront Park from nearby Hall of Fame Avenue and an adjacent parking lot by crossing active railroad tracks at a designated location. To provide a safe, grade-separated pathway between the park and the parking area, Amtrak is contributing FRA grant funds to the City of Springfield to reconstruct the existing parking area and install a new American with Disabilities Act (ADA)-compliant pathway from the parking area to the entrance of Riverfront Park. The purpose of this project is to enhance public transportation safety and accessibility.

### **Project Description**

The Project proposes reconstructing the existing paved parking area. Additional Project activities include developing a communal space in the parking area and installation of an ADA-compliant concrete ramp from the existing sidewalk on Hall of Fame Avenue to the Riverfront Park entrance (**Attachment 2**). Concrete sidewalks will be installed around the reconfigured parking area and communal space to connect other existing sidewalk networks to improve non-vehicular access. Upgrades to existing guardrail sections, plantings, minor lighting upgrades, and landscaping will also be included as part of the Project. Lighting upgrades to increase public safety will consist of the installation of approximately two new light poles along the proposed pedestrian path as well as the relocation of a single light pole and its associated overhead wiring connections. The new light poles and fixtures will be consistent with the existing lighting, which will remain in place. The full depth of the current parking lot paving is proposed to be reconstructed to address maintenance issues such as

potholes. Grading is expected to be minimal such that the final finished surface matches the existing grade and ties into existing inlets to underground stormwater infrastructure.

To support the new ADA-compliant ramp along the slope between the parking area and an existing roadway, a maximum of approximately 10 feet of excavation will be required to form and pour new concrete retaining walls. An existing retaining wall and stairway will remain in place. Additionally, minor excavation is also expected, approximately 2 feet deep, for curb installation in the parking area. The planting of trees, shrubbery, and landscaping is proposed to enhance the aesthetics of the area and to encourage the use of the new paths. The area of new landscaping encompasses approximately 0.04 acres of the Project Area. The Project also proposes adding a seating area with benches and tables around the gardens. The work will occur on property owned by the City of Springfield. The Project does not require any permanent or temporary easement or acquisition.

### **Area of Potential Effects**

The area of potential effects (APE), as defined in 36 CFR § 800.16(d), is “the geographic area or areas within which an undertaking may directly or indirectly cause alterations in the character or use of historic properties, if any such properties exist.” Amtrak, on behalf of FRA, delineated the APE to reflect the nature, scale, and location of the Project and considered direct effects and indirect effects. Physical effects include all areas where construction activities are proposed to occur as well as areas used to support construction such as temporary access routes and equipment staging areas. The APE and locations of ground disturbance (LOD) are shown in **Attachment 3**.

The proposed project is largely characterized by ground-level improvements, as well as landscaping and minor lighting upgrades to increase public safety. These changes will not introduce any significant new vertical elements since they are few and consistent with existing elements in the APE. The LOD is an approximately 1.15-acre area consisting of a small parking lot, side street, and landscaped lawns. Across the majority of LOD, the vertical ground disturbance is expected to be minimal; however, the proposed retaining walls along the slopeside, part of the planned ADA-compliant ramp, is anticipating a vertical ground disturbance of no greater than approximately 10 feet, with depths of excavation varying across the length of the wall. Additionally, minor excavation is also expected, in the range of approximately 1–2 feet, for curb installation in the parking area. As such, the APE includes the LOD and its immediate adjacent area, to account for potential effects of the proposed project.

### **Identification of Historic Properties**

To identify historic properties in the APE, Amtrak’s consultant, who meets the Secretary of the Interior’s (SOI) Professional Qualifications Standards, reviewed available information, including data provided by Amtrak, National Register of Historic Places (NRHP) listings; SHPO files available on the Massachusetts Cultural Resource Information System (MACRIS), available historic aerial photographs, and the Springfield Geographic Information System, which contains local historic district information and tax parcel data. In addition, the consultant reviewed the 2012 Section 106 report entitled “New Haven-Hartford-Springfield High Speed, Intercity Passenger, and Regional Rail Service” (Springfield Line Report) prepared for the project of the same name, often referred to as the Springfield Line project, which identified historic properties. A site visit was conducted on November 13, 2025, under the direction of Amtrak’s consultant, to photograph the general LOD as well as any built resources within or adjacent to the LOD.

The APE includes the previously identified New Haven-Hartford-Springfield (NHHS) Rail Line, which is an NRHP-eligible historic district under Criteria A and C (Springfield Line Report). The NHHS Rail

Line historic district abuts the LOD to the southwest (**Attachment 3**). The historic district is eligible at local and state levels under Criterion A, in the area of Transportation, associated with the importance of rail connections as a major factor in the region's economic expansion, facilitating the growth of smaller communities into major manufacturing centers of industrial-scale production, including items such as firearms, machine tools, hardware, tableware, carpets, and metal castings. The historic district is also eligible under Criterion C, in the area of Engineering, illustrating numerous examples of structures that exemplify the railroad engineering practices of their respective eras. No period of significance or NRHP boundary for the NHHS Rail Line was established at the time of the eligibility determination; it is assumed that the boundary corresponds to the current railroad ROW. Furthermore, as part of the Environmental Assessment completed for the prior Springfield Line project, the existing Elm Street Bridge, an I-beam structure built in 1905, located at MP 61.28 and adjacent to the LOD, to the southwest, was recommended as a contributing resource to the historic district. The bridge is identified as a representative example of typical railroad engineering from this period (**Attachment 4**). The railroad bridge spans over a pedestrian and cycling path that passes east-west to access the Riverfront Park. The APE also includes a concrete retaining wall that runs north-south, extending south of the bridge on the west side of former Elm Street. The historic-age wall includes an Art Deco-style fluted post at the north end that is adjacent to the bridge, indicating that it may have been constructed circa 1930. Historical research, inclusive of historic aerials and maps, did not identify clear connection between the retaining wall and any existing structure. The retaining wall could be a remnant of a former arrangement or part of building complex, which is not extant. The wall as it stands today does not have historical significance to qualify it for inclusion in the NRHP (**Attachment 4**). The APE does not contain additional historic-age properties of 45 years or older.

No previously recorded archaeological sites were identified on MACRIS within the LOD or within the APE. The nearest recorded archaeological resource is the Court Square site (SPR.HA.87) located approximately 250 meters (m) northeast of the LOD. Based on historical mapping, land use at the Project location has evolved from the "Old Cemetery" as shown on the Smith map of 1851; what appears to be residential and other small land uses in 1870, which included retaining walls and fill to level the lots in the northern portion of the LOD; and the Springfield Gas Light Co. in 1911 and 1920 (see **Attachment 5**). However, a Phase 1A archaeological assessment survey was completed as part of the New Haven-Hartford-Springfield High Speed, Intercity Passenger, and Regional Rail Project in 2012, and no areas of archaeological sensitivity were identified within or adjacent to the present LOD as part of that study (Springfield Line Report). Additionally, this portion of the Springfield riverfront was also included within the southern portion of the Springfield Local Protection Project from 1938–1948, which consisted of the construction of earthen dikes and concrete flood walls along the east side of the Connecticut River. Based on the Project's location within the Interstate Highway I-91 disturbance corridor, heavy alterations this area has undergone as evidenced by nineteenth- and early twentieth-century historical mapping, and disturbance required to install the existing infrastructure, the LOD has a low probability to contain significant, intact archaeological deposits. For additional information on the APE's land use history, please refer to **Attachment 5**.

### **Assessment of Effects**

In accordance with 36 CFR Part 800.5, Amtrak assessed the Project's effects to the NHHS Rail Line historic district and potential archaeological resources.

The proposed Project includes the removal of existing concrete pavement, reconfiguring and resurfacing the existing paved parking area, installation of an ADA-compliant ramp, sidewalks, landscaping, construction of new retaining walls, and relocation and installation of light poles and associated electrical wiring; however, these changes will not result in an adverse effect to the historic district. The proposed actions adjacent to the NHHS Rail Line will not alter its ability to convey its

significance. The proposed Project will not alter character-defining features of the rail corridor, nor will it obstruct views or introduce changes to the setting and context of the resource. The contributing Elm Street bridge and the associated retaining walls and drainage surrounding the bridge will not be altered by the proposed Project. The proposed Project includes design plans to protect the existing concrete retaining wall that is located immediately south of the Elm Street Bridge during construction.

As stated above, no previously recorded archaeological sites were identified within the APE. Historical mapping depicts the project area as heavily developed from the early nineteenth century through the twentieth century (**Attachment 5**). By the 1960s, the entirety of the APE was completely excavated and graded to facilitate the construction of I-91, which included the removal of Water Street and its adjacent properties. The 2012 Phase 1A archaeological assessment survey, which included the entire project area, identified no areas of archaeological sensitivity within or adjacent to the present LOD. Based on these factors, the LOD has a low probability of containing significant, intact, archaeological deposits (historic or pre-contact). Because the majority of proposed ground disturbing activities are anticipated to be relatively shallow, remaining within previously disturbed soils, in conjunction with the heavily altered urban setting, no additional archaeological investigations are warranted.

In accordance with 36 CFR Part 800.5, on behalf of FRA, Amtrak considered the scope of work and determined that the proposed Project will not alter the qualifying characteristics of historic properties in a manner that will diminish their integrity and will not adversely affect the NHHS Rail Line historic district.

### **Consulting Party Outreach**

Amtrak identified parties that may be interested in the Project and Amtrak's determination of effects. On behalf of FRA, Amtrak invites the individuals/organizations copied on this letter to participate as Section 106 consulting parties. Invited parties should indicate their willingness to participate as a consulting party and provide comments, as indicated below, within 30 calendar days from the date on this letter. If any invited party expresses concern about the Project's potential effects to historic properties, Amtrak will consult with you and other consulting parties to resolve those concerns prior to project implementation. For more information on the role of a consulting party, see: <https://www.achp.gov/citizens-guide-section-106-review>.

FRA invited federally recognized Indian tribes (**Attachment 6**) to participate in consultation by separate correspondence.

### **Finding of Effect**

On behalf of FRA, Amtrak finds that the undertaking will have **No Adverse Effects** on historic properties pursuant to 36 CFR 800.5(b).

### **Request for Comment**

Please provide any comments on the Project and the APE, historic property identification efforts, list of consulting parties, and Amtrak's effect findings to me at [shay.keyhanpoor@amtrak.com](mailto:shay.keyhanpoor@amtrak.com) and [Amtrak\\_S106\\_Submissions@dot.gov](mailto:Amtrak_S106_Submissions@dot.gov) within 30 calendar days from receipt of this letter. If you have questions or wish to discuss this Project, I can be reached at the number below. Thank you for your cooperation on the Project.

Sincerely,



Shaghayegh Keyhanpoor  
Lead Historic Preservation Specialist  
Amtrak  
Phone: (215) 606-8371

**Attachments**

1. Project Location Map
2. Project Plan
3. APE Map and Identified Historic Properties Overview
4. Photographs of the Elm Street Bridge
5. Land Use History and Historical Mapping of the Project Area
6. Consulting Parties List (Federally Recognized Indian Tribes)

**cc:** Laura Shick, FRA Supervisory Environmental Protection Specialist  
Richard O'Brien, Amtrak  
Andrew Strniste, Springfield Historical Commission Director of Community Planning

950 CMR: OFFICE OF THE SECRETARY OF THE COMMONWEALTH

APPENDIX A

MASSACHUSETTS HISTORICAL COMMISSION  
220 MORRISSEY BOULEVARD  
BOSTON, MASS. 02125  
617-727-8470, FAX: 617-727-5128

**PROJECT NOTIFICATION FORM**

Project Name: Springfield (MA) Riverfront Park Access Improvements

Location / Address: Hall of Fame Avenue, just northwest of the South Springfield RR Station

City / Town: Springfield

Project Proponent

Name: City of Springfield

Address: 36 Court Street

City/Town/Zip/Telephone: Springfield, MA 01103

Agency license or funding for the project (list all licenses, permits, approvals, grants or other entitlements being sought from state and federal agencies).

Agency Name

Type of License or funding (specify)

Federal Railroad Administration (FRA)

Annual Capital Grant

**Project Description (narrative):**

See attached.

**Does the project include demolition? If so, specify nature of demolition and describe the building(s) which are proposed for demolition.**

No.

**Does the project include rehabilitation of any existing buildings? If so, specify nature of rehabilitation and describe the building(s) which are proposed for rehabilitation.**

No.

**Does the project include new construction? If so, describe (attach plans and elevations if necessary).**

See attached.

950 CMR: OFFICE OF THE SECRETARY OF THE COMMONWEALTH

APPENDIX A (continued)

**To the best of your knowledge, are any historic or archaeological properties known to exist within the project's area of potential impact? If so, specify.**

Yes. The New Haven-Springfield Rail Line recommended as NRHP eligible as a district in 2012, and the Elm Street Bridge (MP 61.28) recommended as a contributing element to the New Haven-Springfield Rail Line district (see attached).

**What is the total acreage of the project area?**

Woodland _____	acres	Productive Resources:	
Wetland _____	acres	Agriculture _____	acres
Floodplain _____	acres	Forestry _____	acres
Open space _____	acres	Mining/Extraction _____	acres
Developed _____	acres	Total Project Acreage _____	acres

**What is the acreage of the proposed new construction?** <0.75 \_\_\_\_\_ acres

**What is the present land use of the project area?**

Parking lot to access Springfield's Riverfront Park.

**Please attach a copy of the section of the USGS quadrangle map which clearly marks the project location.  
See attached.**

This Project Notification Form has been submitted to the MHC in compliance with 950 CMR 71.00.

---

Signature of Person submitting this form: *Zachary Nason* Date: 5/12/2026

Name: Zachary Nason

Address: 15 Research Drive

City/Town/Zip: Amherst, MA 01002

Telephone: 603.781.2292

REGULATORY AUTHORITY

950 CMR 71.00: M.G.L. c. 9, §§ 26-27C as amended by St. 1988, c. 254.

**Site Photographs**



**Photo 1. Project area overview photograph, view facing southeast (11/13/25).**

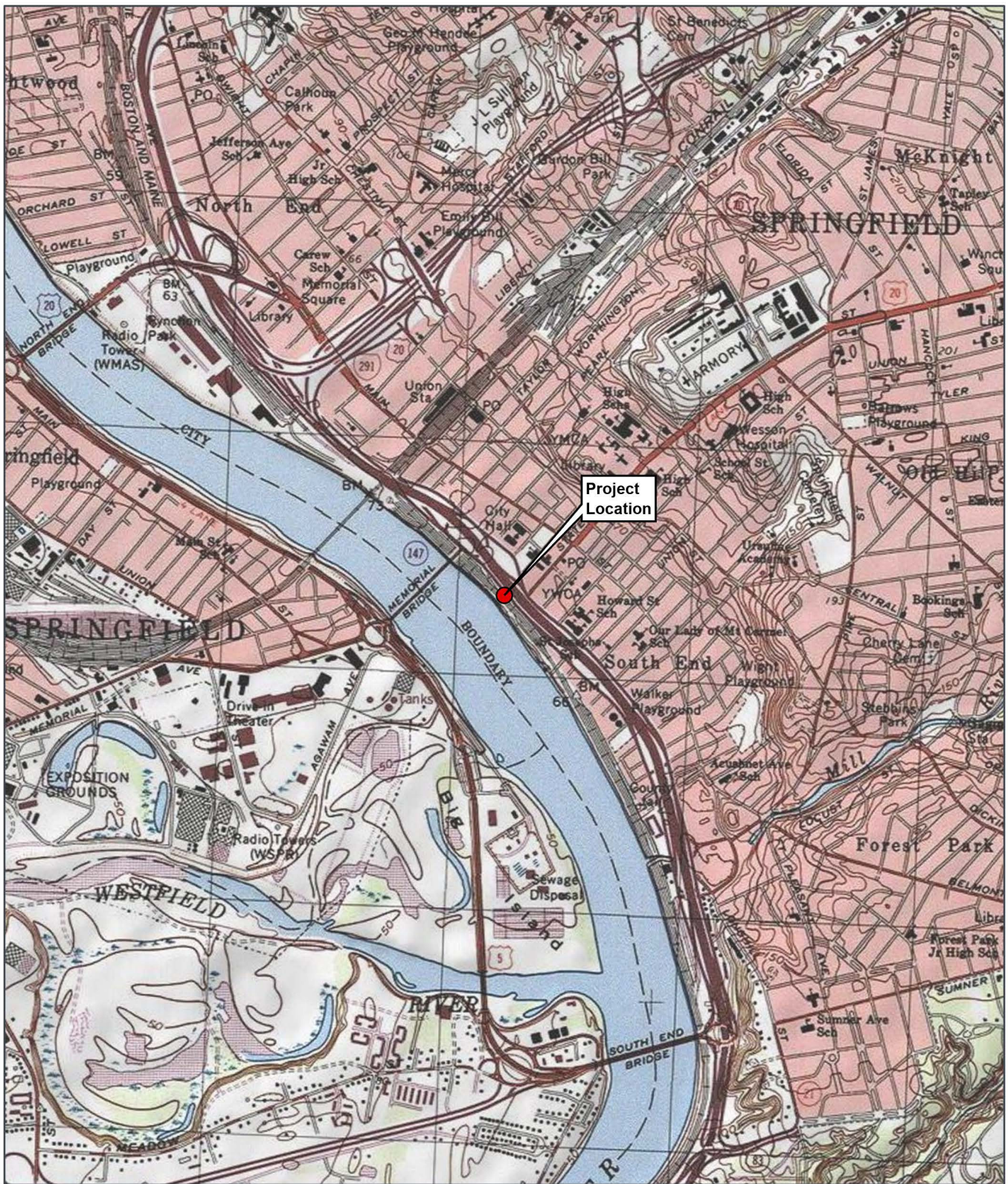


**Photo 2. Project area overview photograph, view facing northwest (11/13/25).**



**Photo 3. Project area overview photograph, view facing east (11/13/25).**

Attachment 1  
Project Location Map




SPRINGFIELD (MA)  
 RIVERFRONT PARK ACCESS  
 IMPROVEMENTS  
**Attachment 1.**  
**USGS**  
**Topographic Map**

 Project Location

Springfield, MA  
 USGS 7.5' Quadrangle:  
 Springfield South, MA, 42072-  
 A5  
 NAD 1983 StatePlane  
 Massachusetts Mainland FIPS  
 2001 Feet  
 42.0989°N 72.5907°W  
 Base Map: Esri ArcGIS Online,  
 accessed January 2026  
 Updated: 1/20/2026  
 Project No. 92323  
 Layout: 01 USGS Project Location  
 Aprx:  
 92323\_springfield\_Riverside\_Park

0 1,000 2,000  
 Feet  
 0 250 500  
 Meters

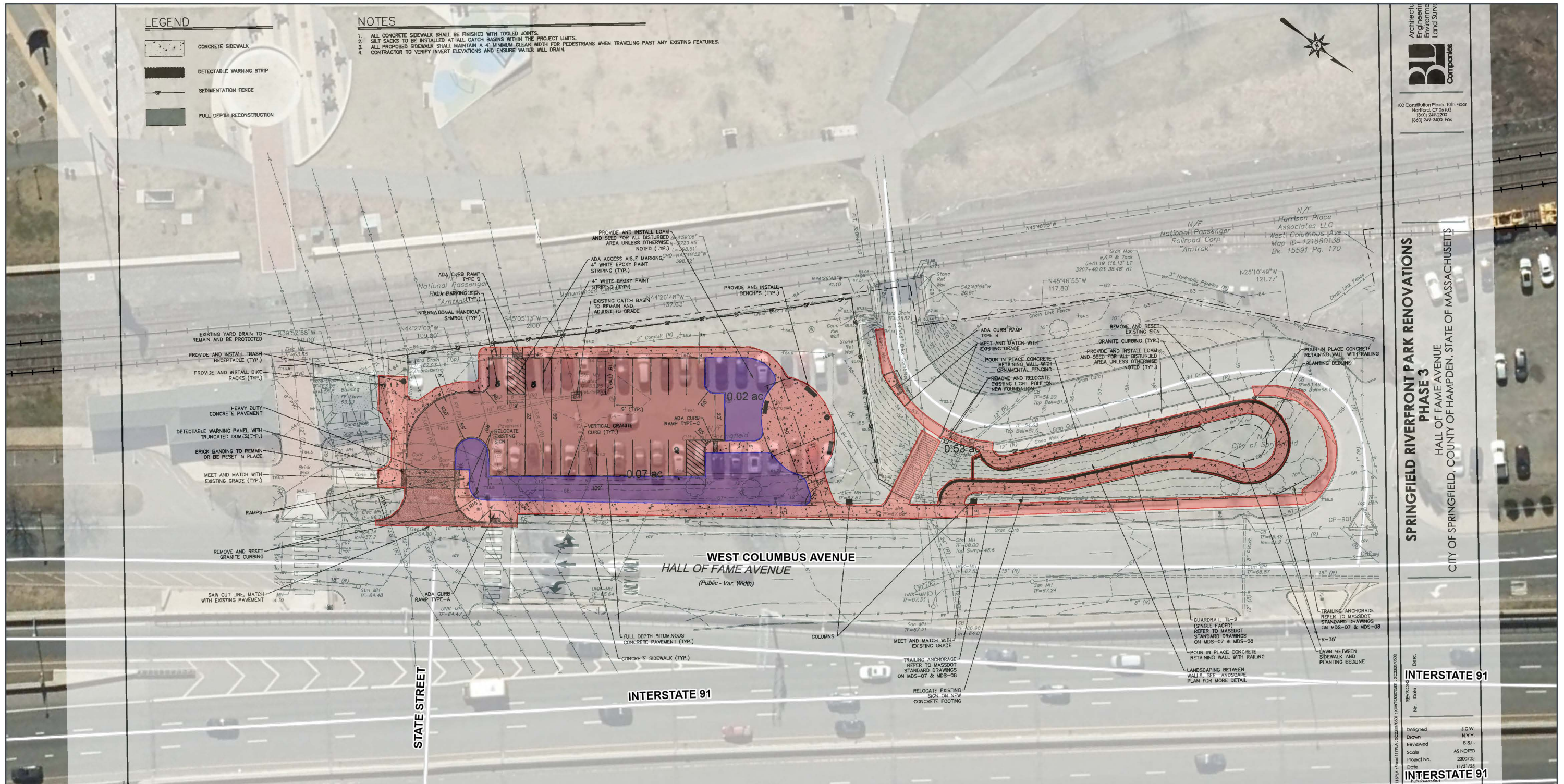
N



1:24,000  
**SWCA**  
 ENVIRONMENTAL CONSULTANTS

Attachment 2

Project Plans



**LEGEND**

	CONCRETE SIDEWALK
	DETECTABLE WARNING STRIP
	SEDIMENTATION FENCE
	FULL DEPTH RECONSTRUCTION

- NOTES**
1. ALL CONCRETE SIDEWALK SHALL BE FINISHED WITH TOOLED JOINTS.
  2. SILT SACKS TO BE INSTALLED AT ALL CATCH BASINS WITHIN THE PROJECT LIMITS.
  3. ALL PROPOSED SIDEWALK SHALL MAINTAIN A 4' MINIMUM CLEAR WIDTH FOR PEDESTRIANS WHEN TRAVELING PAST ANY EXISTING FEATURES.
  4. CONTRACTOR TO VERIFY INVERT ELEVATIONS AND ENSURE WATER WILL DRAIN.

Architecture  
Engineering  
Environment  
Land Survey

**BH**  
Companies

100 Constitution Plaza, 10th Floor  
Hartford, CT 06103  
(860) 246-2200  
(860) 246-2400 Fax

**SPRINGFIELD RIVERFRONT PARK RENOVATIONS  
PHASE 3**  
HALL OF FAME AVENUE  
CITY OF SPRINGFIELD, COUNTY OF HAMPDEN, STATE OF MASSACHUSETTS

**INTERSTATE 91**  
**INTERSTATE 91**

SPRINGFIELD (MA) RIVERFRONT PARK  
ACCESS IMPROVEMENTS  
**Attachment 2. Project  
Plans**

- Railway
- Road
- Proposed Impervious Area
- Proposed Greenspace

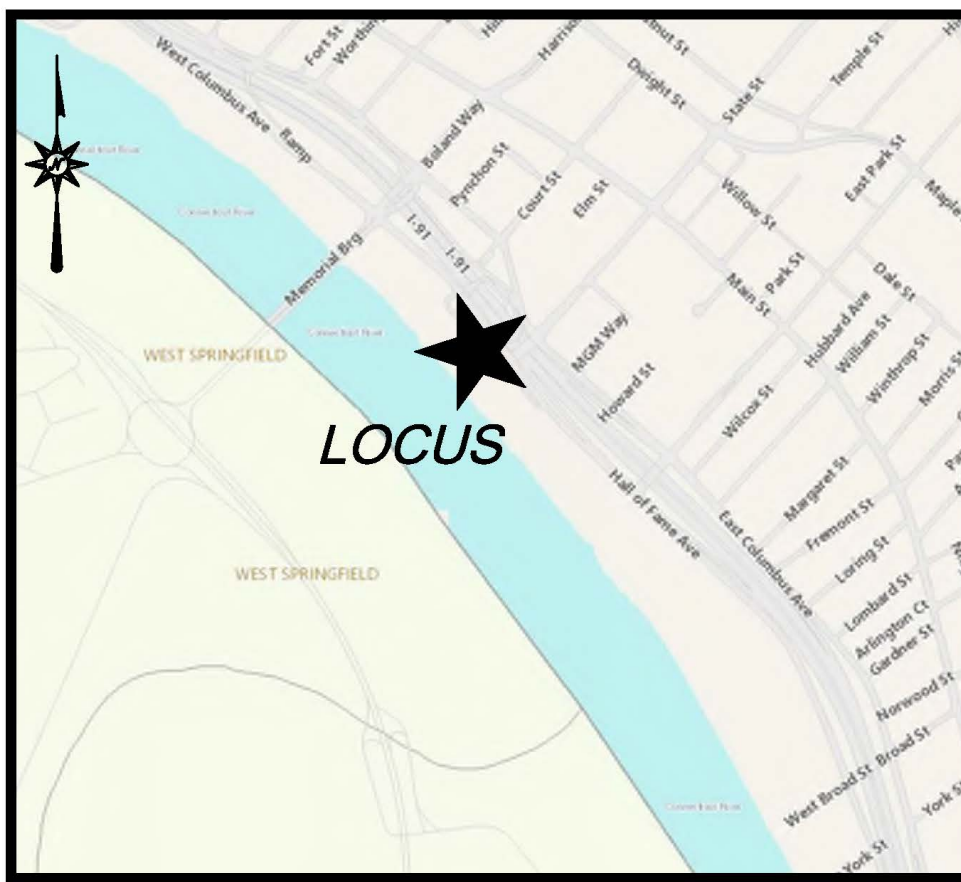
Springfield, MA  
USGS 7.5' Quadrangle:  
Springfield South, MA, 42072-  
A5  
NAD 1983 StatePlane  
Massachusetts Mainland FIPS  
2001 Feet  
42.0989°N 72.5907°W

0 25 50  
0 5 10  
Meters Feet

Base Map: Esri ArcGIS Online,  
accessed January 2026  
Updated: 1/20/2026  
Project No. 92323  
Layout: 02 Plan Overlay Ortho  
92323\_springfield\_Riverside\_Park

1:600

**SWCA**  
ENVIRONMENTAL CONSULTANTS



**LOCATION MAP**  
NOT TO SCALE

**LEGEND**

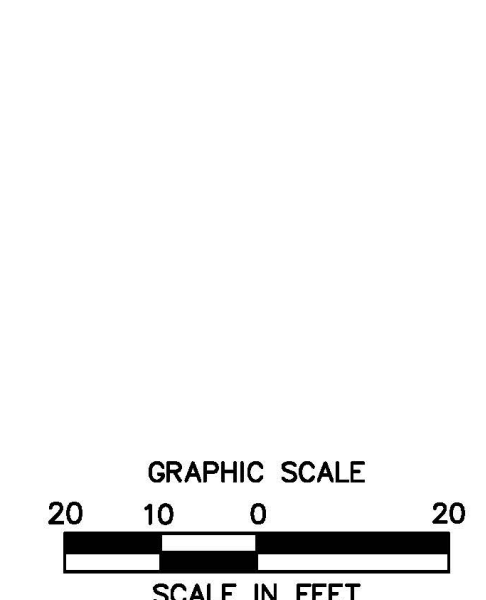
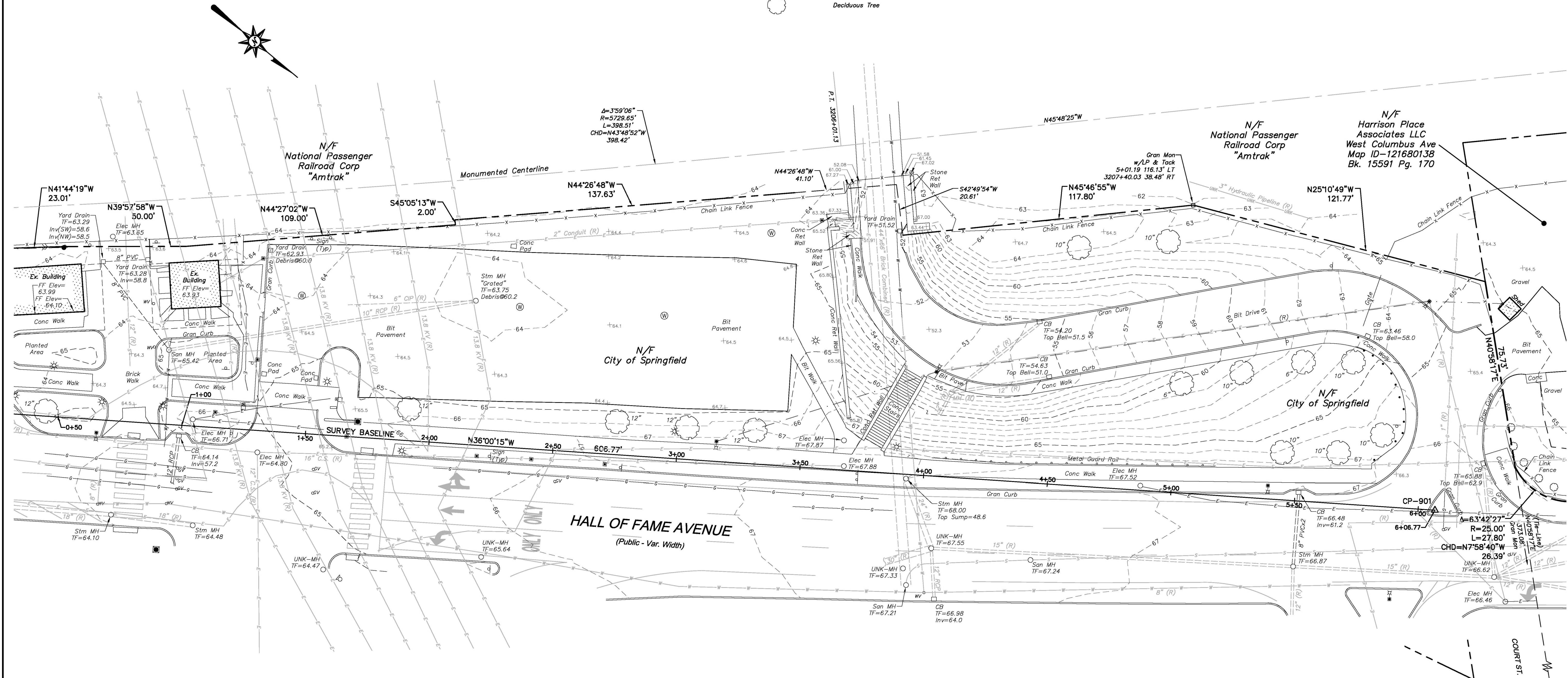
	Property Line
	Major Contour
	Minor Contour
	Retaining Wall
	Fence
	Overhead Wires
	Gas Line
	Water Line
	Storm Sewer
	Utility From Record
	Utility Pole
	Utility Pole w/ Light
	Guy Wire
	Monitoring Well
	Gas Valve
	Catch Basin
	Manhole
	Fire Hydrant
	Water Valve
	Sign
	Deciduous Tree

**PLAN REFERENCES**

- A. "STATION MAP LANDS THE NEW YORK NEW HAVEN AND HARTFORD R.R. CO. OPERATED BY THE NEW YORK NEW HAVEN AND HARTFORD R.R. CO. FROM NEW HAVEN TO SPRINGFIELD STATION 3167+00 TO STATION 3218+80 CITY OF SPRINGFIELD STATE OF MASS. SCALE: 1 IN.=100 FT. DATE JUNE 30, 1915, OFFICE OF VALUATION ENGINEER BOSTON, MASS."
- B. "SPRINGFIELD, MASS. DEPARTMENT OF STREETS AND ENGINEERING, ELM ST. COLUMBUS AVE. TO CONN. RIVER, SCALE: 1"=40', DATE: APRIL 1940, FILE NO. 189-49"
- C. "NEW YORK, NEW HAVEN & HARTFORD RAILROAD REAL ESTATE & RIGHT OF WAY DEPARTMENT LANDS IN SPRINGFIELD, MASS. TO BE CONVEYED TO SPRINGFIELD GAS LIGHT COMPANY, SCALE: 1 IN. = 40 FT. DEC. 1943". (H.C.L.R. PLANS 22 PAGE 62).
- D. "SPRINGFIELD GAS LIGHT CO. SPRINGFIELD, MASS. SCALE 1 IN.=40 FT. DATE: JULY 1966". (H.C.L.R. PLANS 107 PAGE 84).
- E. "SPRINGFIELD, MASS. DEPARTMENT OF PUBLIC WORKS PLAN OF LAND OWNED BY W.M.E. CO. TO BE ACQUIRED BY THE CITY OF SPFLD. FOR RIVERFRONT PARK PURPOSES, SCALE: 1"=40' DATE: JAN. 1978". PREPARED BY: RICHARD P. WEISSE REGISTERED LAND SURVEYOR (H.C.L.R. PLANS 163 PAGE 117).
- F. "PLAN OF LAND IN THE CITY OF SPRINGFIELD-MASSACHUSETTS, HAMPTON COUNTY, OWNED BY THE SPRINGFIELD REDEVELOPMENT AUTHORITY, SCALE: 1"=40', DATE: MARCH 26, 1984, DRAWING NO. 96-5651". PREPARED BY: DURKEE, WHITE, TOWNE AND CHAPDELANE CIVIL ENGINEERS AND LAND SURVEYORS CHICOPEE, MASSACHUSETTS (H.C.L.R. PLANS 216 PAGE 36).
- G. "SPRINGFIELD, MASS. DEPARTMENT OF PUBLIC WORKS WEST COLUMBUS AVENUE, VARIOUS DISCONTINUITIES BETWEEN STATE STREET AND GRIMMOR STREET, SCALE: 1"=20', DATE: MAR. 31, 1987, FILE NO. 421-9", SHEETS 3 & 4 OF 4.
- H. "PLAN OF LAND IN SPRINGFIELD, MASSACHUSETTS SURVEYED FOR RIVERPLACE, INC., SCALE: 1"=40', DATE: SEPTEMBER 10, 1987". PREPARED BY: HERITAGE SURVEYS SOUTHAMPTON, MASS (H.C.L.R. PLANS 282 PAGE 81).
- I. "PLAN OF LAND IN SPRINGFIELD, MASSACHUSETTS SURVEYED FOR SPRINGFIELD REDEVELOPMENT AUTHORITY, SCALE: 1"=50', DATE: FEBRUARY 4, 1997, SHEET 1 OF 2". PREPARED BY: HERITAGE SURVEYS, INC. SOUTHAMPTON, MASSACHUSETTS (H.C.L.R. PLANS 302 PAGE 100).

**GENERAL NOTES**

1. NORTH ARROW AND BEARINGS REFER TO NAD 83 (MASS MAINLAND) AND ARE BASED ON GPS READINGS BY BL COMPANIES IN OCTOBER 2023 UTILIZING SMARTNET NETWORK.
2. ELEVATIONS AND CONTOURS REFER TO NAVD 88 AND ARE BASED ON GPS READINGS BY BL COMPANIES IN OCTOBER 2023 UTILIZING SMARTNET NETWORK.
3. PARCEL IS PARTIALLY LOCATED IN FLOOD HAZARD AREA "X" (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVES FROM 1% ANNUAL CHANCE FLOOD) AS DEPICTED ON F.I.R.M. COMMUNITY PANEL NO. 25013C 0402 E PANEL 402 OF 506 EFFECTIVE DATE: JULY 16, 2013.
4. THE UNDERGROUND UTILITIES DEPICTED HAVE BEEN PLOTTED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES DEPICTED ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE PLOTTED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY EXPOSED THE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION.
- 4.1. AT THE TIME OF THIS SURVEY NOT ALL UTILITY COMPANIES HAVE RESPONDED TO REQUESTS FOR AVAILABLE UTILITY MAPPING.



I CERTIFY THAT THE PROPERTY LINES SHOWN HEREON ARE THOSE DIVIDING EXISTING OWNERSHIP, AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

THIS SURVEY AND PLAN WERE PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTRARS OF DEEDS, AND THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

2023-11-03  
DATE

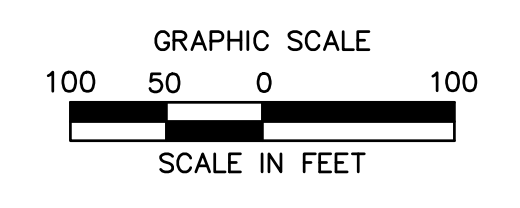
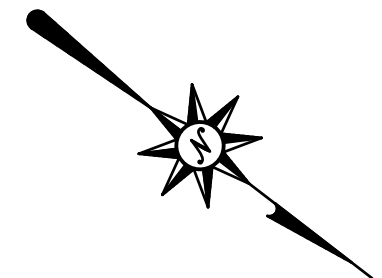
JENNIFER MARKS MA PLS #38712

**SPRINGFIELD RIVERFRONT PARK RENOVATIONS  
PHASE 3**  
HALL OF FAME AVENUE  
CITY OF SPRINGFIELD, COUNTY OF HAMPTDEN, STATE OF MASSACHUSETTS

Desc.	
REVISIONS	
No.	Date
Surveyed	S.B.
Drawn	A.C.
Reviewed	D.A.S.
Scale	1"=20'
Project No.	2300705
Date	10/24/2023
Field Book	583
CAD File:	EX230070501
Title	EXISTING CONDITIONS SURVEY
Sheet No.	EX-1

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**SPRINGFIELD RIVERFRONT PARK RENOVATIONS  
PHASE 3**  
HALL OF FAME AVENUE  
CITY OF SPRINGFIELD, COUNTY OF HAMPDEN, STATE OF MASSACHUSETTS





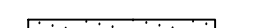
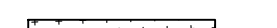
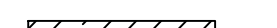



REVISIONS	No.	Date	Desc.
Designed			S.E.P.
Drawn			S.E.P.
Reviewed			S.S.L.
Scale			AS NOTED
Project No.			2300705
Date			11/21/25
CAD File:			INX230070501

Title  
**INDEX  
PLAN**

Sheet No.

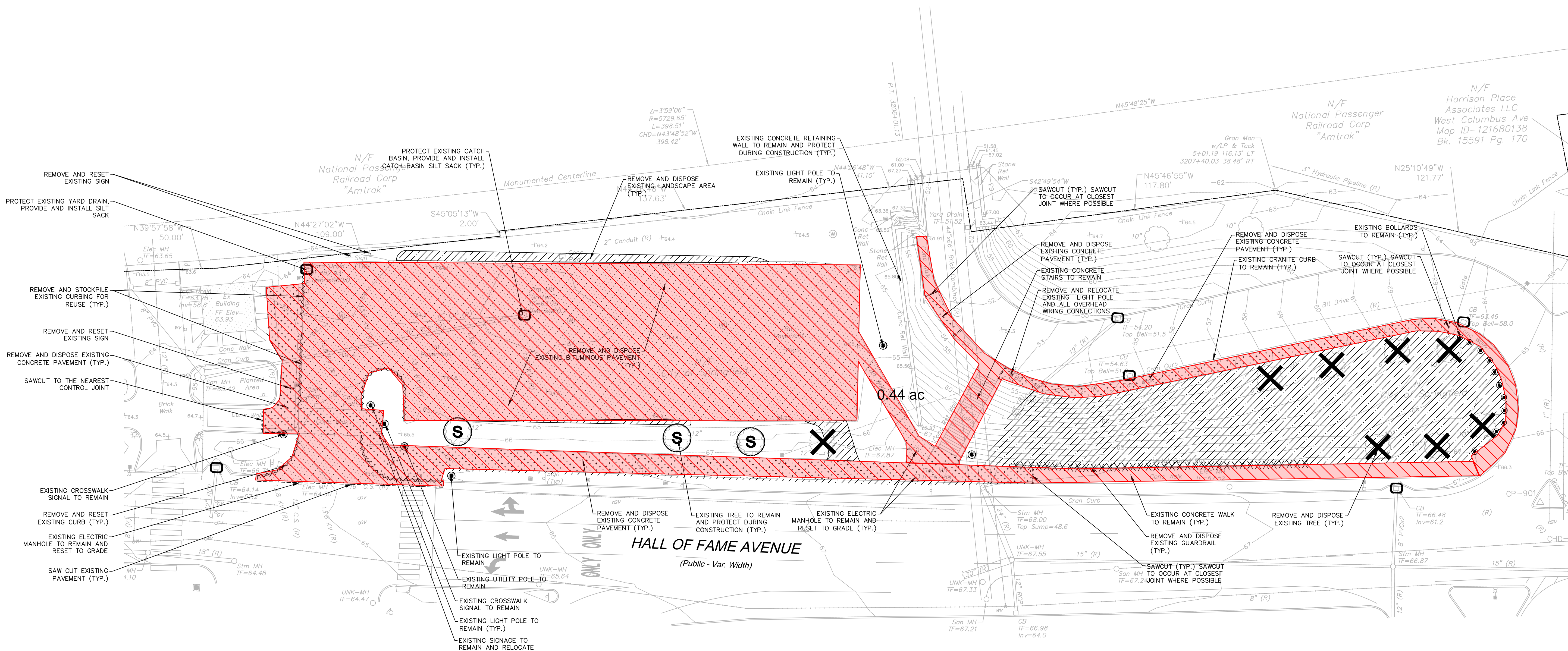
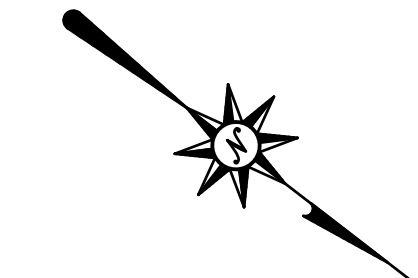
**INX-01**

# DEMOLITION PLAN LEGEND

-  PROPERTY LINE
-  REMOVE AND STOCKPILE EXISTING CURB
-  REMOVE AND DISPOSE EXISTING GUARDRAIL
-  SAWCUT LINE
-  REMOVE AND DISPOSE EXISTING BITUMINOUS PAVEMENT
-  REMOVE AND DISPOSE EXISTING CONCRETE SIDEWALK AND APRON
-  REMOVE AND DISPOSE EXISTING LANDSCAPE AREA
-  PROVIDE AND INSTALL SILT SACK AT CATCH BASIN
-  REMOVE AND DISPOSE EXISTING STRUCTURE/TREE/FURNISHING
-  PROTECT EXISTING STRUCTURE/TREE/FURNISHING

# NOTES

1. REMOVAL AND DISPOSAL OF STRUCTURES AND FURNISHINGS SHALL INCLUDE FOUNDATION UNLESS OTHERWISE NOTED.
2. GRUBBING ACTIVITIES TO OCCUR IN STAGES AND ONLY WHERE EXCAVATION AND SUBSEQUENT STABILIZATION MEASURES ARE TO IMMEDIATELY FOLLOW. UPON ESTABLISHMENT OF PROPOSED GRADE, PROVIDE LANDSCAPE TREATMENT.
3. SILT SACKS TO BE INSTALLED AT ALL CATCH BASINS WITHIN THE PROJECT LIMITS.



**SPRINGFIELD RIVERFRONT PARK RENOVATIONS**  
**PHASE 3**  
 HALL OF FAME AVENUE  
 CITY OF SPRINGFIELD, COUNTY OF HAMPDEN, STATE OF MASSACHUSETTS

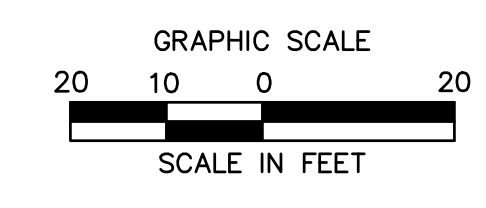


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REVISIONS	No.	Date	Desc.

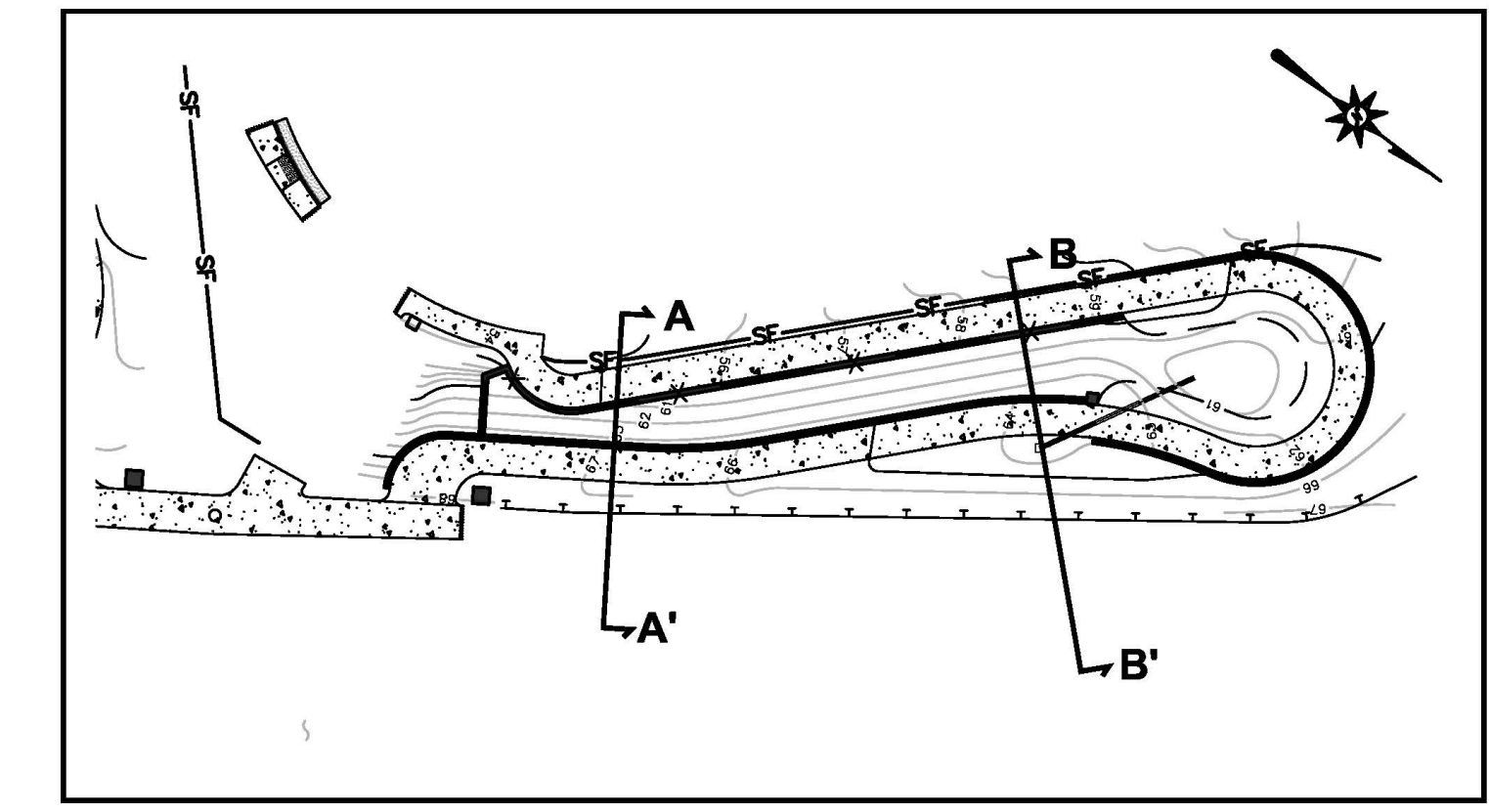
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Drawn	N.Y.Y.
Reviewed	S.S.L.
Scale	AS NOTED
Project No.	2300705
Date	11/21/25
CAD File:	DEM230070501
Title	DEMOLITION PLAN
Sheet No.	DEM-01



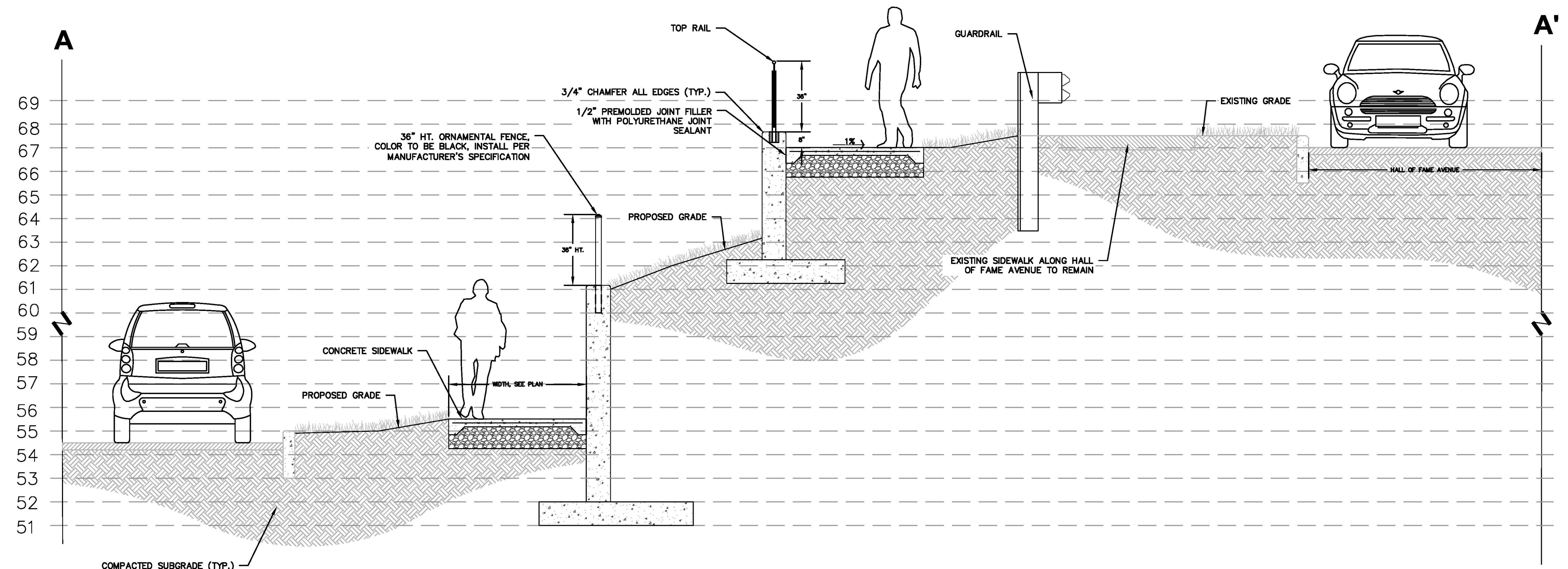
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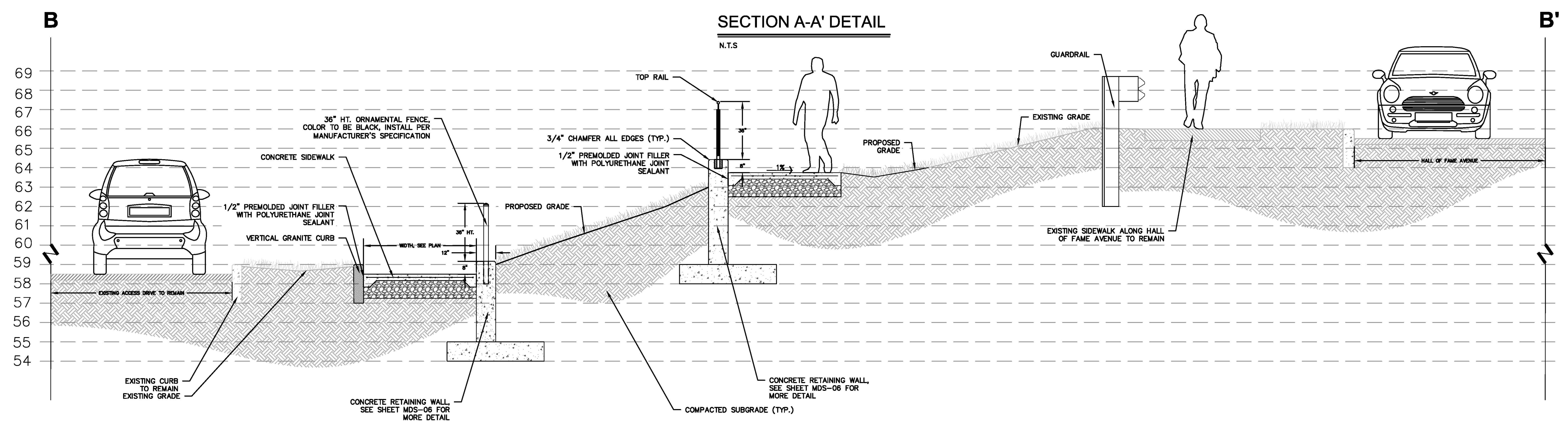
**SPRINGFIELD RIVERFRONT PARK RENOVATIONS**  
**PHASE 3**  
HALL OF FAME AVENUE  
CITY OF SPRINGFIELD, COUNTY OF HAMPDEN, STATE OF MASSACHUSETTS



KEYMAP  
N.T.S.



**SECTION A-A' DETAIL**  
N.T.S.



**SECTION B-B' DETAIL**  
N.T.S.

REVISIONS	Desc.
No.	Date





  

Designed	N.Y.Y.
Drawn	N.Y.Y.
Reviewed	S.S.L.
Scale	AS NOTED
Project No.	2300705
Date	11/21/25
CAD File:	MDS230070501
Title	MISCELLANEOUS DETAILS
Sheet No.	

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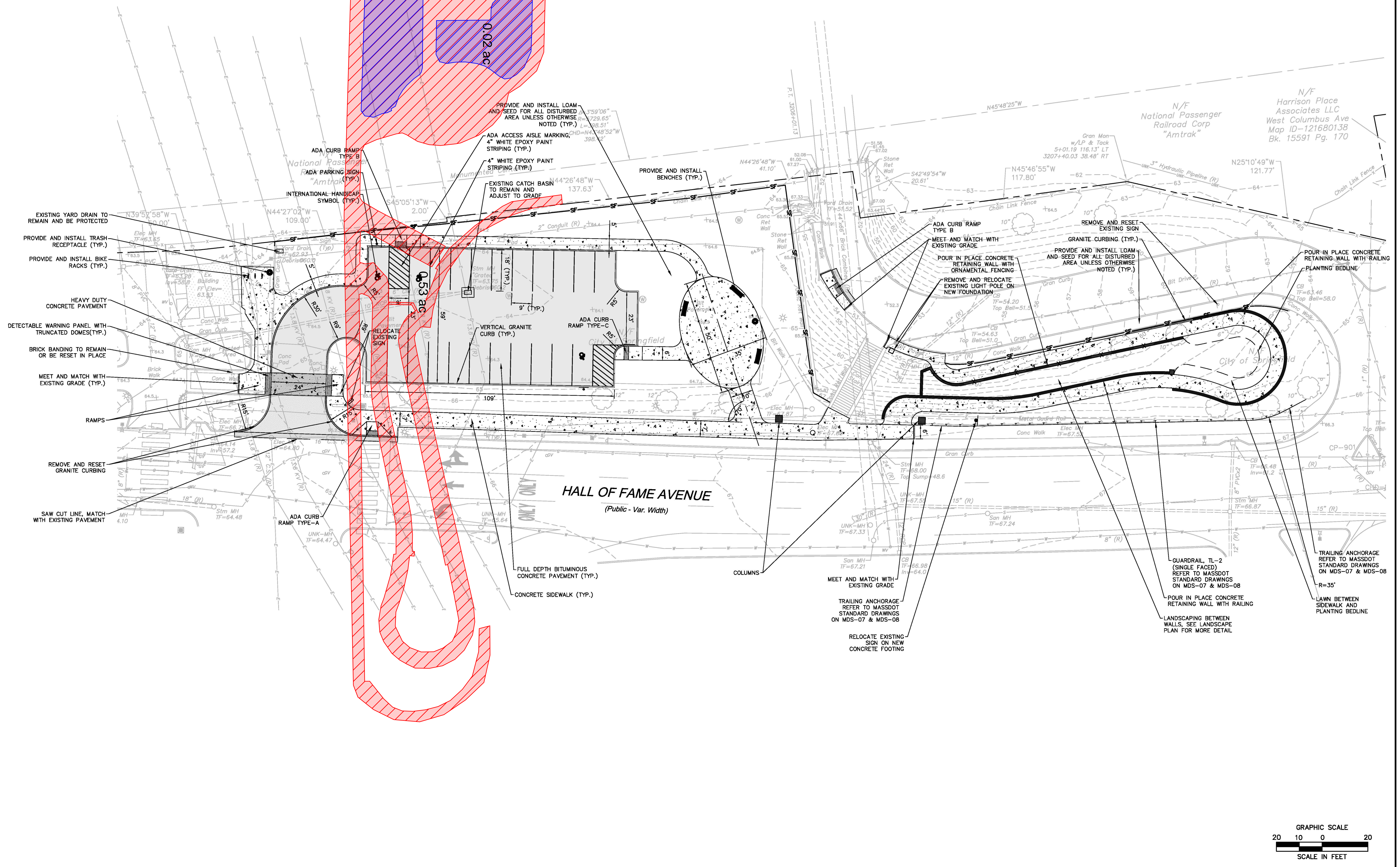
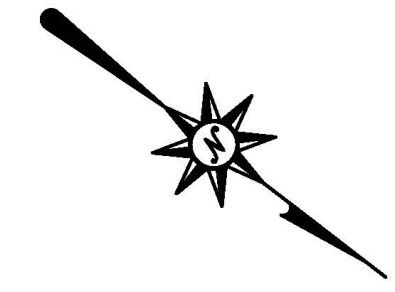


**LEGEND**

-  CONCRETE SIDEWALK
-  DETECTABLE WARNING STRIP
-  SEDIMENTATION FENCE
-  FULL DEPTH RECONSTRUCTION

**NOTES**

1. ALL CONCRETE SIDEWALK SHALL BE FINISHED WITH TOGGLED JOINTS.
2. SILT SACKS TO BE INSTALLED AT ALL CATCH BASINS WITHIN THE PROJECT LIMITS.
3. ALL PROPOSED SIDEWALK SHALL MAINTAIN A 4' MINIMUM CLEAR WIDTH FOR PEDESTRIANS WHEN TRAVELING PAST ANY EXISTING FEATURES.
4. CONTRACTOR TO VERIFY INVERT ELEVATIONS AND ENSURE WATER WILL DRAIN.



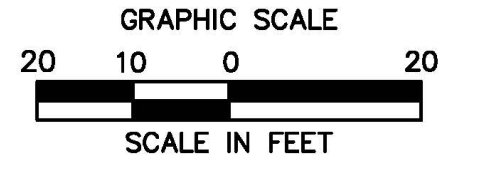
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**SPRINGFIELD RIVERFRONT PARK RENOVATIONS  
 PHASE 3  
 HALL OF FAME AVENUE  
 CITY OF SPRINGFIELD, COUNTY OF HAMPDEN, STATE OF MASSACHUSETTS**

REV#	DATE	DESCRIPTION



Designed	J.C.W.
Drawn	N.Y.Y.
Reviewed	S.S.L.
Scale	AS NOTED
Project No.	230705
Date	11/21/25
CAD File:	PLN23070501
Title	SITE PLAN
Sheet No.	PLN-01



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**LEGEND**

-  CONCRETE SIDEWALK
-  DETECTABLE WARNING STRIP

**NOTES**

1. ALL CONCRETE SIDEWALK SHALL BE FINISHED WITH TOOLED JOINTS.
2. SILT SACKS TO BE INSTALLED AT ALL CATCH BASINS WITHIN THE PROJECT LIMITS.
3. ALL PROPOSED SIDEWALK SHALL MAINTAIN A 4" MINIMUM CLEAR WIDTH FOR PEDESTRIANS WHEN TRAVELING PAST ANY EXISTING FEATURES.
4. CONTRACTOR TO VERIFY INVERT ELEVATIONS AND ENSURE WATER WILL DRAIN.

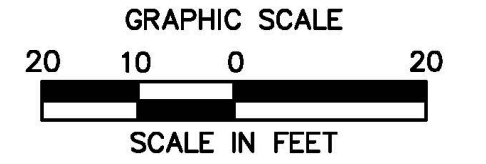
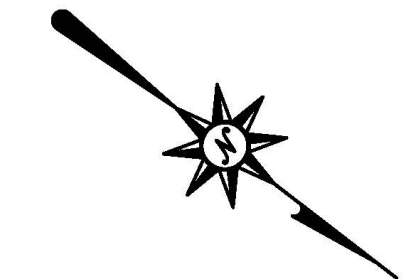
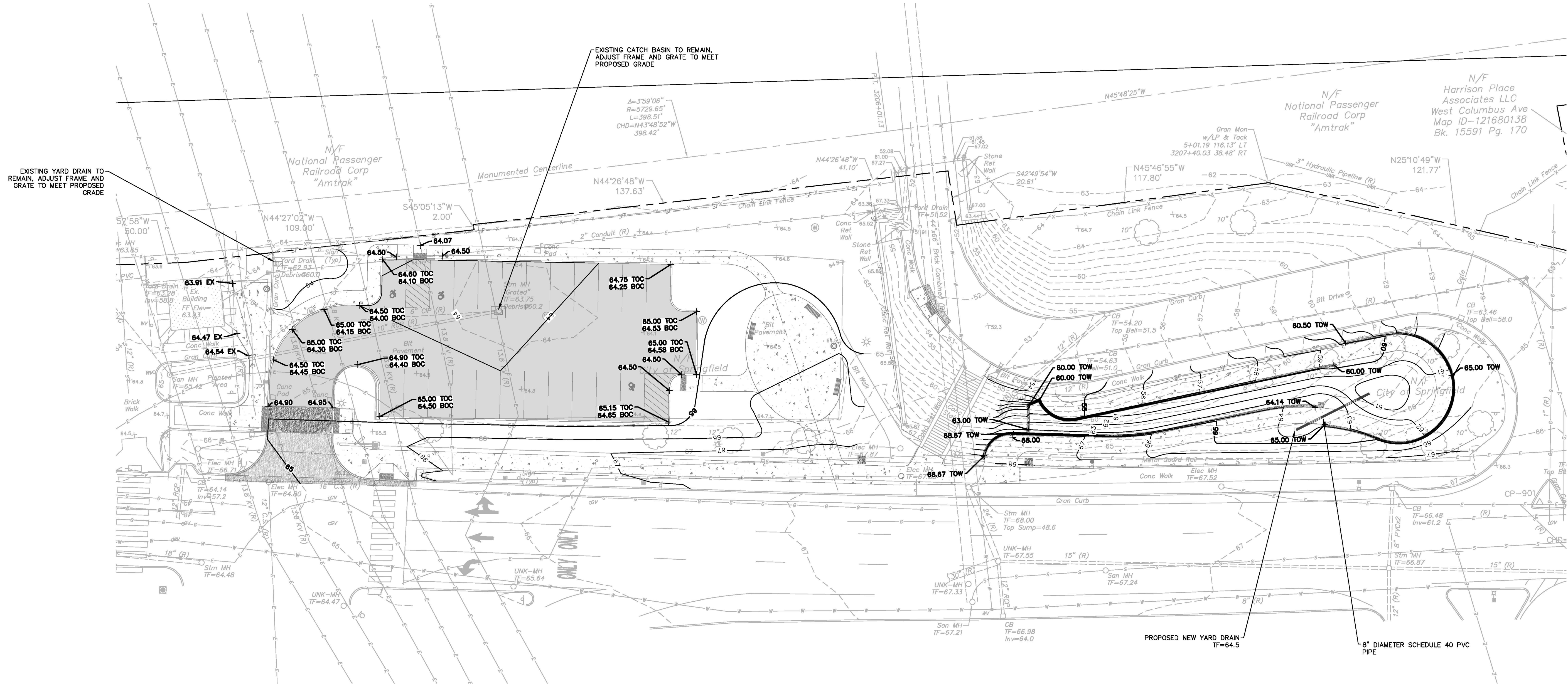
**SPRINGFIELD RIVERFRONT PARK RENOVATIONS  
PHASE 3**  
HALL OF FAME AVENUE  
CITY OF SPRINGFIELD, COUNTY OF HAMPDEN, STATE OF MASSACHUSETTS

REV#	DATE	DESC.

Designed	J.C.W.
Drawn	J.C.W.
Reviewed	S.S.L.
Scale	AS NOTED
Project No.	2300705
Date	11/21/25
CAD File:	GRA230070501
Title	<b>GRADING AND UTILITIES PLAN</b>
Sheet No.	<b>GRA-01</b>




**GRA-01**

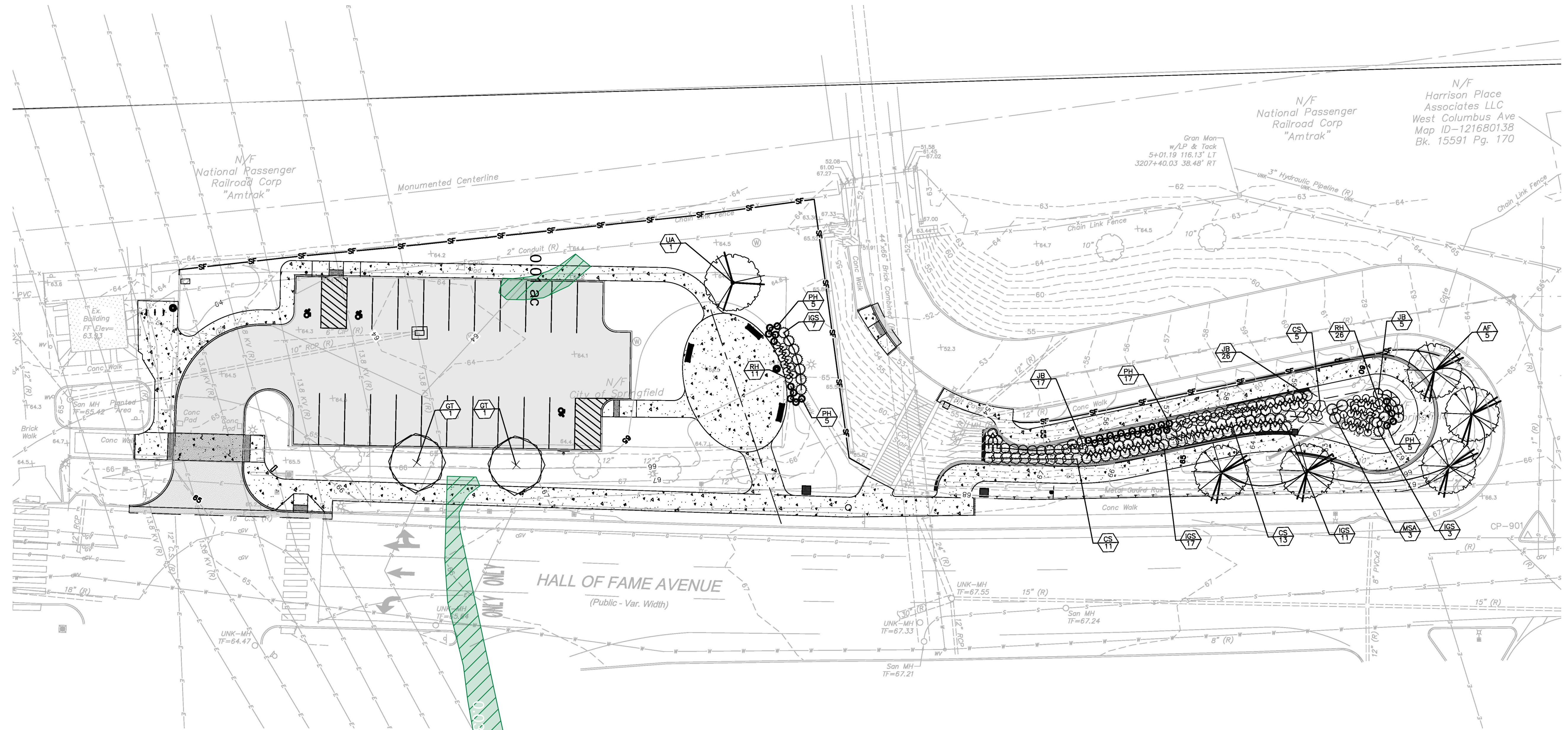





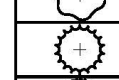
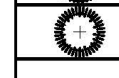




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**LEGEND**

-  CONCRETE SIDEWALK
-  DETECTABLE WARNING STRIP
-  SEDIMENTATION FENCE



PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
<b>TREES</b>						
	AF	5	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG FREEMAN MAPLE	2"-2.5" CAL.	B&B
	GT	2	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2.5"-3" CAL.	B&B
	UA	1	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	2.5"-3" CAL.	B&B
<b>SHRUBS</b>						
	CS	29	CORNUS SERICEA	RED TWIG DOGWOOD	5 GAL.	CONT.
	IGS	39	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24"-30" HT. & SPD.	CONT. OR B&B
	JB	48	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	24" SPD MIN	CONT.
	PH	32	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	1 GAL.	CONT.
<b>ORNAMENTAL GRASSES</b>						
	MSA	3	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO EULALIA GRASS	3 GAL.	CONT.
<b>PERENNIALS</b>						
	RH	37	RUDBECKIA HIRTA	BLACK-EYED SUSAN	1 GAL.	CONT.

- NOTES:**
- 1) ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
  - 2) PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS; THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
  - 3) IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.

**SPRINGFIELD RIVERFRONT PARK RENOVATIONS  
PHASE 3**  
HALL OF FAME AVENUE  
CITY OF SPRINGFIELD, COUNTY OF HAMPDEN, STATE OF MASSACHUSETTS

REVISIONS	
No.	Date

Designed: J.C.W.  
Drawn: J.C.W.  
Reviewed: S.S.L.  
Scale: AS NOTED  
Project No.: 2300705  
Date: 11/21/25  
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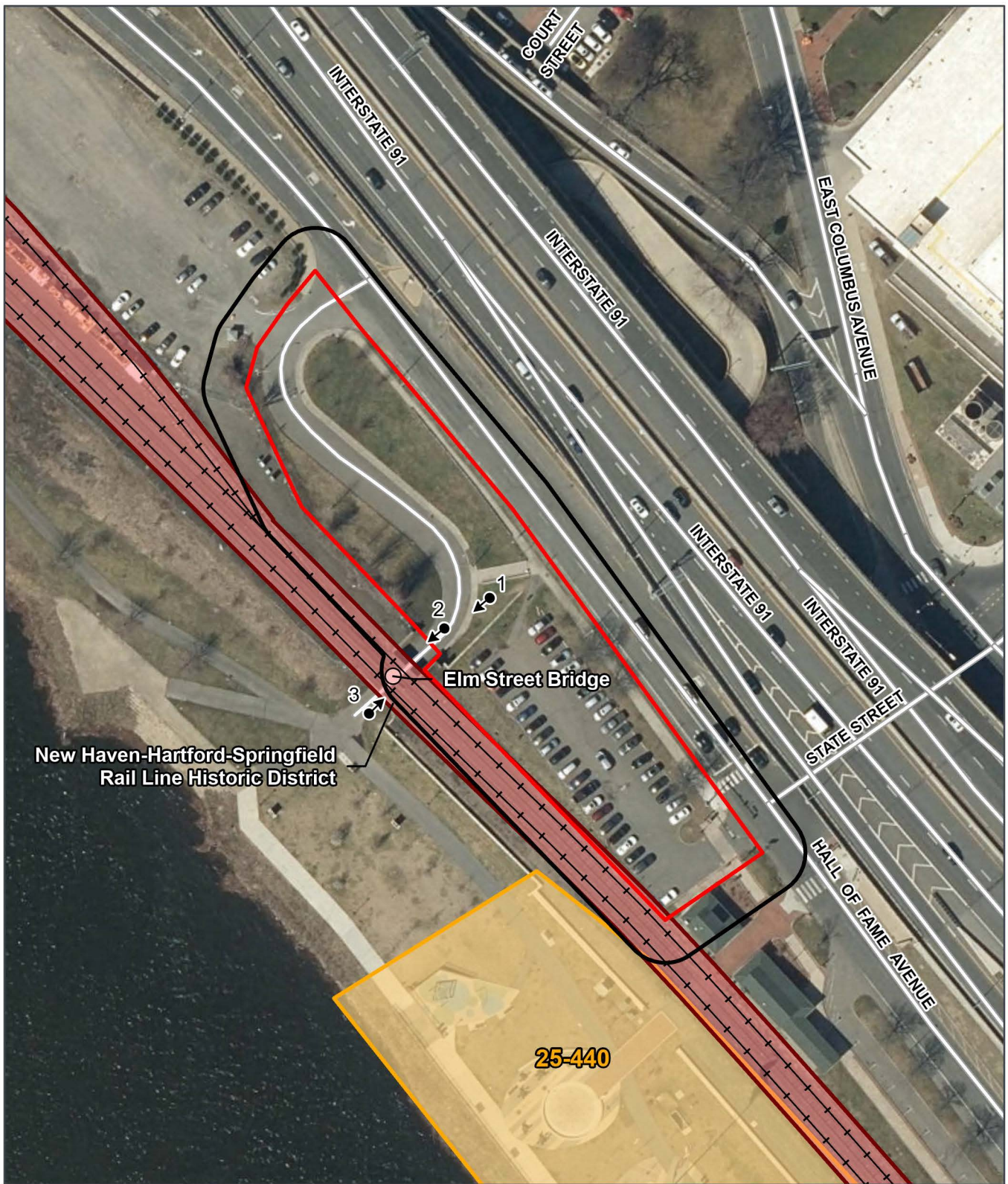
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Sheet No. \_\_\_\_\_

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## Attachment 3

### APE Map and Identified Historic Properties Overview



SPRINGFIELD (MA)  
 RIVERFRONT PARK ACCESS  
 IMPROVEMENTS  
**Attachment 3.**  
**Cultural**  
**Resources**  
**Background Map**

- NRHP Eligible Property
- Area of Potential Effects
- Limits of Disturbances
- NRHP Eligible District
- Previous Survey
- Photo Location
- Railway
- Road

Springfield, MA  
 USGS 7.5' Quadrangle:  
 Springfield South, MA, 42072-  
 A5  
 NAD 1983 StatePlane  
 Massachusetts Mainland FIPS  
 2001 Feet  
 42.099°N 72.5907°W  
 Base Map: Esri ArcGIS Online,  
 accessed April 2026  
 Updated: 4/8/2026  
 Project No. 92323  
 Layout: 03 CR Background  
 Aprx:  
 92323\_springfield\_Riverside\_Park

0 50 100 Feet  
 0 10 20 Meters

N

1:1,200

**SWCA**  
 ENVIRONMENTAL CONSULTANTS

## Attachment 4

### Photographs of the Elm Street Bridge



**Photo 1. The New Haven-Hartford-Springfield Rail Line and the Elm Street Bridge, view facing southwest from within the LOD (11/13/25).**



**Photo 2. Elm Street Bridge, view facing southwest (11/13/25).**



**Photo 3. Elm Street Bridge, view facing northeast (11/13/25).**

## Attachment 5

### Land Use History and Historical Mapping of the Project Area

## Land Use History

This area of Springfield has been developed for urban and industrial uses since at least 1835 (Colton Map 1835). Historically, the APE would have been situated between State Street in the south; Elm Street in the north; the Springfield, Hartford, and New Haven Railroad to the west; and Water Street to the east (Sanborn Map Company 1886). A portion of the block was occupied by the Springfield Gas Company according to the Smith 1851 map and the Beers 1870 map. The Smith 1851 map also shows an old cemetery (labeled as the "Old Cemetery") occupying three city blocks along the bank of the river, from Court Street to State Street. The "Old Cemetery" overlaps with the APE on the 1851 map, but was already removed 1848 when the remains were exhumed and reinterred at the Springfield Cemetery along Pine Street. Over 2,404 bodies were removed from the old cemetery as part of this process (Cooley 1941). Neither the 1835 map nor the 1886 maps (Sanborn Map Company 1886; USGS 1886) reference this cemetery. Sanborn fire insurance maps from the turn of the nineteenth century show that this city block was primarily an industrial yard associated with the railroad; brick structures housed coal, iron, and gas, and wooden sheds occupied the interior courtyard spaces (Sanborn Map Company 1886, 1896, 1911). In 1936, massive flooding of the Connecticut River inundated much of Springfield, depositing up to 3 feet of mud in some places; the cross section of State Street and Main Street, to the northeast of the project area, was completely submerged (The Republican March 19, 1936). Two years later, in 1938, the Great New England Hurricane hit, flash flooding of the Chicopee and Connecticut Rivers once again devastated Springfield (The Republican: September 22, 1938 and September 23, 1938). Between December 1938 and December 1948, the U.S. Army Corps of Engineers oversaw the Springfield Local Protection Project which consisted of the construction of earthen dikes and concrete flood walls along 18,000 feet of the Connecticut River in Springfield; the southern portion of this effort began just south of Memorial Bridge and continued in the vicinity of the APE (U.S. Army Corps of Engineers). Another massive flood hit Springfield in 1955 as a result of Hurricane Diane which caused flash flooding and extensive damage (The Springfield Daily Union August 25, 1955). Historic aerials show large warehouse-like structures and associated parking lots in 1957 and 1958 which were demolished for the construction of Interstate Highway 91, completed in 1970 (Milone & Macbroom 2018). No evidence was reported of any components of the "Old Cemetery" being identified during I-91 construction. An aerial progress shot of the I-91 construction featured in the Sunday, June 4, 1967, issue of The Republican shows the APE void of all previous structures and parking lots and fully excavated (Map 5). The ground surface is exposed and the slope up to the north between Court Street and State Street is visible. Water Street is visible on this aerial prior to its reconstruction following the completion of I-91. Today, Hall of Fame Avenue follows a portion of the original Water Street course; however, not in the vicinity of the project area. Aerial photography from 1970 shows the distinct rounded shape of the grassy area already present having likely been restored post I-91 construction following the removal and leveling of the former lot retaining walls. The APE has remained more-or-less unchanged since the construction of the interstate.

## References

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- Smith, Marcus, and H. A. Jones. 1851. "Map of Springfield, Massachusetts." Map. New York: M. Dripps, 1851. *Norman B. Leventhal Map & Education Center*, <https://collections.leventhalmap.org/search/commonwealth:9s161c33t>. Accessed November 2025.
- The Republican. 1936. 19 March. Springfield, Massachusetts.
- The Republican. 1936. 22 September. Springfield, Massachusetts.
- The Republican. 1938. 23 September. Springfield, Massachusetts.
- The Springfield Daily Union. 1955. 25 August. Springfield, Massachusetts.

U.S. Army Corp of Engineers. No date. *Springfield Local Protection Project*. Available at: <https://www.nae.usace.army.mil/Missions/Civil-Works/Flood-Risk-Management/Massachusetts/Springfield/>. Accessed April 2026.

U.S. Geological Survey. 1886. Springfield, Massachusetts, Quadrangle topographic map, 1:625,000 scale. United States Department of the Interior, Washington, D.C.

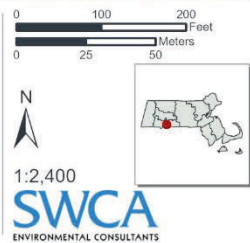


SPRINGFIELD (MA)  
 RIVERFRONT PARK ACCESS  
 IMPROVEMENTS  
**Attachment 5.**  
**Smith 1851**  
**Historic Map**

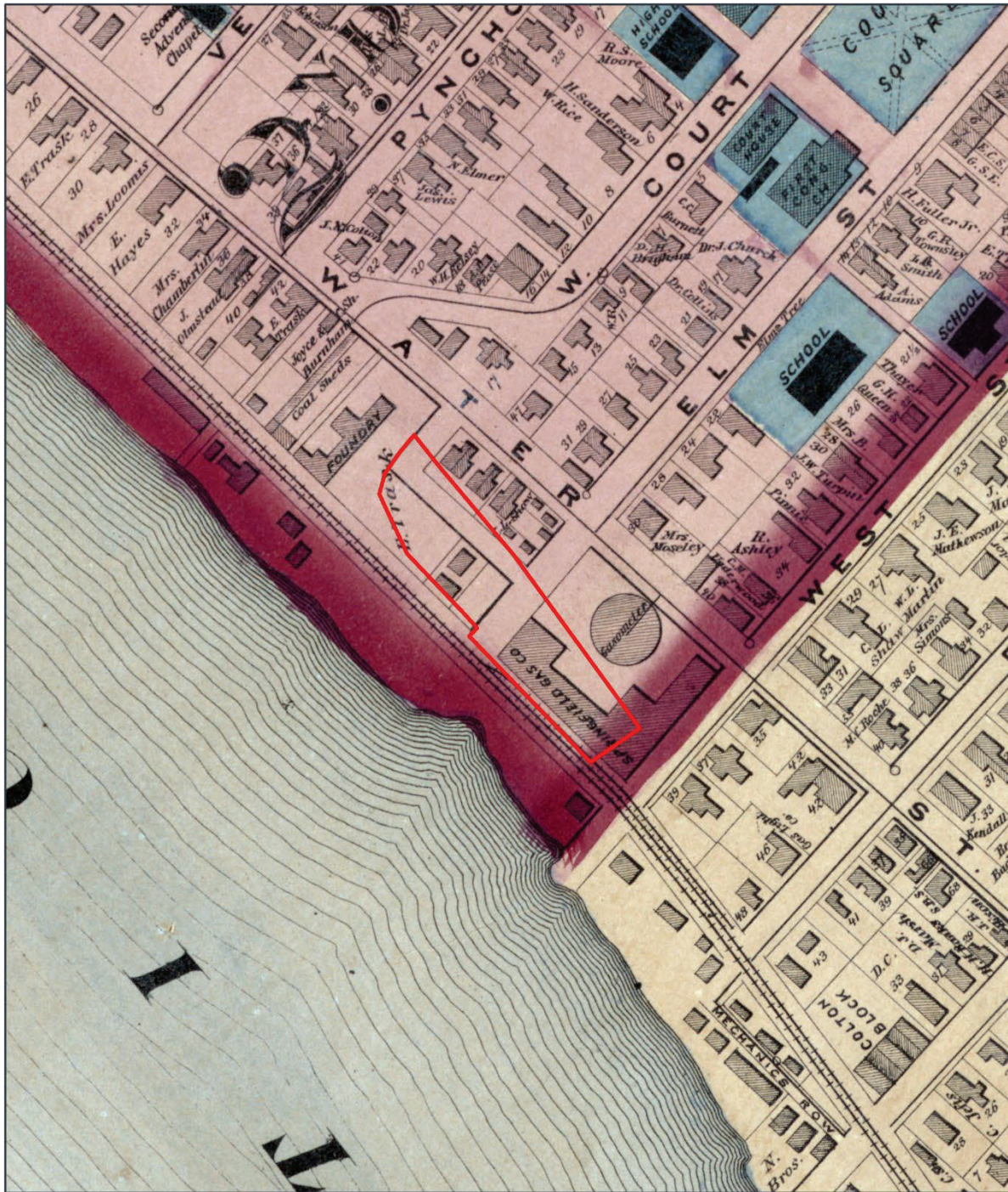
 Locations of Ground Disturbance (LOD)

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 A5  
 NAD 1983 StatePlane  
 Massachusetts Mainland FIPS  
 2001 Feet  
 42.099°N 72.5907°W


Base Map: Esri ArcGIS Online,  
 accessed January 2026  
 Updated: 1/22/2026  
 Project No. 92323  
 Layout: Smith, 1851  
 Aprx:  
 92323\_springfield\_Riverside\_Park



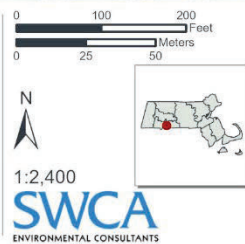
Map 1. 1851 map of Springfield (Smith 1851).



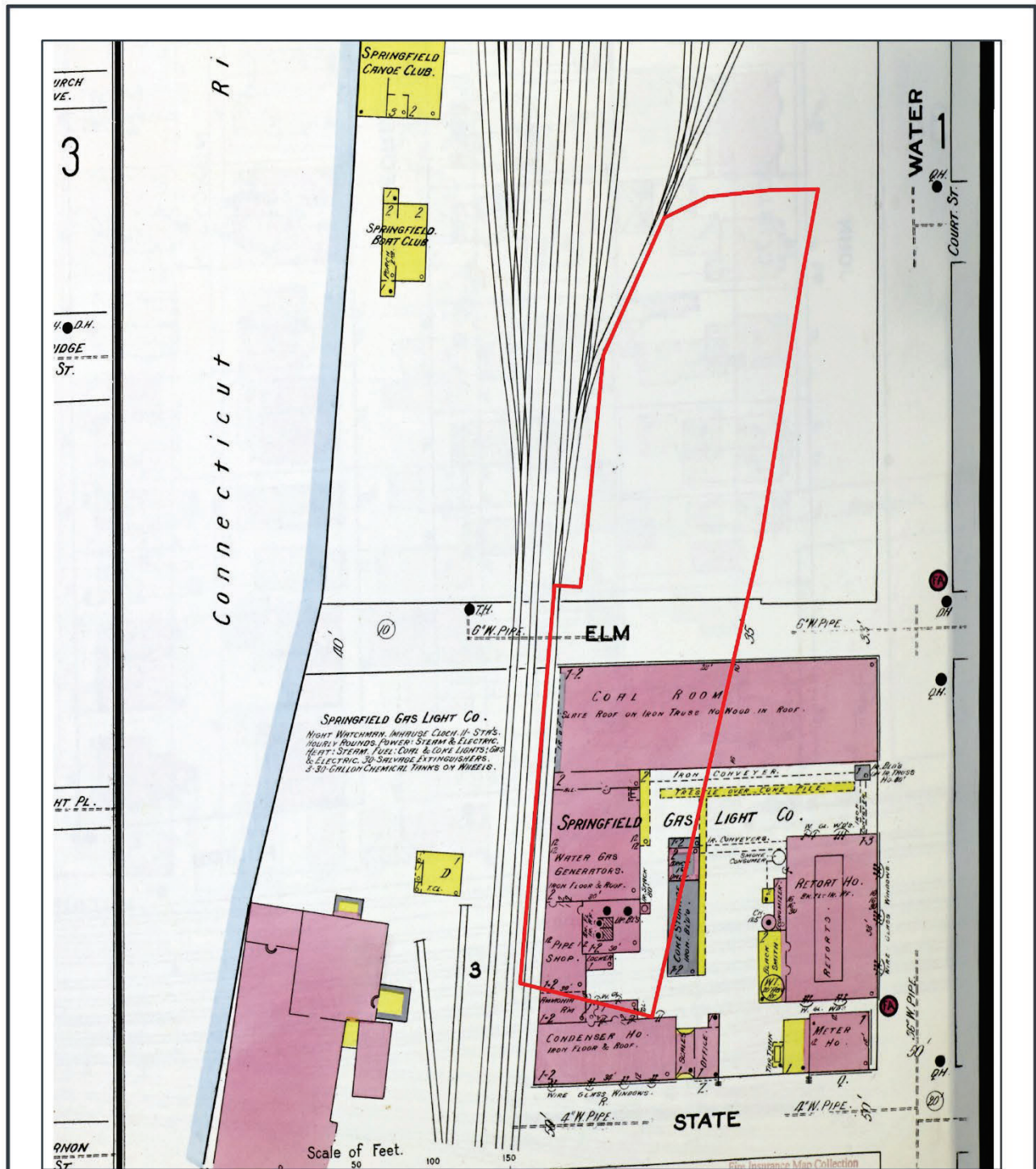
SPRINGFIELD (MA)  
 RIVERFRONT PARK ACCESS  
 IMPROVEMENTS  
**Attachment 5.**  
**Beers 1870**  
**Historic Map**

 Locations of Ground Disturbance (LOD)

Springfield, MA  
 USGS 7.5' Quadangle:  
 Springfield South, MA, 42072-  
 A5  
 NAD 1983 StatePlane  
 Massachusetts Mainland FIPS  
 2001 Feet  
 42.099°N 72.5907°W  
 Base Map: Esri ArcGIS Online,  
 accessed January 2026  
 Updated: 1/22/2026  
 Project No. 92323  
 Layout: 05\_Beers\_1870  
 Aprx:  
 92323\_springfield\_Riverside\_Park



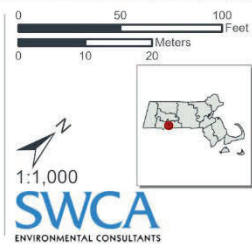
Map 2. 1870 map of Springfield (Beers 1870).



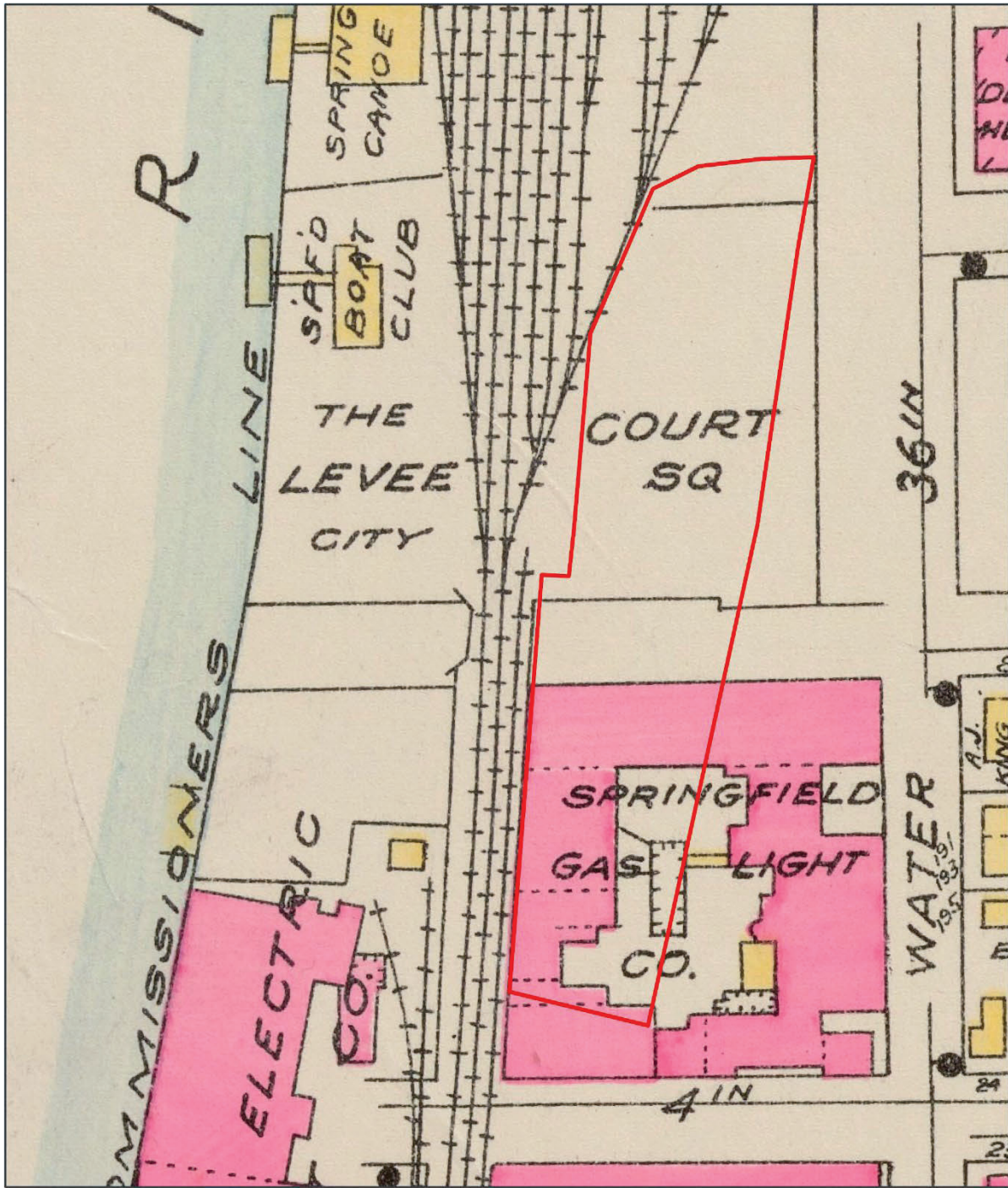
SPRINGFIELD (MA)  
 RIVERFRONT PARK ACCESS  
 IMPROVEMENTS  
**Attachment 5.**  
**Sanborn 1911**  
**Historic Map**

Locations of Ground Disturbance (LOD)

Springfield, MA  
 USGS 7.5' Quadrangle:  
 Springfield South, MA, 42072-  
 A5  
 NAD 1983 StatePlane  
 Massachusetts Mainland FIPS  
 2001 Feet  
 42.0988°N 72.5909°W  
 Base Map: Esri ArcGIS Online,  
 accessed January 2026  
 Updated: 1/22/2026  
 Project No. 92323  
 Layout: 06\_Sanborn\_1911  
 Aprx:  
 92323\_springfield\_Riverside\_Park



Map 3. 1911 Sanborn Fire Insurance Map of Springfield.



SPRINGFIELD (MA)  
 RIVERFRONT PARK ACCESS  
 IMPROVEMENTS  
**Attachment 5.**  
**Richards 1920**  
**Historic Map**

Locations of Ground Disturbance (LOD)

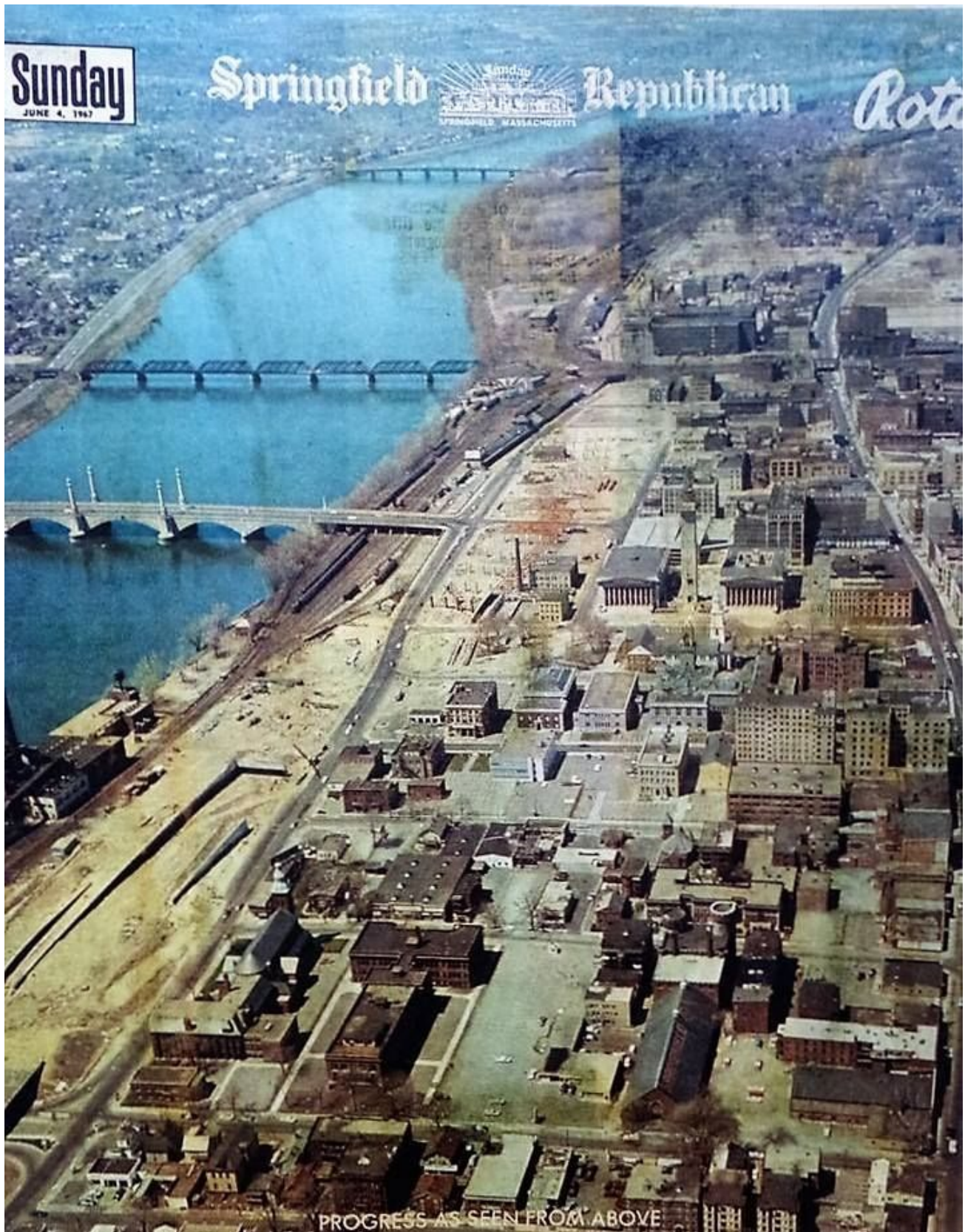
Springfield, MA  
 USGS 7.5' Quadrangle:  
 Springfield South, MA, 42072-  
 A5  
 NAD 1983 StatePlane  
 Massachusetts Mainland FIPS  
 2001 Feet  
 42.0988°N 72.5909°W  
 Base Map: Esri ArcGIS Online,  
 accessed April 2026  
 Updated: 4/8/2026  
 Project No. 92323  
 Layout: 07\_Richards\_1920  
 Aprx:  
 92323\_springfield\_Riverside\_Park

0 50 100 Feet  
 0 10 20 Meters

1:1,000

**SWCA**  
 ENVIRONMENTAL CONSULTANTS

Map 4. 1920 map of Springfield (Richards 1920).



Map 5. 1967 Aerial photograph of I-91 disturbance corridor in Springfield, MA from The Republican (Project area left of frame).

## Attachment 6

### Consulting Parties List (Federally Recognized Indian Tribe)

## Consulting Parties List (Federally Recognized Indian Tribes)

Tribes
Delaware Tribe of Indians
Mohegan Tribe of Indians of Connecticut
Narragansett Indian Tribe
Stockbridge-Munsee Community, Wisconsin

950 CMR: OFFICE OF THE SECRETARY OF THE COMMONWEALTH

APPENDIX A

MASSACHUSETTS HISTORICAL COMMISSION  
220 MORRISSEY BOULEVARD  
BOSTON, MASS. 02125  
617-727-8470, FAX: 617-727-5128

**PROJECT NOTIFICATION FORM**

Project Name: Springfield (MA) Riverfront Park Access Improvements

Location / Address: Hall of Fame Avenue, just northwest of the South Springfield RR Station

City / Town: Springfield

Project Proponent

Name: City of Springfield

Address: 36 Court Street

City/Town/Zip/Telephone: Springfield, MA 01103

Agency license or funding for the project (list all licenses, permits, approvals, grants or other entitlements being sought from state and federal agencies).

Agency Name

Type of License or funding (specify)

Federal Railroad Administration (FRA)

Annual Capital Grant

**Project Description (narrative):**

See attached.

**Does the project include demolition? If so, specify nature of demolition and describe the building(s) which are proposed for demolition.**

No.

**Does the project include rehabilitation of any existing buildings? If so, specify nature of rehabilitation and describe the building(s) which are proposed for rehabilitation.**

No.

**Does the project include new construction? If so, describe (attach plans and elevations if necessary).**

See attached.

950 CMR: OFFICE OF THE SECRETARY OF THE COMMONWEALTH

APPENDIX A (continued)

**To the best of your knowledge, are any historic or archaeological properties known to exist within the project's area of potential impact? If so, specify.**

Yes. The New Haven-Springfield Rail Line recommended as NRHP eligible as a district in 2012, and the Elm Street Bridge (MP 61.28) recommended as a contributing element to the New Haven-Springfield Rail Line district (see attached).

**What is the total acreage of the project area?**

Woodland _____ acres	Productive Resources:
Wetland _____ acres	Agriculture _____ acres
Floodplain _____ acres	Forestry _____ acres
Open space _____ acres	Mining/Extraction _____ acres
Developed <u>0.76</u> _____ acres	Total Project Acreage <u>0.76</u> _____ acres

**What is the acreage of the proposed new construction?** <0.75 \_\_\_\_\_ acres

**What is the present land use of the project area?**

Parking lot to access Springfield's Riverfront Park.

**Please attach a copy of the section of the USGS quadrangle map which clearly marks the project location.**

See attached.

This Project Notification Form has been submitted to the MHC in compliance with 950 CMR 71.00.

---

Signature of Person submitting this form: \_\_\_\_\_ Date: \_\_\_\_\_

Name: Zachary Nason \_\_\_\_\_

Address: 15 Research Drive \_\_\_\_\_

City/Town/Zip: Amherst, MA 01002 \_\_\_\_\_

Telephone: 603.781.2292 \_\_\_\_\_

REGULATORY AUTHORITY

950 CMR 71.00: M.G.L. c. 9, §§ 26-27C as amended by St. 1988, c. 254.

**Site Photographs**



**Photo 1. Project area overview photograph, view facing southeast (11/13/25).**



**Photo 2. Project area overview photograph, view facing northwest (11/13/25).**



**Photo 3. Project area overview photograph, view facing east (11/13/25).**



Justin Rudgick  
Executive Director

# Home City Development, Inc.

261 Oak Grove Ave., Springfield MA 01109  
Tel: (413) 785-5312 Fax: (413) 328-7212

April 28, 2026

Brona Simon  
State Historic Preservation Officer  
Executive Director  
State Archeologist  
Massachusetts Historical Commission  
220 Morrissey Boulevard  
Boston, MA 02125

RE: Massachusetts Historical Commission Project Notification Form  
Franklin Street Apartments, Springfield, MA

Dear Ms. Simon:

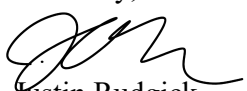
Home City Development, Inc. (HCDI) hereby submits the enclosed Massachusetts Historical Commission Project Notification Form for the Franklin Street Apartments project in Springfield. The proposed project entails building demolition and construction of 55 affordable rental apartments on four sites along with associated site improvements and utilities. Located at 334 Franklin Street, 346 Franklin Street, 28 Underwood Street and 385 Franklin Street in Springfield, the project addresses the need for affordable housing in Massachusetts.

In addition, I have included interior and exterior photographs of the structures on the property. From the outside the buildings may appear in reasonable condition, but substantial deterioration exists.

HCDI will apply to Executive Office of Housing and Livable Communities for a variety of public funds, including: HOME funds, Section 8 Project-Based Rental Vouchers and Low Income Housing Tax Credits; therefore, the enclosed additional information is submitted in compliance with M.G.L. Chapter 9, sections 26-27C (950 CMR 71.00) and Section 106 of the National Historic Preservation Act.

If you have any questions regarding the expanded project, please do not hesitate to contact me at (315) 657-8488.

Sincerely,

  
Justin Rudgick  
Executive Director

cc: Springfield Historical Commission

950 CMR: OFFICE OF THE SECRETARY OF THE COMMONWEALTH

APPENDIX A

MASSACHUSETTS HISTORICAL COMMISSION  
220 MORRISSEY BOULEYARD BOSTON, MASS. 02125  
617-727-8470, FAX: 617-727-5128

**PROJECT NOTIFICATION FORM**

Project Name: Franklin Street Apartments

Location/Address: Multiple

**Site A:** An approximately 63,595 parcel that contains structures to be demolished:

- 346 Franklin Street (Parcel ID # 053600062), a 17,844 s.f. parcel owned by the Roman Catholic Bishop of Springfield, improved with the former Our Lady of the Rosary Roman Catholic Church
- 334 Franklin Street (Parcel ID # 053600060), a 32,397 s.f. parcel owned by the Roman Catholic Bishop of Springfield, improved with the former Our Lady of the Rosary Educational and Recreational Parish Center
- 28 Underwood Street, Parcel ID # 117350006, a 13,354 s.f. parcel owned by the Roman Catholic Bishop of Springfield, improved with the former Our Lady of the Rosary Parish House/Rectory

**Site B:** Parcel ID # 053600106, a 9,857 s.f. parcel of unimproved land owned by the Roman Catholic Bishop of Springfield.

**Site C:** Parcel ID # 053600067, Parcel ID # 053600068 and Parcel ID # 053600069 totaling 13,249 s.f. of unimproved land owned by HCDI affiliate Better Homes Properties, LLC.

**Site D:** 385-387 Franklin Street (Parcel ID # 053600098) – a 7,729 s.f. parcel improved with a vacant and boarded two-family wood frame structure owned by HCDI. The structure is to be demolished.

City/Town: Springfield

Project Proponent

Name: Home City Development, Inc.

Address: 261 Oak Grove Avenue, Springfield, MA 01109 / (413) 785-5312

Agency license or funding for the project (list all licenses, permits, approvals, grants or other entitlements being sought from state and federal agencies).

Agency Name

Exec. Office of Housing and  
Livable Communities

Type of License or funding (specify)

Federal Low Income Housing Tax Credits  
MA Low Income Housing Tax Credits  
Affordable Housing Trust Fund  
Housing Stabilization Fund  
Facilities Consolidation Fund  
Housing Innovation Fund  
HOME  
Nat. Housing Trust Fund  
Sec. 8 Project-Based Vouchers  
MA Rental Voucher Program PBVs

**Project Description (narrative):**

Home City Development, Inc. (“HCDI”) has site control of four parcels of land totaling 94,430 square feet on Franklin Street in the Liberty Heights neighborhood of Springfield. One parcel is owned by HCDI and one is owned by its affiliate Better Homes Properties, LLC. HCDI has an option agreement to purchase two parcels from the Roman Catholic Diocese of Springfield.

950 CMR: OFFICE OF THE SECRETARY OF THE COMMONWEALTH  
APPENDIX A (continued)

HCDI intends to submit its initial One Stop pre-application to MA Executive Office of Housing and Livable Communities in Fall 2026.

Two parcels (Sites B and C) are unimproved land and two parcels contain structures to be demolished including a vacant/boarded two-family house (Site D), and a church, parish house and a school (Site A). All buildings are in poor condition and not appropriate for rehabilitation as affordable rental housing. HCDI will construct 55 new, highly-energy efficient affordable rental apartments in seven buildings on the Franklin Street parcels. The buildings will consist of 9 one-bedroom, 25 two-bedroom, and 21 three-bedroom apartments with 79 parking spaces. The two and three-story buildings will include a mix of flats and two-story town houses. The income tiering is:

- 17 apartments restricted to households with income at or below 30% of area median;
- 18 apartments at/below 60% of area median income;
- 20 apartments at/below 80% of area median income

The highly energy-efficient all-electric buildings are designed to achieve Energy Star, Zero Energy Ready, and Enterprise Green Communities certifications upon completion. A rooftop solar array and electric vehicle charging stations will be included at the property. The property includes covered bike storage, a playground, garden, and covered patio. A property management office and community room are located in one of the buildings. Total development cost is estimated at \$31 million.

**Does the project include demolition? If so, specify nature of demolition and describe the building(s) which are proposed for demolition.**

Yes. All structures on Site A and Site D are slated for demolition. Sites B and C are vacant land.

**Does the project include rehabilitation of any existing buildings? If so, specify nature of rehabilitation and describe the building(s) which are proposed for rehabilitation.**

No, the Project does not include the rehabilitation of any buildings.

**Does the project include new construction? If so, describe (attach plans and elevations if necessary).**

Yes, the Project includes new construction. A site plan is attached. Floor plans, elevations, and other architectural and engineering plans are not currently available.

**To the best of your knowledge, are any historic or archaeological properties known to exist within the project's area of potential impact? If so, specify.**

Yes, the project includes three buildings listed on MACRIS. None are known to be on the National Register of Historic Places:

SPR.4201	Our Lady of the Rosary Roman Catholic Church Hall
SPR.4202	Our Lady of the Rosary Roman Catholic Church
SPR.4240	Joshua Bliss Vinton House a/k/a Our Lady of the Rosary Catholic Church Rectory

**What is the total acreage of the project area?**

Woodland	<u>0</u> acres	Productive Resources:	
Wetland	<u>0</u> acres	Agriculture	<u>0</u> acres
Floodplain	<u>0</u> acres	Forestry	<u>0</u> acres
Open space	<u>.53</u> acres	Mining/Extraction	<u>0</u> acres
Developed	<u>1.63</u> acres	Total Project Acreage	<u>2.16</u> acres

**What is the acreage of the proposed new construction?**

New construction is proposed on all 4 sites described above. Total acreage is 2.16 acres

**What is the present land use of the project area?**

Site A contains the former Our Lady of the Rosary Church, the former Our Lady of the Rosary Educational and Recreational Parish Center and the former Our Lady of the Rosary Parish House/Rectory

Site B is unimproved land

Site C is unimproved land

Site D contains a vacant and boarded two-family wood frame structure

**Please attach a copy of the section of the USGS quadrangle map which clearly marks the project location.**

See attached USGS locus map

This Project Notification Form has been submitted to the MHC in compliance with 950 CMR 71.00.

Justin Rudgick (PAS)  
Signature of Person submitting this form

April 28, 2026  
Date

Name: Justin Rudgick

Address: 261 Oak Grove Avenue, Springfield, MA 01109

Telephone: (413) 785-5312

REGULATORY AUTHORITY

950 CMR 71.00: M.G.L. c. 9, §§ 26-27C as amended by St. 1988, c. 254.

**Project Description (continued)**

Photos of each site are attached. Interior photos of buildings on Site A are also attached.

The Project sites are located on Franklin and Underwood Streets in the Liberty Heights neighborhood of Springfield. Two of the 4 Project Sites are adjacent to Liberty Hill Town Homes, an 88-unit affordable rental property owned by an affiliate of Home City Development. The sites are an approximately .75 miles to Springfield Union Station and the central business district.

The streets surrounding the Project sites contain primarily one, two and three-family, 2 & 3-story wood frame homes.

Based on a review of properties included in the Inventory of Historic and Archaeological Assets of the Commonwealth within a ¼ -mile radius of the Project sites, the following properties are within the Area of Potential Effect for the proposed Project:

- SPR.D Belle and Franklin Streets Historic District
- SPR.CW The New North Senior Housing District
- SPR.X Bigelow, Cheney Wire Works Complex

A MACRIS map and site photos are attached.



SPR.4384  
Medical Center

SPR.CC

SPR.4362

SPR.4365

SPR.4360

SPR.4361

SPR.4363

SPR.4358

SPR.4359

SPR.4380

SPR.4381

SPR.4383

SPR.4199

SPR.4380

SPR.2694

SPR.2693

SPR.4556

SPR.4554

SPR.4557

SPR.CW  
SPR.4552

SPR.3331  
SPR.3330  
SPR.3329  
SPR.3328  
SPR.3327  
SPR.3326  
SPR.3709  
SPR.3708  
SPR.3707  
SPR.3706  
SPR.3705  
SPR.3704  
SPR.3703

SPR.4555  
SPR.4554  
SPR.4553  
SPR.4552

SPR.4201  
SPR.4202  
SPR.4203  
SPR.4204  
SPR.4220  
SPR.4221  
SPR.4222  
SPR.4223  
SPR.4224  
SPR.4225  
SPR.4226  
SPR.4227  
SPR.4228  
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SPR.4213  
SPR.4212

SPR.4230  
SPR.4229  
SPR.4228  
SPR.4227  
SPR.4226  
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SPR.3592  
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SPR.3700



SPR.Z

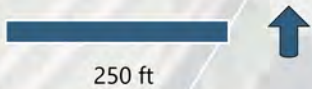
SPR.X

SPR.Z



## Franklin Street Redevelopment

-  HCDI Sites
-  Parcels



Site A: An approximately 63,595 parcel that contains three structures to be demolished:

- 346 Franklin Street (Parcel ID # 053600062), a 17,844 s.f. parcel owned by the Roman Catholic Bishop of Springfield, improved with the former Our Lady of the Rosary Roman Catholic Church
- 334 Franklin Street (Parcel ID # 053600060), a 32,397 s.f. parcel owned by the Roman Catholic Bishop of Springfield, improved with the former Our Lady of the Rosary Educational and Recreational Parish Center
- 28 Underwood Street (Parcel ID # 117350006), a 13,354 s.f. parcel owned by the Roman Catholic Bishop of Springfield, improved with the former Our Lady of the Rosary Parish House/Rectory

Site B: Parcel ID # 053600106, a 9,857 s.f. parcel of unimproved land owned by the Roman Catholic Bishop of Springfield.

Site C: Parcel ID # 053600067, Parcel ID # 053600068 and Parcel ID # 053600069 totaling 13,249 s.f. of unimproved land owned by HCDI affiliate Better Homes Properties, LLC.

Site D: 385-387 Franklin Street (Parcel ID # 053600098) – a 7,729 s.f. parcel improved with a vacant and boarded two-family wood frame structure owned by HCDI. The structure is to be demolished.



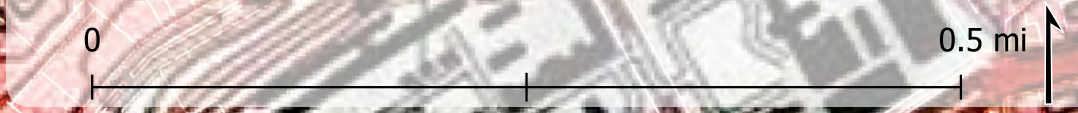
# Franklin Street Apartments

USGS Topographic Maps  
Property Tax Parcels



# Franklin Street Development

 HCIDI Sites





Site A  
346 Franklin Street, Springfield, MA



Site A  
334 Franklin Street, Springfield, MA



Site A  
28 Underwood Street, Springfield, MA



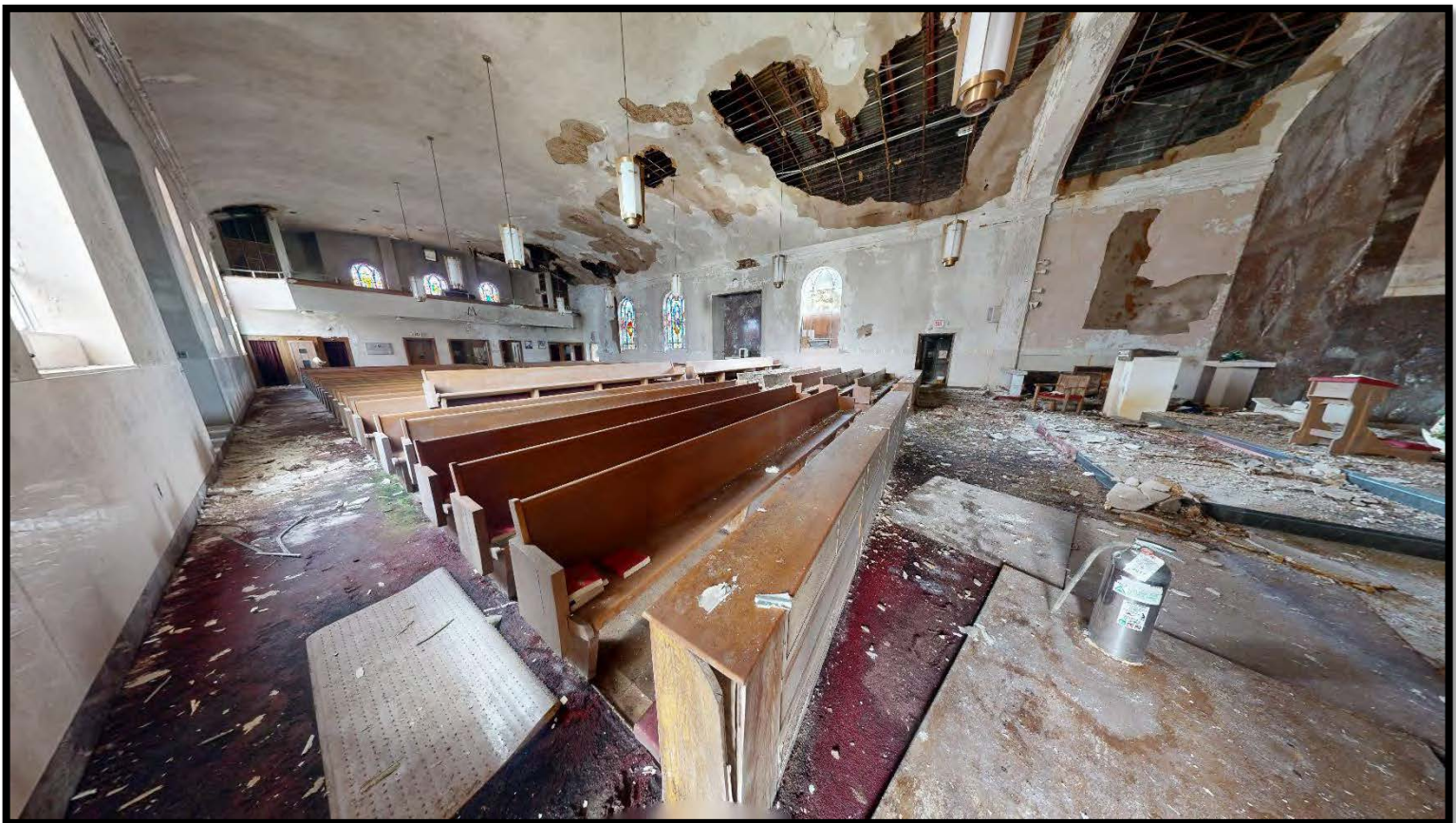
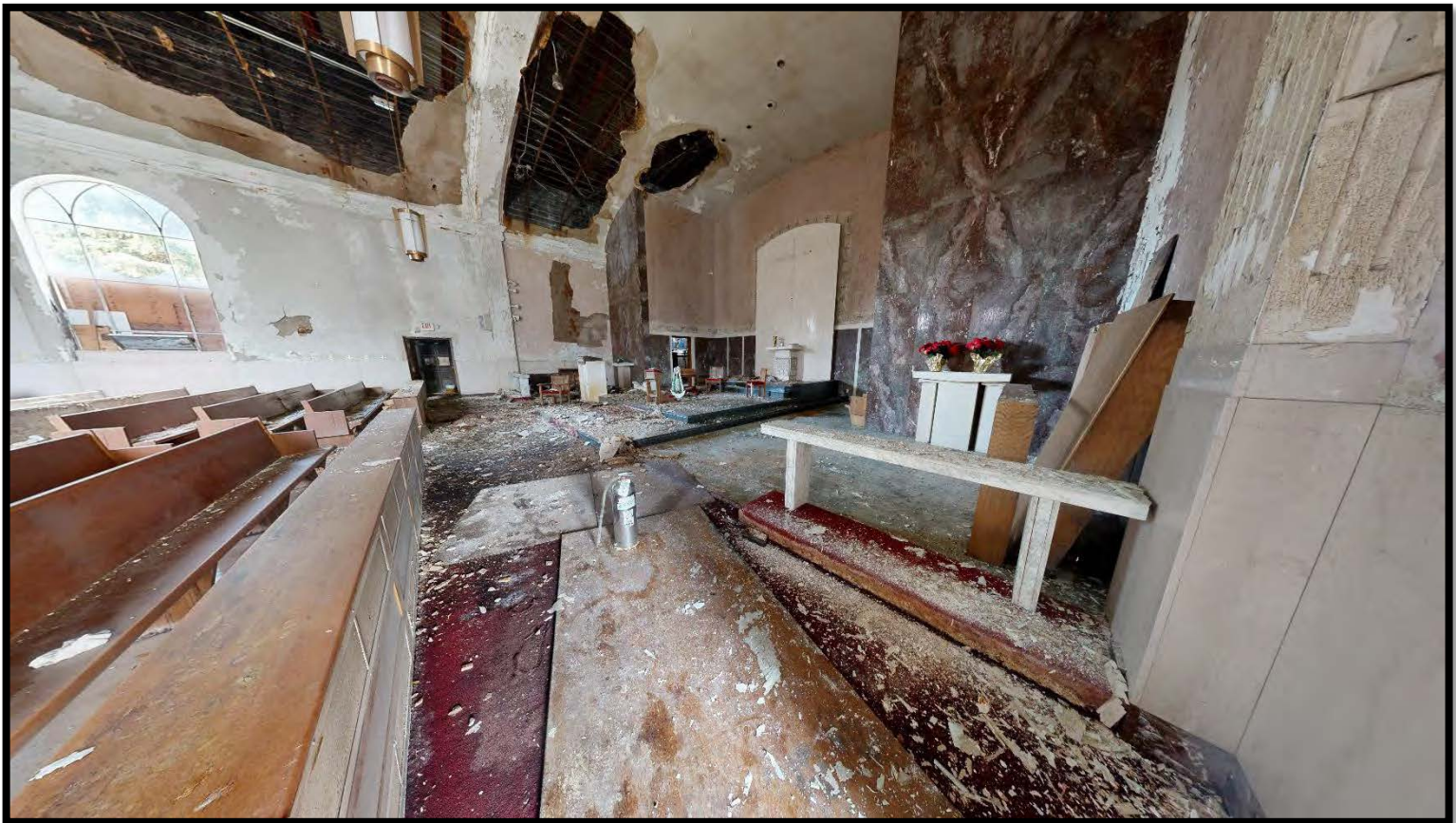
*Site B  
Franklin & Vinton Streets, Springfield, MA*



Site C  
Franklin & Crane Streets, Springfield, MA



Site D  
385 Franklin Street, Springfield, MA



Site A - Interior  
346 Franklin Street, Springfield, MA



*Site A - Interior  
346 Franklin Street, Springfield, MA*



Site A  
334 Franklin Street, Springfield, MA



Site A  
28 Underwood Street, Springfield, MA



# Springfield Historical Commission



70 Tapley Street  
Springfield, MA 01104  
(413) 787-6020 (office)  
(413) 787-6524 (fax)

## APPLICATION CHECKLIST

PROPERTY ADDRESS: 60 Byers Street

Incomplete application will **NOT** be accepted and scheduled. A complete and valid application **MUST** contain the following information:

- 1) The type of Certificate the petitioner is seeking must be indicated (see Page 1);
- 2) The property owner's signature must appear on the application;
- 3) Relevant and applicable PHOTOGRAPHS, MATERIALS and PLANS specified on the Application

### CHECKLIST

#### APPLICATION

Please complete the attached application and **PROVIDE ADDITIONAL PAGES IF NEEDED.**

#### PICTURES OF EXISTING CONDITIONS

Please provide color photographs of the project area's current condition. For example, should the project pertain to replacing windows, provide a photograph of what the current windows looks like.

#### RENDERING OF PROPOSED PROJECT UPON COMPLETION

Please provide a rendering of what the project will look like upon completion. For some products, such as siding, windows, doors, solar powered panels, HVAC systems (including heat pumps), this may include product details from the manufacturer and/or store or a brochure. For paint color-related projects, a sample of the color may suffice. For new construction, renderings from an architect are required.

#### PRODUCT SPECIFICATIONS

Please provide specifications for any products (e.g. doors, windows, siding, solar powered panels, HVAC systems, etc.) to be utilized during the project. Project details from the manufacturer and/or store, or a brochure, will suffice. *If available, please bring physical samples of the product to the meeting date.*

#### LETTER OF AUTHORIZATION

If the landowner is unable to attend the hearing, correspondence shall be submitted that authorizes a representative to speak on their behalf about the application.

For more information, visit the City's website: [www.springfield-ma.gov/planning/historic-comm](http://www.springfield-ma.gov/planning/historic-comm) or call the Office: (413) 787-6020.

OFFICE USE ONLY	
LOCAL HISTORIC DISTRICT: <u>Thurston Munson House</u>	DECISION:
DATE RECEIVED: <u>April 15, 2026</u>	DECISION DATE:
HEARING DATE: <u>May 7, 2026</u>	DATE DISCUSSED (NO HEARING):
DATE NOTICE POSTED: <u>April 23, 2026</u>	WAIVED BY COMMISSION:
DATE NOTICE MAILED: <u>April 23, 2026</u>	WAIVED BY ABUTTERS:



# Springfield Historical Commission



70 Tapley Street  
Springfield, MA 01104  
(413) 787-6020 (office)  
(413) 787-6524 (fax)

## APPLICATION TYPE

PROPERTY ADDRESS: 60 Byers Street *APS 4/30/2026*

### APPLICATION TYPE (Select Application Type)

*APS  
4/30/2026*

#### **CERTIFICATE OF APPROPRIATENESS**

Select this type of application for those changes that are in conformance with the guidelines and/or acceptable for the particular Local Historic District.

#### **CERTIFICATE OF HARDSHIP**

Select this type of application for those changes that are not appropriate with the underlying District guidelines, but which are necessary due to economic, physical, social, or other special conditions that apply to the individual property, but do not apply to the overall underlying District.

#### **CERTIFICATE OF NON-APPLICABILITY**

Select this type of application for those changes that affect features not controlled by the Commission (e.g. work that involves no change in materials, design or dimensions).

#### **ENVIRONMENTAL REVIEW (I.E. REVIEW OF A STRUCTURE IN A NATIONAL REGISTER DISTRICT/INDIVIDUAL BUILDING)**

Select this type of application for those changes that affect a structure in a National Register District, or a structure that is listed as a National Register Individual Building, that utilizes public funding (local, State, or federal). If the structure is both within a National Register District/Individual Building and a Local Historic District, select one of the application types above (Appropriateness, Hardship, Non-Applicability). If the structure contains a Preservation Restriction and is located within a National Register District/Individual Building, select the Preservation Agreement application type below.

#### **PRESERVATION AGREEMENT**

Selection this type of application if the structure contains a Preservation Restriction.

#### **PRESERVATION OF HISTORICALLY SIGNIFICANT BUILDINGS (DEMO DELAY)**

Select this type of application if the structure is more than 75 years old and are requesting that the nine (9) month demo delay restriction be lifted in order to commence demolition immediately.

#### **MUNICIPAL PROTOCOL**

Select this type of application if the structure relates to a municipally (City of Springfield) owned property, and the project will be facilitated by the municipality (City of Springfield).

#### **SECTION 106 REVIEW**

Select this type of application if the project is being submitted in accordance with Section 106.

**Recourse:** If a petitioner disagrees with a ruling by the Commission, he or she may, within twenty (20) days after filing the notice of such ruling with the City Clerk, appeal to the Superior Court or Housing Court, if applicable. On the other hand, the Historical Commission may, through Superior Court (or Housing Court), seek an injunction against any violation with a historic district's guidelines/standards. The Court may order the removal of any such violation, or the restoration of any building or feature altered or demolition in violation of a historic district's standards. Persons found guilty of any violations may be fined not less than ten dollars (\$10.00) or no more than five hundred dollars (\$500.00).



# Springfield Historical Commission



70 Tapley Street  
Springfield, MA 01104  
(413) 787-6020 (office)  
(413) 787-6524 (fax)

## APPLICATION FOR CERTIFICATE

<b>PROPERTY ADDRESS:</b> 60 Byers Street		<b>CHECK BOX IF THE PETITIONER REQUIRES AN INTERPRETER</b> <input type="checkbox"/>
<b>PROPERTY OWNER:</b> ICARIAN Real Estate Advisors		
<b>OWNER ADDRESS:</b> <input checked="" type="checkbox"/> Check box if same as property address 87 A Mill Street, Sprfld. MA 01108		
<b>OWNER PHONE NUMBER:</b> 413-315-0727	<b>REPRESENTATIVE/CONTRACTOR NAME:</b> Demetrios Pantelidakis	
<b>OWNER EMAIL ADDRESS:</b> demetrios@macmillan.org	<b>REPRESENTATIVE/CONTRACTOR PHONE NUMBER:</b> 413-315-0727	
<b>PROPERTY CODE:</b> 02170-0016	<b>REPRESENTATIVE/CONTRACTOR EMAIL ADDRESS:</b>	
<b>PROJECT DESCRIPTION (USE SEPARATE PAGE IF NEEDED):</b> 1955 Art Deco Remodeling w/ City of Springfield and Preservation Trust.		<b>PROPOSED MODIFICATIONS</b> (Please check all that apply) <input checked="" type="checkbox"/> Windows (see Page 3) <input type="checkbox"/> Doors (see Page 4) <input type="checkbox"/> Siding (see Page 5) <input type="checkbox"/> Roofing (see Page 6) <input type="checkbox"/> Solar (see Page 6) <input type="checkbox"/> Signs (see Page 7) <input type="checkbox"/> Heat Pumps (see page 7) <input type="checkbox"/> Paint (see Page 8) <input type="checkbox"/> Renovations (e.g. Porches) (see Page 8) <input type="checkbox"/> New Construction (all of the above) <input type="checkbox"/> Other Projects (see Page 9):
<b>JUSTIFICATION FOR CERTIFICATE OF HARDSHIP (IF APPLICABLE) (USE SEPARATE PAGE IF NEEDED):</b>		

Check box if property owner will be in attendance at the hearing. If not, correspondence from the property owner authorizing a representative to present the application is required.

PROPERTY OWNER'S SIGNATURE

DATE

## WINDOWS

Check box indicating that you are submitting an order sheet with renderings/brochure of the proposed windows.

Check box indicating that you are submitting photographs of the existing windows.

Check box indicating that you are aware of the City's Window Guidelines (click [here](#)).

Will the Dimensions of the Windows Change:  Yes (Please Provide Details Below Under Additional Information)  No

**PLEASE PROVIDE DETAILS ABOUT THE CONDITIONS OF THE CURRENT WINDOWS:**

There are 2 non-original rectangular windows that were cut into facade for internal bathroom which are now demo'd.  
I would like to eliminate these openings and stucco for painting facade back to original design.

**PLEASE PROVIDE THE REASON FOR WANTING TO REPLACE THE WINDOWS:**

<b>NUMBER OF WINDOWS TO BE REPLACED/ADDED:</b>	
<b>NEW WINDOW MANUFACTURER:</b>	
<b>MODEL NUMBER(S):</b>	

	EXISTING	PROPOSED
<b>MATERIAL</b> (e.g. wood, vinyl, aluminum, etc):		
<b>EXTERNAL COLOR(S)</b> (e.g. black, white, etc):		
<b>GRID PLACEMENT</b> (Interior or Exterior):		
<b>GRID PATTERN</b> (e.g. two-over-two; six-over-one, etc):		
<b>WINDOW STYLE(S)</b> (e.g. double-hung, etc):		
<b>GLASS TYPE(S)</b> (e.g. single-pane, double-pane, etc):		

**ADDITIONAL INFORMATION:**

## DOORS

Check box indicating that you are submitting an order sheet with renderings/brochure of the proposed door(s).

Check box indicating that you are submitting photographs of the existing door(s).

Will the Dimensions of the Door(s) Change:  No  Yes (Please Provide Details Below Under Additional Information)  No

**PLEASE PROVIDE DETAILS ABOUT THE CONDITIONS OF THE CURRENT DOOR(S):**

Existing 3 door openings are 36x80 with side panel class and overhead at front doors as represented in the attached picture. I have chosen a door which matches original style.

**PLEASE PROVIDE THE REASON FOR WANTING TO REPLACE THE DOOR(S):**

Existing doors non-comforming and badly damaged. Side glass panels have been replaced w/wood. We will restore glass side panels.

**NUMBER OF DOOR(S) TO BE REPLACED/ADDED:**

3

**NEW DOOR MANUFACTURER:**

MP Doors

**MODEL NUMBER(S):**

N3068L4L W/NB 24/313647753  
# overlay

	EXISTING	PROPOSED
<b>MATERIAL</b> (e.g. steel, fiberglass, etc):		Fiber glass/metal
<b>EXTERNAL COLOR(S)</b> (e.g. black, white, etc):		Black
<b>DOOR STYLE(S)</b> (e.g. colonial, etc):	Art Deco	Art Deco
<b>PANEL PATTERN</b> (e.g. single; two panel, etc):		To match Building
<b>GLASS PLACEMENT:</b>		Center
<b>GLASS TYPE(S)</b> (e.g. single-pane, double-pane, etc):		

**ADDITIONAL INFORMATION:**



PRIVATE  
PROPERTY





### 36 in. x 80 in. Left-Hand Inswing 4 Lite Water Wave Glass Black Finished Fiberglass Prehung Front... by MP Doors



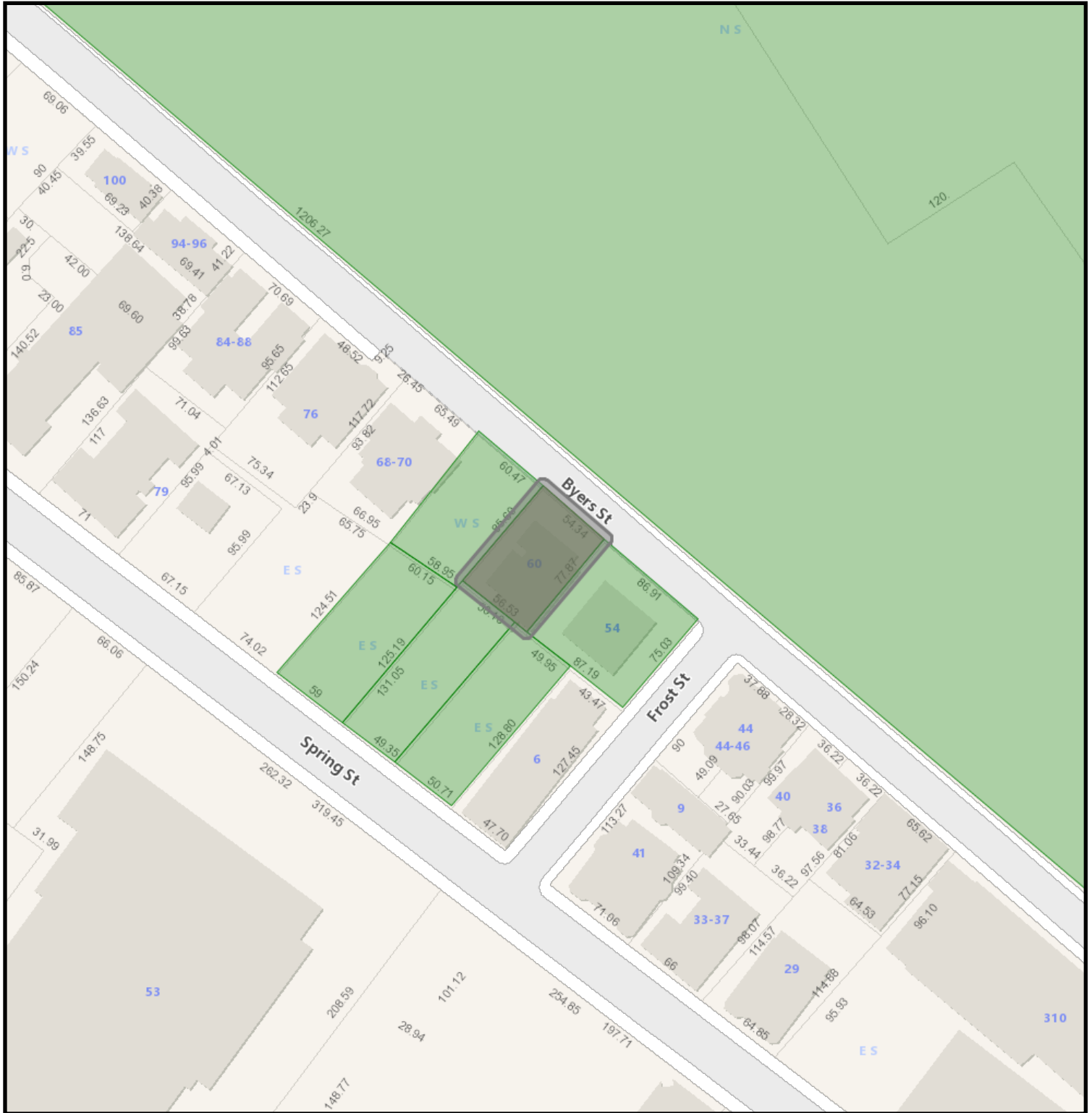
Tap and Hold to Zoom

Feedback







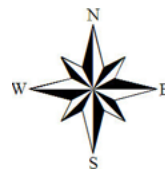


### 60 Byers Street GIS Map

4/21/2026 3:36:03 PM

Scale: 1"=100'

Scale is approximate



GIS information is provided on these Web Pages as a public resource for general information purposes only. It is used to locate, identify and inventory parcels of land in the City of Springfield for general purposes only and is NOT to be construed or used as a "legal description." Map and parcel information is believed to be accurate but accuracy is not guaranteed. No portion of the information should be considered to be, or used as, a legal document. The information is provided subject to the express condition that the user knowingly waives any and all claims for damages against the City of Springfield that may arise from the use of this data. Information provided on these Web Pages should be verified with the appropriate City department, and reviewed and approved by an attorney or other qualified professional prior to its use for any purpose with potential legal consequences.

021700015  
HADDAD STEVEN M  
P O BOX 4836  
SPRINGFIELD, MA 01101

021700016  
ICARIAN REAL ESTATE  
87A MILL ST  
SPRINGFIELD, MA 01108

110400097  
MASJID AL-NUR INC  
820 WORTHINGTON ST  
SPRINGFIELD, MA 01105

110400098  
MASJID AL-NUR INC  
820 WORTHINGTON ST  
SPRINGFIELD, MA 01105

110400099  
MASJID AL-NUR INC  
820 WORTHINGTON ST  
SPRINGFIELD, MA 01105

021700017  
NEWCOURT TERRACE LLC  
1780 MAIN ST  
SPRINGFIELD, MA 01103

111100091  
UNITED STATES OF AMERICA  
284 STATE ST  
SPRINGFIELD, MA 01105



# Springfield Historical Commission



70 Tapley Street  
Springfield, MA 01104  
(413) 787-6020 (office)  
(413) 787-6524 (fax)

## APPLICATION CHECKLIST

**PROPERTY ADDRESS:** 207 Pine St Springfield, MA 01105

Incomplete application will **NOT** be accepted and scheduled. A complete and valid application **MUST** contain the following information:

- 1) The type of Certificate the petitioner is seeking must be indicated (see Page 1);
- 2) The property owner's signature must appear on the application;
- 3) Relevant and applicable PHOTOGRAPHS, MATERIALS and PLANS specified on the Application

### CHECKLIST

#### APPLICATION

Please complete the attached application and **PROVIDE ADDITIONAL PAGES IF NEEDED.**

#### PICTURES OF EXISTING CONDITIONS

Please provide color photographs of the project area's current condition. For example, should the project pertain to replacing windows, provide a photograph of what the current windows looks like.

#### RENDERING OF PROPOSED PROJECT UPON COMPLETION

Please provide a rendering of what the project will look like upon completion. For some products, such as siding, windows, doors, solar powered panels, HVAC systems (including heat pumps), this may include product details from the manufacturer and/or store or a brochure. For paint color-related projects, a sample of the color may suffice. For new construction, renderings from an architect are required.

#### PRODUCT SPECIFICATIONS

Please provide specifications for any products (e.g. doors, windows, siding, solar powered panels, HVAC systems, etc.) to be utilized during the project. Project details from the manufacturer and/or store, or a brochure, will suffice. *If available, please bring physical samples of the product to the meeting date.*

#### LETTER OF AUTHORIZATION

If the landowner is unable to attend the hearing, correspondence shall be submitted that authorizes a representative to speak on their behalf about the application.

For more information, visit the City's website: [www.springfield-ma.gov/planning/historic-comm](http://www.springfield-ma.gov/planning/historic-comm) or call the Office: (413) 787-6020.

OFFICE USE ONLY	
LOCAL HISTORIC DISTRICT: Maple Hill	DECISION:
DATE RECEIVED: April 9, 2026	DECISION DATE:
HEARING DATE: May 7, 2026	DATE DISCUSSED (NO HEARING):
DATE NOTICE POSTED: April 23, 2026	WAIVED BY COMMISSION:
DATE NOTICE MAILED: April 23, 2026	WAIVED BY ABUTTERS:



# Springfield Historical Commission



70 Tapley Street  
Springfield, MA 01104  
(413) 787-6020 (office)  
(413) 787-6524 (fax)

## APPLICATION TYPE

PROPERTY ADDRESS: 207 Pine St Springfield, MA 01105

### APPLICATION TYPE (Select Application Type)

#### **CERTIFICATE OF APPROPRIATENESS**

Select this type of application for those changes that are in conformance with the guidelines and/or acceptable for the particular Local Historic District.

#### **CERTIFICATE OF HARDSHIP**

Select this type of application for those changes that are not appropriate with the underlying District guidelines, but which are necessary due to economic, physical, social, or other special conditions that apply to the individual property, but do not apply to the overall underlying District.

#### **CERTIFICATE OF NON-APPLICABILITY**

Select this type of application for those changes that affect features not controlled by the Commission (e.g. work that involves no change in materials, design or dimensions).

#### **ENVIRONMENTAL REVIEW (I.E. REVIEW OF A STRUCTURE IN A NATIONAL REGISTER DISTRICT/INDIVIDUAL BUILDING)**

Select this type of application for those changes that affect a structure in a National Register District, or a structure that is listed as a National Register Individual Building, that utilizes public funding (local, State, or federal). If the structure is both within a National Register District/Individual Building and a Local Historic District, select one of the application types above (Appropriateness, Hardship, Non-Applicability). If the structure contains a Preservation Restriction and is located within a National Register District/Individual Building, select the Preservation Agreement application type below.

#### **PRESERVATION AGREEMENT**

Select this type of application if the structure contains a Preservation Restriction.

#### **PRESERVATION OF HISTORICALLY SIGNIFICANT BUILDINGS (DEMO DELAY)**

Select this type of application if the structure is more than 75 years old and are requesting that the nine (9) month demo delay restriction be lifted in order to commence demolition immediately.

#### **MUNICIPAL PROTOCOL**

Select this type of application if the structure relates to a municipally (City of Springfield) owned property, and the project will be facilitated by the municipality (City of Springfield).

#### **SECTION 106 REVIEW**

Select this type of application if the project is being submitted in accordance with Section 106.

**Recourse:** If a petitioner disagrees with a ruling by the Commission, he or she may, within twenty (20) days after filing the notice of such ruling with the City Clerk, appeal to the Superior Court or Housing Court, if applicable. On the other hand, the Historical Commission may, through Superior Court (or Housing Court), seek an injunction against any violation with a historic district's guidelines/standards. The Court may order the removal of any such violation, or the restoration of any building or feature altered or demolition in violation of a historic district's standards. Persons found guilty of any violations may be fined not less than ten dollars (\$10.00) or no more than five hundred dollars (\$500.00)



# Springfield Historical Commission



70 Tapley Street  
Springfield, MA 01104  
(413) 787-6020 (office)  
(413) 787-6524 (fax)

## APPLICATION FOR CERTIFICATE

<b>PROPERTY ADDRESS:</b> 207 Pine St Springfield, MA 01105		<b>CHECK BOX IF THE PETITIONER REQUIRES AN INTERPRETER</b> <input type="checkbox"/>
<b>PROPERTY OWNER:</b> Ayala Properties LLC		
<b>OWNER ADDRESS:</b> <input type="checkbox"/> Check box if same as property address 50 Clayton St Springfield, MA 01107		
<b>OWNER PHONE NUMBER:</b> 413-219-4901	<b>REPRESENTATIVE/CONTRACTOR NAME:</b> Alberto Ayala	
<b>OWNER EMAIL ADDRESS:</b> alberto1@aol.com	<b>REPRESENTATIVE/CONTRACTOR PHONE NUMBER:</b> 413-219-4901	
<b>PROPERTY CODE:</b> 09715-0141	<b>REPRESENTATIVE/CONTRACTOR EMAIL ADDRESS:</b> alberto1@aol.com	
<b>PROJECT DESCRIPTION (USE SEPARATE PAGE IF NEEDED):</b> Front Porch - Rails, stairs  Rear Porch - entire porch re-build		<b>PROPOSED MODIFICATIONS</b> (Please check all that apply) <input type="checkbox"/> Windows (see Page 3) <input type="checkbox"/> Doors (see Page 4) <input type="checkbox"/> Siding (see Page 5) <input type="checkbox"/> Roofing (see Page 6) <input type="checkbox"/> Solar (see Page 6) <input type="checkbox"/> Signs (see Page 7) <input type="checkbox"/> Heat Pumps (see page 7) <input type="checkbox"/> Paint (see Page 8) <input checked="" type="checkbox"/> Renovations (e.g. Porches) (see Page 8) <input type="checkbox"/> New Construction (all of the above) <input type="checkbox"/> Other Projects (see Page 9):
<b>JUSTIFICATION FOR CERTIFICATE OF HARDSHIP (IF APPLICABLE) (USE SEPARATE PAGE IF NEEDED):</b>		

Check box if property owner will be in attendance at the hearing. If not, correspondence from the property owner authorizing a representative to present the application is required.

4-4-26

PROPERTY OWNER'S SIGNATURE

DATE

## PAINT

Check box indicating that you are submitting samples of the proposed paint color(s).

Check box indicating that you are submitting photographs of the existing conditions (existing color(s)).

**BUILDING SIDE(S) WITH NEW PAINT COLOR:**

N/A

**PAINTING OF OTHER STRUCTURES** (e.g. porch, deck, sunroom, etc.):

EXISTING

PROPOSED

**COLORS:**

## RENOVATIONS

**FOR ANY RENOVATIONS INVOLVING MODIFICATIONS TO WINDOWS, DOORS, SIDING, ROOFING OR PAINT, PLEASE FILL OUT THOSE SECTIONS OF THIS APPLICATION (PAGES 2 AND 3).**

Check box indicating that you are submitting brochures and/or renderings of the proposed renovation(s).

Check box indicating that you are submitting photographs of the existing conditions (existing colors).

**STRUCTURE BEING RENOVATION** (e.g. front porch, side porch, etc.):

Front Ballasters & Rear Porch

**WILL THERE BE RENOVATIONS TO RAILINGS, FLOORING, CEILING:, BALLASTERS, PILLARS, STEPS?**


**YES (PLEASE PROVIDE MORE INFO BELOW)**  
**No**

EXISTING CONDITIONS/DESCRIPTION

PROPOSED RENOVATIONS

Front Porch

- Replace pressure treated Ballasters
- Replace front steps

Front Porch <sup>Veranda Traditional</sup>  
w/ Black Ballasters

- Install new with Black Ballasters / white Posts
- Install new with Black Ballasters / white Posts

Rear Porch

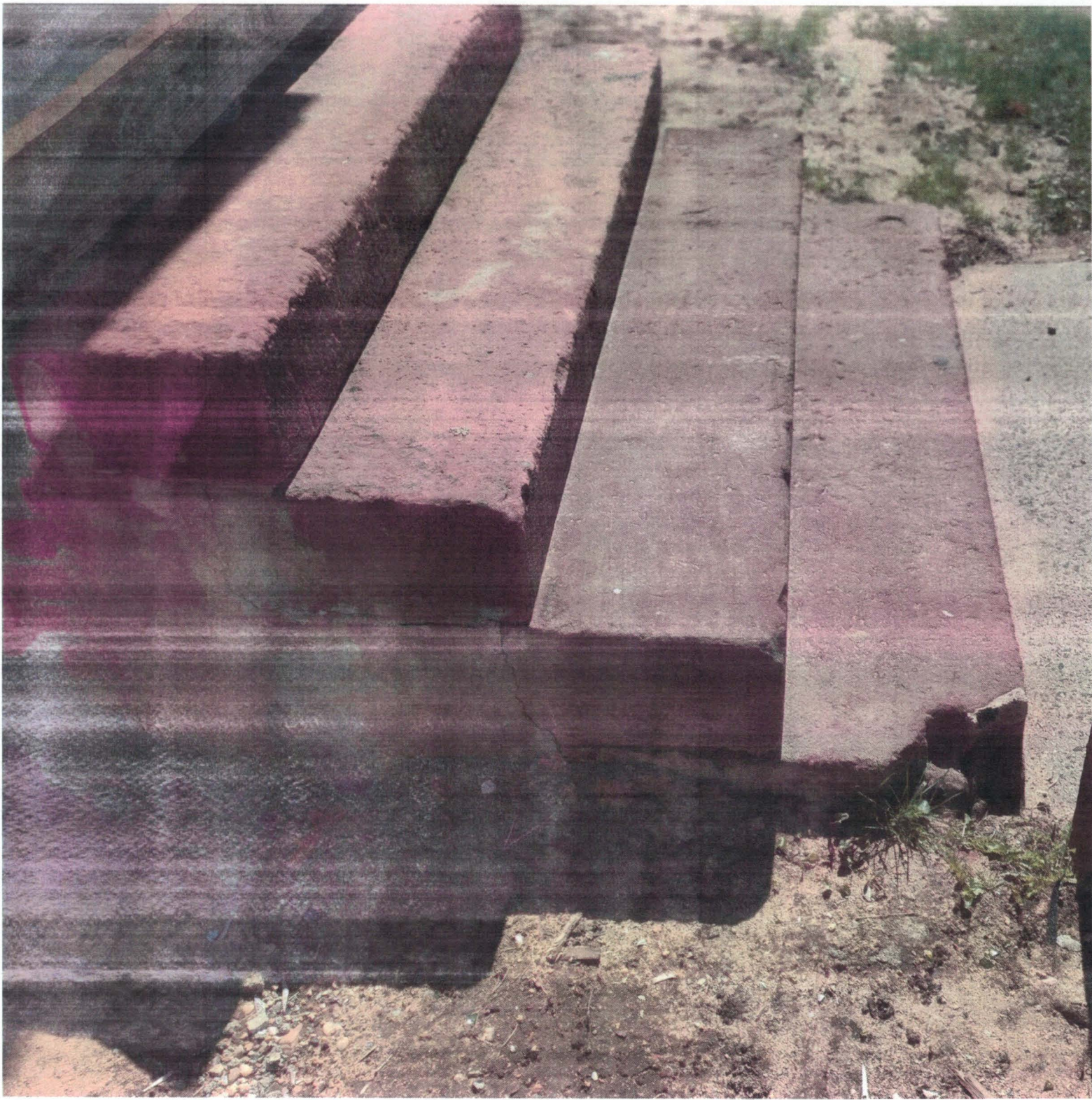
- Replace pressure treated porch
- 3 story porch was falling down - safety hazard

Rear Porch

- Install new pressure treated to code
- Rendering Provide



current condition



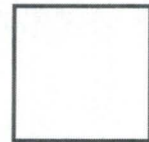
Current  
Condition

★★★★ (2)      ★★★★★ (750)      ★★★★★ (632)

**Traditional 6 ft. x 36 in. (Actual Size: 67-3/4 x 33 1/4" in.) Whit...**

by Veranda

*Veranda Traditional  
w/ Black ballasters*



*Veranda*

←

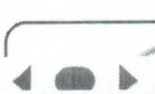
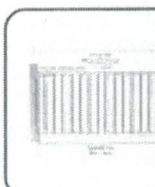
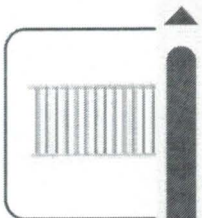
↙

Hover Image to Zoom

Feedback

Gallery

Videos



# 6 ft. x 36 in. Traditional White PolyComposite Stair Railing Kit with Black Metal Balusters

by Veranda



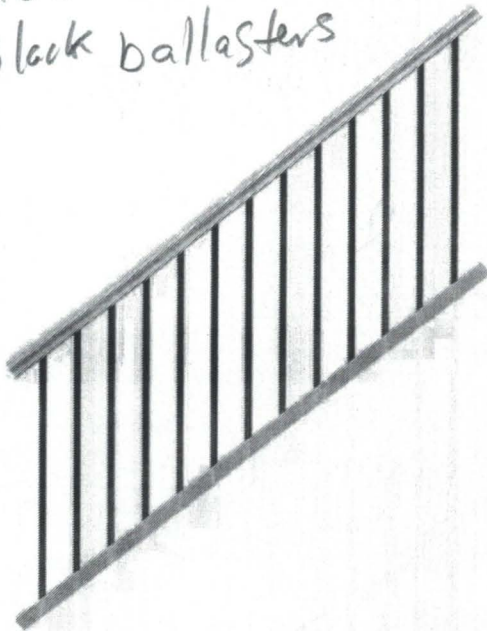
Images (7)

Videos (1)

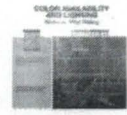
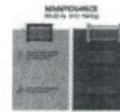
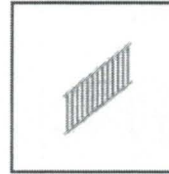
360° View (1)

Customer Images (15)

Veranda Traditional  
w/ Black balusters



Hover Image to Zoom



Feedback





neighbor  
211 Pine St



neighbor 263 Central St



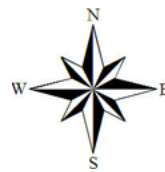


### 207 Pine Street GIS Map

4/21/2026 3:39:28 PM

Scale: 1"=75'

Scale is approximate



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097150141  
AYALA PROPERTIES LLC  
50 CLAYTON ST  
SPRINGFIELD, MA 01107

097150053  
BLAKE CHENELL T  
216 PINE ST  
SPRINGFIELD, MA 01105

097150055  
COMMONWEALTH ACADEMY  
1913 NORTHAMPTON ST  
HOLYOKE, MA 01040

097150140  
HAILU AKLILU KASSAYE  
211 PINE ST  
SPRINGFIELD, MA 01105

025600177  
SPRINGFIELD CITY OF  
36 COURT ST  
SPRINGFIELD, MA 01103

097150142  
SPRINGFIELD CITY OF  
36 COURT ST  
SPRINGFIELD, MA 01103

025600178  
SPRINGFIELD REALTY  
55 WINDHAM ST  
EAST LONGMEADOW, MA

025600183  
VIVA DEVELOPMENT LLC  
50 CLAYTON STREET  
SPRINGFIELD, MA 01107



# Springfield Historical Commission



70 Tapley Street  
Springfield, MA 01104  
(413) 787-6020 (office)  
(413) 787-6524 (fax)

## APPLICATION CHECKLIST

PROPERTY ADDRESS: *WS Westminster Street (12271-0032)*

Incomplete application will **NOT** be accepted and scheduled. A complete and valid application **MUST** contain the following information:

- 1) The type of Certificate the petitioner is seeking must be indicated (see Page 1);
- 2) The property owner's signature must appear on the application;
- 3) Relevant and applicable PHOTOGRAPHS, MATERIALS and PLANS specified on the Application

### CHECKLIST

#### APPLICATION

Please complete the attached application and **PROVIDE ADDITIONAL PAGES IF NEEDED.**

#### PICTURES OF EXISTING CONDITIONS

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#### PRODUCT SPECIFICATIONS

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#### LETTER OF AUTHORIZATION

If the landowner is unable to attend the hearing, correspondence shall be submitted that authorizes a representative to speak on their behalf about the application.

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OFFICE USE ONLY	
LOCAL HISTORIC DISTRICT: <i>McKnight</i>	DECISION:
DATE RECEIVED: <i>April 13, 2026</i>	DECISION DATE:
HEARING DATE: <i>May 7, 2026</i>	DATE DISCUSSED (NO HEARING):
DATE NOTICE POSTED: <i>April 23, 2026</i>	WAIVED BY COMMISSION:
DATE NOTICE MAILED: <i>April 23, 2026</i>	WAIVED BY ABUTTERS:



# Springfield Historical Commission



70 Tapley Street  
Springfield, MA 01104  
(413) 787-6020 (office)  
(413) 787-6524 (fax)

## APPLICATION TYPE

PROPERTY ADDRESS: WS Westminster Street (12291-0032)

### APPLICATION TYPE (Select Application Type)

#### CERTIFICATE OF APPROPRIATENESS

Select this type of application for those changes that are in conformance with the guidelines and/or acceptable for the particular Local Historic District.

#### CERTIFICATE OF HARDSHIP

Select this type of application for those changes that are not appropriate with the underlying District guidelines, but which are necessary due to economic, physical, social, or other special conditions that apply to the individual property, but do not apply to the overall underlying District.

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#### ENVIRONMENTAL REVIEW (I.E. REVIEW OF A STRUCTURE IN A NATIONAL REGISTER DISTRICT/INDIVIDUAL BUILDING)

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#### PRESERVATION AGREEMENT

Selection this type of application if the structure contains a Preservation Restriction.

#### PRESERVATION OF HISTORICALLY SIGNIFICANT BUILDINGS (DEMO DELAY)

Select this type of application if the structure is more than 75 years old and are requesting that the nine (9) month demo delay restriction be lifted in order to commence demolition immediately.

#### MUNICIPAL PROTOCOL

Select this type of application if the structure relates to a municipally (City of Springfield) owned property, and the project will be facilitated by the municipality (City of Springfield).

#### SECTION 106 REVIEW

Select this type of application if the project is being submitted in accordance with Section 106.

**Recourse:** If a petitioner disagrees with a ruling by the Commission, he or she may, within twenty (20) days after filing the notice of such ruling with the City Clerk, appeal to the Superior Court or Housing Court, if applicable. On the other hand, the Historical Commission may, through Superior Court (or Housing Court), seek an injunction against any violation with a historic district's guidelines/standards. The Court may order the removal of any such violation, or the restoration of any building or feature altered or demolition in violation of a historic district's standards. Persons found guilty of any violations may be fined not less than ten dollars (\$10.00) or no more than five hundred dollars (\$500.00)



# Springfield Historical Commission



70 Tapley Street  
Springfield, MA 01104  
(413) 787-6020 (office)  
(413) 787-6524 (fax)

## APPLICATION FOR CERTIFICATE

<b>PROPERTY ADDRESS:</b> w/s Westminister St. (12201-0032)		<b>CHECK BOX IF THE PETITIONER REQUIRES AN INTERPRETER</b> <input type="checkbox"/>
<b>PROPERTY OWNER:</b> DB Investments and Properties LLC		
<b>OWNER ADDRESS:</b> <input type="checkbox"/> Check box if same as property address 20 Cortland St, Spfd, Ma, 01109		
<b>OWNER PHONE NUMBER:</b> (413) 387-7151	<b>REPRESENTATIVE/CONTRACTOR NAME:</b> Richard Hanks	
<b>OWNER EMAIL ADDRESS:</b> BLOstyles@yahoo.com	<b>REPRESENTATIVE/CONTRACTOR PHONE NUMBER:</b> (413) 777-9683	
<b>PROPERTY CODE:</b> (12201-0032)	<b>REPRESENTATIVE/CONTRACTOR EMAIL ADDRESS:</b> Michaelsimmonds100@yahoo.com	
<b>PROJECT DESCRIPTION (USE SEPARATE PAGE IF NEEDED):</b> New construction: Single Family Colonial		<b>PROPOSED MODIFICATIONS</b> (Please check all that apply) <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Windows (see Page 3)</li> <li><input checked="" type="checkbox"/> Doors (see Page 4)</li> <li><input checked="" type="checkbox"/> Siding (see Page 5)</li> <li><input checked="" type="checkbox"/> Roofing (see Page 6)</li> <li><input type="checkbox"/> Solar (see Page 6) - N/A</li> <li><input type="checkbox"/> Signs (see Page 7) - N/A</li> <li><input type="checkbox"/> Heat Pumps (see page 7) - N/A</li> <li><input checked="" type="checkbox"/> Paint (see Page 8)</li> <li><input type="checkbox"/> Renovations (e.g. Porches) (see Page 8)</li> <li><input checked="" type="checkbox"/> New Construction (all of the above)</li> <li><input type="checkbox"/> Other Projects (see Page 9):</li> </ul>
<b>JUSTIFICATION FOR CERTIFICATE OF HARDSHIP (IF APPLICABLE) (USE SEPARATE PAGE IF NEEDED):</b>		

Check box if property owner will be in attendance at the hearing. If not, correspondence from the property owner authorizing a representative to present the application is required.

PROPERTY OWNER'S SIGNATURE

4-10-26  
DATE

## WINDOWS

Check box indicating that you are submitting an order sheet with renderings/brochure of the proposed windows.

Check box indicating that you are submitting photographs of the existing windows.

Check box indicating that you are aware of the City's Window Guidelines (click [here](#)).

Will the Dimensions of the Windows Change:  Yes (Please Provide Details Below Under Additional Information)  No

**PLEASE PROVIDE DETAILS ABOUT THE CONDITIONS OF THE CURRENT WINDOWS:**

**PLEASE PROVIDE THE REASON FOR WANTING TO REPLACE THE WINDOWS:**

**NUMBER OF WINDOWS TO BE REPLACED/ADDED:**

13

**NEW WINDOW MANUFACTURER:**

MAX VIEW

**MODEL NUMBER(S):**

	EXISTING	PROPOSED
<b>MATERIAL</b> (e.g. wood, vinyl, aluminum, etc):		Vinyl
<b>EXTERNAL COLOR(S)</b> (e.g. black, white, etc):		Black
<b>GRID PLACEMENT</b> (Interior or Exterior):		Interior
<b>GRID PATTERN</b> (e.g. two-over-two; six-over-one, etc):		Six over six
<b>WINDOW STYLE(S)</b> (e.g. double-hung, etc):		Double hung
<b>GLASS TYPE(S)</b> (e.g. single-pane, double-pane, etc):		Double-pane
<b>ADDITIONAL INFORMATION:</b>		



# M MaXview II by NORANDEX



## COMPLEMENT YOUR REMODELING PROJECTS WITH OTHER QUALITY EXTERIOR PRODUCTS

In addition to windows, we offer other top quality products to beautify a home and fulfill your home remodeling needs. Whether it's vinyl siding, entry doors, soffit or trim, you can rest comfortably knowing you've finished your project with performance products that are among the best the industry has to offer.



[www.norandex.com](http://www.norandex.com)

# M MaXview II by NORANDEX



## Replacement Vinyl Windows Designed for Excellence

# MaXview II

by NORANDEX

## STANDARD FEATURES

- 3/4" Warm-edge Insulated Glass
- Commercial Grade Constant Force Balances
- Heavy Duty Extruded Locking Half Screen
- Continuous Head & Sill
- Watertight Full Capture Sill
- Lifetime, Non-ProRated Warranty
- Lifetime Glass Breakage Warranty

## OPTIONAL FEATURES

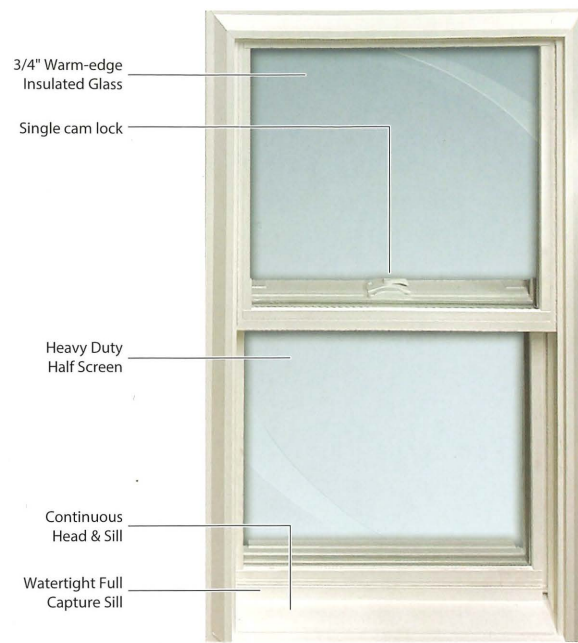
- Energy Star Rated, Low-E & Argon Insulated Glass
- Heavy Duty Rollformed Full Screen
- Structural Mullions for Commercial Applications
- GBG and SDL Grids
- Balance Covers
- Exterior Coating Colors

## CHOOSE YOUR COLOR

### INTERIOR COLORS



### EXTERIOR COLORS

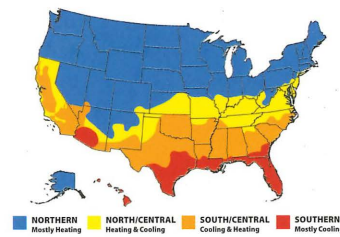


## CHOOSE YOUR STYLE



## CHOOSE YOUR GLASS

- LowE-2 | EnergyStar North Central
- LowE-2 Solar | EnergyStar South Central
- LowE-3 | EnergyStar Northern (Perspective)
- LowE-4 | EnergyStar Northern

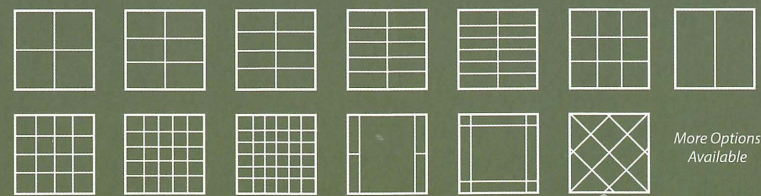


## CHOOSE YOUR GRID STYLE & PATTERN

### GRID STYLE



### GRID PATTERN



## MAXVIEW II REPLACEMENT WINDOW

The MaXviewII by Norandex window with 3/4" warm-edge, insulated glass is designed to meet Energy Star ratings in all climate zones.

With a bold bevel and stylishly designed frame, the MaXviewII window comes with a lifetime, non-prorated warranty that covers both residential and commercial applications.

A versatile and meticulously designed window, the MaXviewII boasts modern sightlines, solid performance, and a variety of styles and options to complete any project.

## APPEARANCE

With a stylishly enhanced bevel designed for a bold appearance, the MaXviewII series offers exterior coating color options as well as custom colors.

## OPERATION

A corrosion resistant Teflon coated, stainless steel, constant force balance system allows for smooth and effortless operation, along with a sturdy lock and keeper system that exceeds forced entry requirements.

## EFFICIENCY

The MaXviewII is designed with a sloped, full capture sill for increased defense against air & water infiltration, and 3/4" warm-edge insulated glass for improved thermal performance.



**AAMA GOLD LABEL CERTIFICATION**  
Highest level of testing for quality and performance



When choosing windows for their energy efficiency, it is important to select a glass package that meets the performance requirements for your climate zone. All of MaXviewII by Norandex™ innovative glass packages offer exceptional energy efficiency and are designed to accommodate the particular needs of homeowners throughout the United States.



MaxviewII windows are produced for Norandex Building Products by United Window & Door



PARADIGM  
WINDOWS

M  
MaXview  
NORANDEX

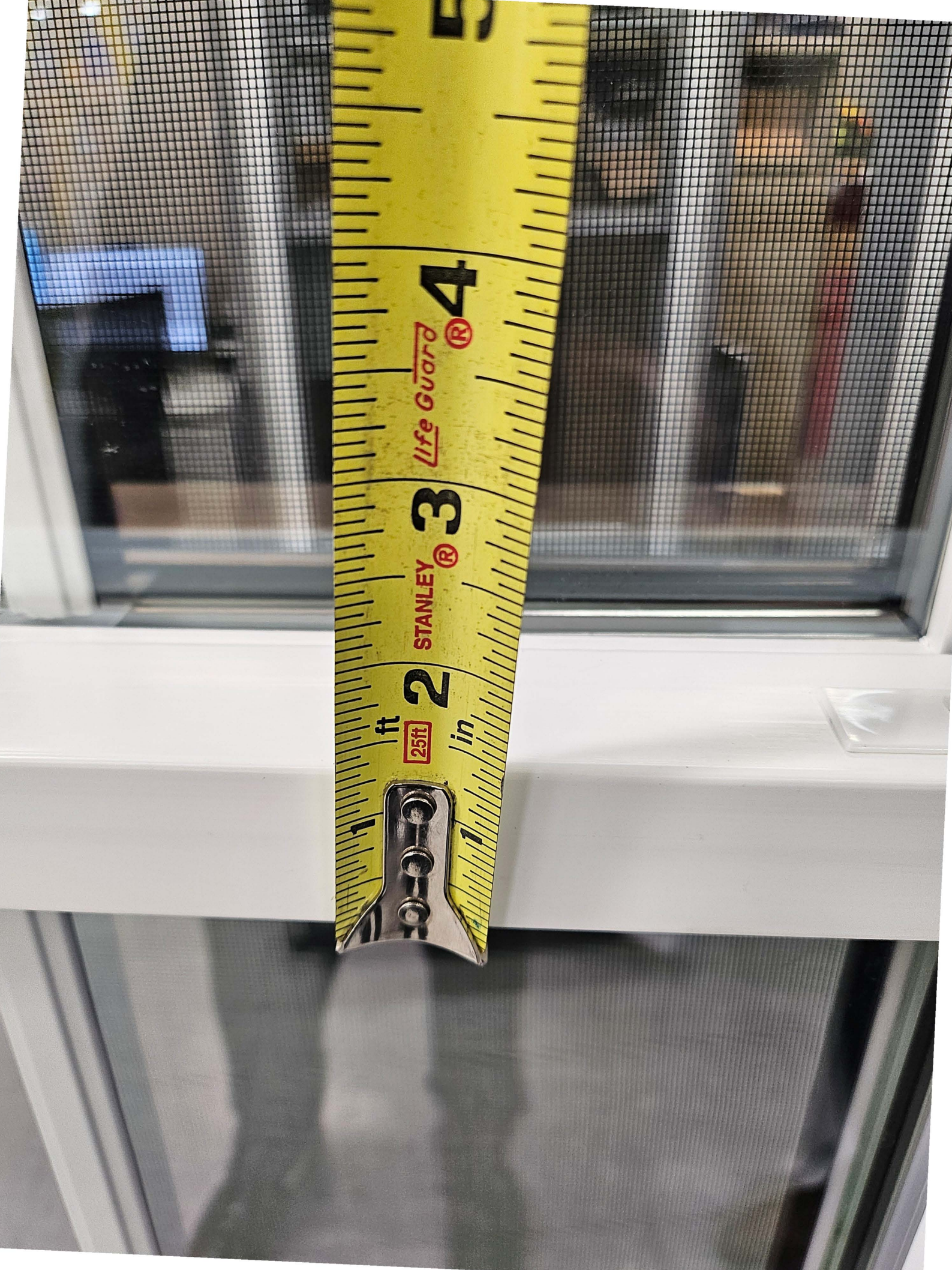
REAST

VELUX

The No Leak Skylight

THE TEAM

THE TEAM

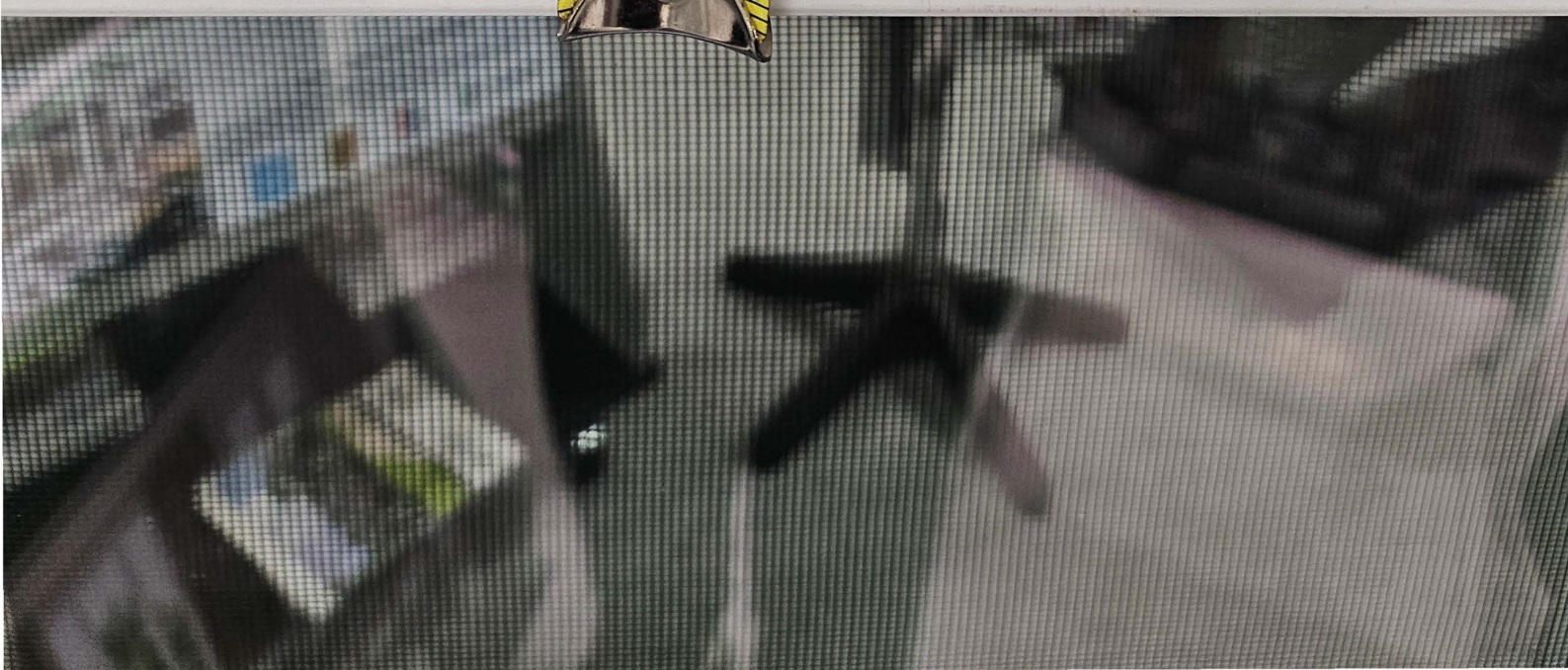
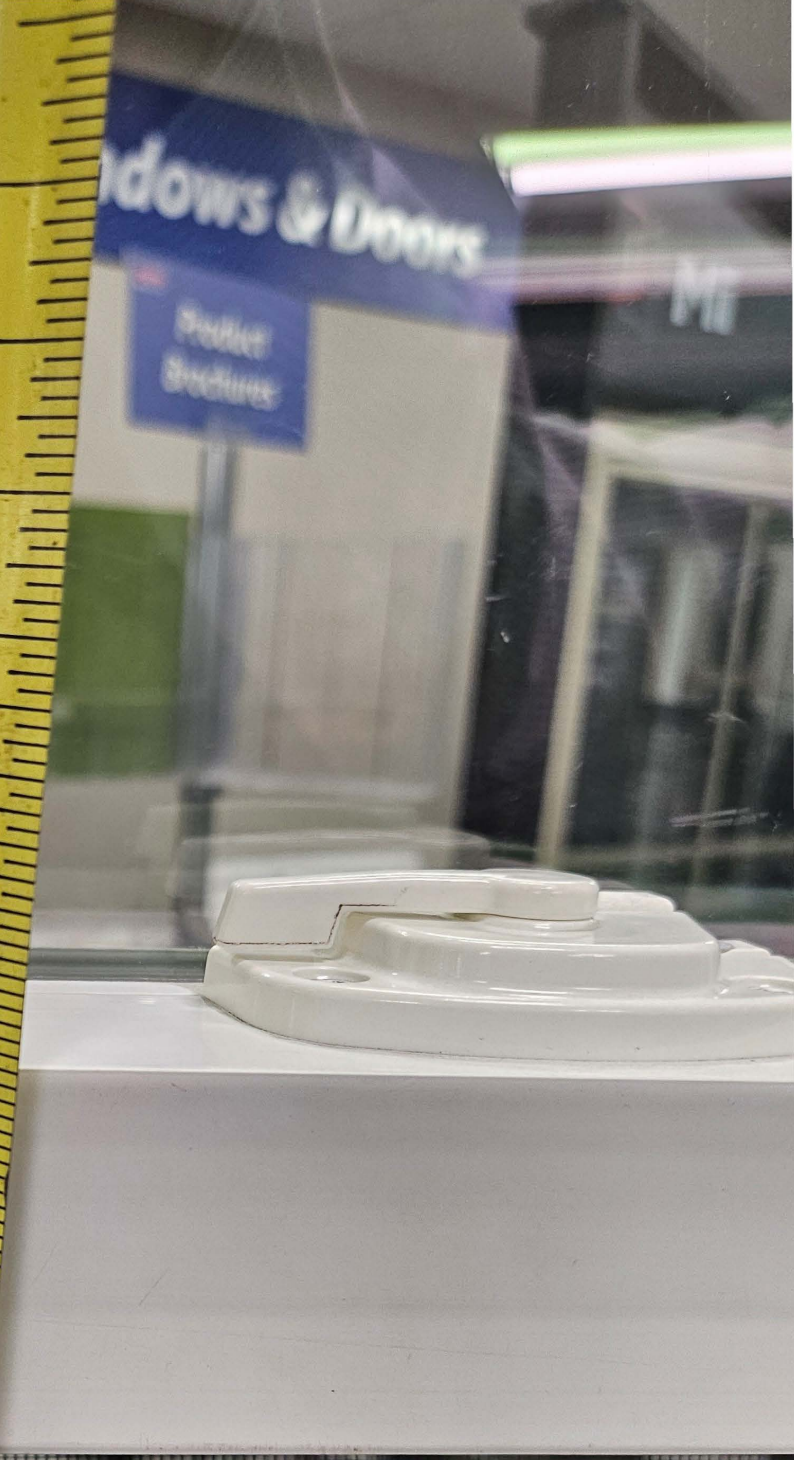
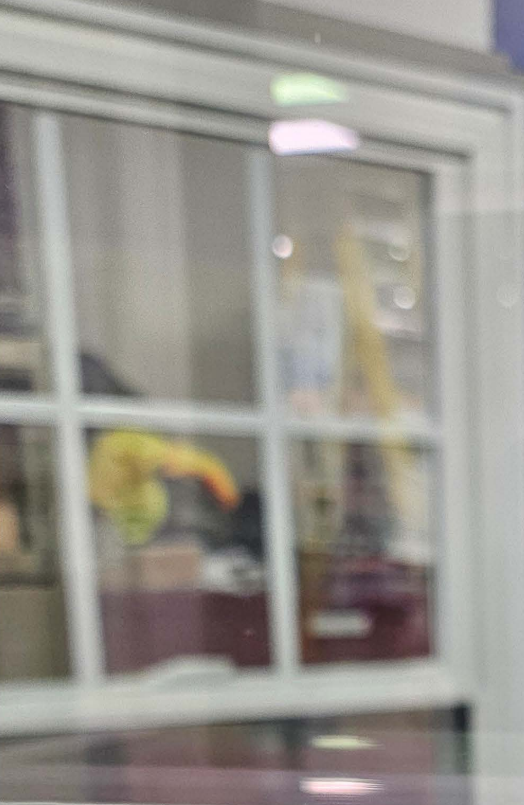


1 ft 25ft 1 in  
1 2 3 4  
STANLEY®  
Life Guard®

WINDOWS

Windows & Doors

Product Structures



## DOORS

Check box indicating that you are submitting an order sheet with renderings/brochure of the proposed door(s).

Check box indicating that you are submitting photographs of the existing door(s).

Will the Dimensions of the Door(s) Change:  Yes (Please Provide Details Below Under Additional Information)  No

**PLEASE PROVIDE DETAILS ABOUT THE CONDITIONS OF THE CURRENT DOOR(S):**

**PLEASE PROVIDE THE REASON FOR WANTING TO REPLACE THE DOOR(S):**

**NUMBER OF DOOR(S) TO BE REPLACED/ADDED:**

2

**NEW DOOR MANUFACTURER:**

Home Depot

**MODEL NUMBER(S):**

N/A

**EXISTING**

**PROPOSED**

**MATERIAL** (e.g. steel, fiberglass, etc):

Steel

**EXTERNAL COLOR(S)** (e.g. black, white, etc):

Black.

**DOOR STYLE(S)** (e.g. colonial, etc):

Colonial

**PANEL PATTERN** (e.g. single; two panel, etc):

2 panel

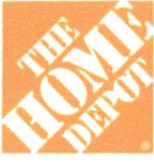
**GLASS PLACEMENT:**

left, right & top of door.

**GLASS TYPE(S)** (e.g. single-pane, double-pane, etc):

Single-pane

**ADDITIONAL INFORMATION:**



# The Home Depot Special Order Quote

Customer Agreement #: H2662-441616

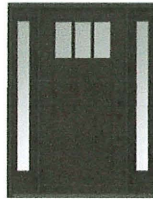
Printed Date: 3/27/2026

**Customer:** DJUAN BARKLOW  
**Address:** 90 ARNOLD AVE  
 SPRINGFIELD, MA 01119  
**Phone:** 413-387-7151  
**Email:** BLOSTYLES@YAHOO.COM

**Store:** WEST SPRINGFIELD - 2662 -  
 2662  
**Address:** 179 DAGGETT DR  
 WEST SPRINGFIELD, MA  
 01089  
**Associate:** MICHAEL  
**Phone:** 1413-731-9700

**Pre-Savings Total:** \$9,961.21  
**Total Savings:** (\$0.00)  
**Pre-Tax Price:** \$9,961.21

All prices are subject to change. Customer is responsible for verifying product selections. The Home Depot will not accept returns for the below products.



Actual Unit Size = 63 1/2" x 81 5/8"  
 R/O Size = 64 1/4" x 82 1/8"

Catalog Version 113

Line Number	Item Summary	Room Location	Was Price	Now Price	Quantity	Total Savings	Total Price
100-1	Standard Entry Door Single Prehung w/ 2 SLs 63 1/2" x 81 5/8" Smooth Timeless Black 976253	Without Transom	\$3,657.26	\$3,657.26	1	\$0.00	\$3,657.26
<b>Unit 100 Total:</b>			<b>\$3,657.26</b>	<b>\$3,657.26</b>		<b>\$0.00</b>	<b>\$3,657.26</b>

### Begin Line 100 Description

#### ---- Line 100-1 ----

Standard Entry Door,  
 Entry Door,  
 63.5 x 81.625  
 Unit 1, 3: Sidelite Frame Width = 12.75,  
 Unit 1, 3: Frame Height = 81.625  
 Unit 2: Door Frame Width = 36,  
 Unit 2: Frame Height = 81.625  
 Overall Dimensions = 63.5 x 81.625  
 Unit 1, 3: Select U.S. ENERGY STAR® Climate Zone = Northern,  
 Unit 1, 3: Impact Rated = None  
 Unit 2: Unit Type = Complete Unit,  
 Unit 2: Order Method = Special Order Only,  
 Unit 2: Select U.S. ENERGY STAR® Climate Zone = Northern,  
 Unit 2: Impact Rated = None,  
 Unit 2: Handing = Left  
 Mull Type = Continuous Head and Sill - Standard  
 Unit 1, 3: Nominal Sidelite Width = 12-in,  
 Unit 1, 3: Nominal Sidelite Height = 80-in,  
 Unit 1, 3: Cut Down = No,  
 Unit 1, 3: Texture = Smooth,  
 Unit 1, 3: Door Style = Panel with Glass,

Unit 2: Nominal Height = 80-in,  
 Unit 2: Cut Down = No,  
 Unit 2: Door Handing and Swing = Left Hand Inswing,  
 Unit 2: Texture = Smooth,  
 Unit 2: Door Style = Panel with Glass,  
 Unit 2: Door Panel Layout = Craftsman Rectangle Flush,  
 Unit 2: Door Glass Size = 24-1/8"x16"-425,  
 Unit 2: Glass Option = Clear w-External Grille,  
 Unit 2: Glass Design = Clear,  
 Unit 2: Glass Caming = No Caming,  
 Unit 2: Grille Style = External,  
 Unit 2: Grille Layout = 3-Lite Craftsman,  
 Unit 2: Finish Type = Pre-Paint Custom Color(s),  
 Unit 2: Prefinish Exterior = Timeless Black,  
 Unit 2: Prefinish Interior = Timeless Black  
 Sidelite Style = Full Lite Flush,  
 Sidelite Glass Size = 7"x63-7/8"-160,  
 Sidelite Glass Option = Clear LowE,  
 Sidelite Glass Design = Clear,  
 Sidelite Caming = No Caming,  
 Sidelite Grille Style = None,

Wrapping - Brickmold = Attached  
 Unit 1, 3: Peepsite Prep = No  
 Unit 2: Bore = Double Bore,  
 Unit 2: Backset = 2-3/8-in,  
 Unit 2: Deadbolt Bore Diameter = 2-1/8-in,  
 Unit 2: Deadbolt Jamb Prep = 1" x 2-1/4-in,  
 Unit 2: Peepsite Prep = No,  
 Unit 2: Additional Door Accessories = None  
 Unit 1, 3: Satisfied Energy Star Zones: = Northern, North Central, South Central, Southern,  
 Unit 1, 3: Room Location = Without Transom,  
 Unit 1, 3: Unit of Measure = EA  
 Unit 2: FL # = 20867.3,  
 Unit 2: TDI # = DR-212,  
 Unit 2: DP Rating = +55/-55,  
 Unit 2: Satisfied Energy Star Zones: = Northern, North Central, South Central, Southern,  
 Unit 2: Room Location = Without Transom,  
 Unit 2: Remake? = No,  
 Unit 2: Unit of Measure = EA  
 SKU = 976253,  
 Vendor Name = S/O FEATHER RIVER DOOR,  
 Vendor Number = 60065428,

Unit 1, 3: Door Panel Layout = Craftsman Rectangle Flush,  
 Unit 1, 3: Glass Option = Clear w-External Grille,  
 Unit 1, 3: Finish Type = Pre-Paint Custom Color(s),  
 Unit 1, 3: Prefinish Exterior = Timeless Black,  
 Unit 1, 3: Prefinish Interior = Timeless Black  
 Unit 2: Nominal Door Width = 36-in,  
 Unit 2: Nominal Width = 36-in,

Sidelite Grille Layout = None  
 Sill Type = Composite Adjustable,  
 Sill Finish = Patina,  
 Jamb Size = 4 9/16-in,  
 Jamb Options = Pre-Painted PVC Jamb,  
 Jamb Paint Finish Exterior = Timeless Black,  
 Jamb Paint Finish Interior = Timeless Black,

Customer Service = 800-375-8120,  
 Catalog Version Date = 10/14/2025,  
 SKU Description = S/O F-RIVER PRE-PAINT PROGRAM  
 Vertical,  
 Common Frame,  
 1" thick, 81.625" length

**End Line 100 Description**



Actual Unit Size = 63 1/2" x 12"  
 R/O Size = 64 1/4" x 12 1/2"

Catalog Version 113

Line Number	Item Summary	Room Location	Was Price	Now Price	Quantity	Total Savings	Total Price
200-1	Standard Entry Door Transom Only 63 1/2" x 12" Smooth Timeless Black 976253	Without Transom	\$1,199.95	\$1,199.95	1	\$0.00	\$1,199.95
<b>Unit 200 Total:</b>			<b>\$1,199.95</b>	<b>\$1,199.95</b>		<b>\$0.00</b>	<b>\$1,199.95</b>

**Begin Line 200 Description**

---- Line 200-1 ----

Standard Entry Door,  
 Entry Door,  
 63.5 x 12  
 Frame Width = 63.5,  
 Frame Height = 12  
 Overall Dimensions = 63.5 x 12  
 Unit Type = Complete Unit,  
 Order Method = Special Order Only,  
 Impact Rated = None  
 Nominal Transom Width = 63 1/2-in,  
 EDS Transom Width = 60-in,  
 Nominal Transom Height = 12-in,  
 Door Handing and Swing = Inswing Fixed,  
 Texture = Smooth,  
 Finish Type = Pre-Paint Custom Color(s),

Prefinish Exterior = Timeless Black,  
 Prefinish Interior = Timeless Black  
 Transom Glass Option = Clear LowE w-SDL,  
 Transom Glass Size = 61-3/4"x10-1/4"-622,  
 Transom Glass Design = Clear,  
 Transom Caming = No Caming,  
 Transom Grille Style = 1-1/8"-SDL,  
 Transom Grille Layout = 5-Lite Vertical SDL,  
 Use Glass Size = ,  
 Transom Nominal Width Offset = 5,  
 Transom Nominal Height Offset = 5  
 Jamb Size = 4 9/16-in,  
 Jamb Options = Pre-Painted PVC Jamb,  
 Jamb Paint Finish Exterior = Timeless Black,  
 Jamb Paint Finish Interior = Timeless Black,

Wrapping - Brickmold = Attached  
 Transom FL # = 5016\_R4,  
 TDI # = ,  
 Transom DP Rating = +65/-65,  
 Satisfied Energy Star Zones: = Northern, North Central, South Central, Southern,  
 Room Location = Without Transom,  
 Remake? = No,  
 Unit of Measure = EA  
 SKU = 976253,  
 Vendor Name = S/O FEATHER RIVER DOOR,  
 Vendor Number = 60065428,  
 Customer Service = 800-375-8120,  
 Catalog Version Date = 10/14/2025,  
 SKU Description = S/O F-RIVER PRE-PAINT PROGRAM

**End Line 200 Description**



Unit 1, 3: Sidelite Frame Width = 12.75  
 Unit 1, 3: Frame Height = 82  
 Unit 2: Door Frame Width = 36.125  
 Unit 2: Frame Height = 82

Catalog Version 430

Line Number	Item Summary	Room Location	Was Price	Now Price	Quantity	Total Savings	Total Price
300-1	Exterior Fiberglass Entry Door 63.625 x 82 Smooth-Star Craftsman Lite 2 Panel Paint Both Sides	Without Transom	\$5,104.00	\$5,104.00	1	\$0.00	\$5,104.00
<b>Unit 300 Total:</b>			<b>\$5,104.00</b>	<b>\$5,104.00</b>		<b>\$0.00</b>	<b>\$5,104.00</b>

---

**Begin Line 300 Description**

---

**---- Line 300-1 ----**

Exterior Fiberglass Entry Door 63.625 x 82  
Unit 1, 3: Sidelite Frame Width = 12.75  
Unit 1, 3: Frame Height = 82  
Unit 2: Door Frame Width = 36.125  
Unit 2: Frame Height = 82  
Cut Down = No  
Unit 1, 3: Configuration = Exterior Fiberglass - Single with 2 Sidelites  
Unit 1, 3: Fire Rating = No  
Unit 1, 3: Impact Rated = No  
Unit 1, 3: Sidelite Type = Standard  
Unit 2: Configuration = Exterior Fiberglass - Single with 2 Sidelites  
Unit 2: Impact Rated = No  
Unit 2: Sidelite Type = Standard  
Door Swing = Inswing  
Handing = Inswing Left  
Slab Width = 3'0"  
Slab Height = 6' 8"  
Glass Layout = Craftsman Lite  
Material = Smooth-Star  
Panel Design = Craftsman Lite 2 Panel  
Glass Size = 21x15  
Glass Type = Clear w/ Grilles  
Grille Style = Simulated Divided Lites (SDLs)  
Glass Style = 2 Lite SDL  
Grille Color = None  
Low-E = Yes  
Caming Option = None  
Frame Type = Scroll Frame  
Dentil Shelf = No  
Model = S605-ADVSSDLLE  
Sidelite Slab Width = 12"  
Sidelite Slab Height = 6' 8"  
Sidelite Material = Smooth-Star

Sidelite Glass Layout = Full Lite  
Sidelite Panel Design = Full Lite Sidelite w/ Stile Lines  
Sidelite Glass Size = 7x64  
Sidelite Glass Type = Clear w/ Grilles  
Sidelite Grille Style = Fixed Grilles  
Sidelite Grille Color = None  
Sidelite Low-E = Yes  
Sidelite Caming Option = None  
Sidelite Frame Type = Scroll Frame  
Sidelite Model = S308SL-FXGLE  
Unit 1, 3: Prefinish Options = Prefinish Door and Frame  
Unit 1, 3: Sidelite Prefinish Matches Door = Yes  
Unit 1, 3: Sidelite Prefinishing = Paint Both Sides  
Unit 1, 3: Sidelite Exterior Paint = Obsidian  
Unit 1, 3: Sidelite Interior Paint = Obsidian  
Unit 1, 3: Frame Prefinishing Options = Paint Both Sides  
Unit 1, 3: Exterior Frame Paint = Obsidian  
Unit 1, 3: Interior Frame Paint = Obsidian  
Unit 2: Prefinish Options = Prefinish Door and Frame  
Unit 2: Door Prefinishing = Paint Both Sides  
Unit 2: Exterior Paint = Obsidian  
Unit 2: Interior Paint = Obsidian  
Unit 2: Frame Prefinishing Options = Paint Both Sides  
Unit 2: Exterior Frame Paint = Obsidian  
Unit 2: Interior Frame Paint = Obsidian  
Unit 1, 3: Jamb Depth = 4 9/16"  
Unit 1, 3: Jamb Material = Reeb On Guard Primed  
Unit 1, 3: Color Matched Frame Screw Plug Installation Kit = Yes  
Unit 1, 3: Sill Type = Composite Adjustable  
Unit 1, 3: Sill Cap = Dark Wood  
Unit 1, 3: Sill Pan = Yes  
Unit 1, 3: Protective Sill Cover = Yes

Unit 2: Jamb Depth = 4 9/16"  
Unit 2: Jamb Material = Reeb On Guard Primed  
Unit 2: Color Matched Frame Screw Plug Installation Kit = Yes  
Unit 2: Sill Type = Composite Adjustable  
Unit 2: Sill Finish = Bronze  
Unit 2: Sill Cap = Dark Wood  
Unit 2: Sill Pan = Yes  
Unit 2: Protective Sill Cover = Yes  
Unit 2: Weatherstrip Option = Compression Bronze  
Lock System Type = Lock Prep Only - No Hardware  
Door Bore = Double Bore 2 3/8" Backset  
Deadbolt Strike Jamb Prep = DBM  
Hinge Type = Ball Bearing  
Hinge Finish = Black Nickel  
Kick Plate = None  
Exterior Casing = Primed On-Guard 180 Brickmould  
Brickmould Shipping Option = Applied  
Exterior Casing Color = Obsidian  
Interior Casing = None  
Unit 1, 3: Sidelite U-Factor = 0.21  
Unit 1, 3: Sidelite Solar Heat Gain Coefficient = 0.06  
Unit 1, 3: Energy Star Rated = Yes  
Unit 2: Door U-Factor = 0.20  
Unit 2: Door Solar Heat Gain Coefficient = 0.06  
Unit 2: Energy Star Rated = Yes  
Room Location = Without Transom  
SKU = 1000045780  
Vendor Name = REEB  
Vendor Number = 60010502  
Customer Service = 888-321-7332  
Catalog Version Date = 3/24/2026  
SKU Description = S/O REEB TTRU PF PAINT FG 28D  
Mull Type = Continuous - Standard

---

**End Line 300 Description**

---

## SIDING

Check box indicating that you are submitting an order sheet with renderings of the proposed siding.

Check box indicating that you are submitting photographs of the existing siding.

**NEW SIDING MANUFACTURER:**

James Hardie

**MODEL NUMBER(S):**

N/A

**BUILDING SIDE(S) FOR PROPOSED SIDING:**

4 sides

	EXISTING	PROPOSED
<b>MATERIAL</b> (e.g. wood, stucco, brick, non-wood shingle):		Hardie Board
<b>SIDING PATTERN</b> (e.g. clapboard, bevel etc):		Smooth / Shakes
<b>WINDOW CASING DIMENSIONS:</b>		1x6
<b>DOOR CASING DIMENSIONS:</b>		64 1/4 x 82 1/8
<b>CORNER BOARD DIMENSIONS:</b>		1x6
<b>CORNICES DIMENSIONS:</b>		1x8
<b>FRIEZE BOARD DIMENSIONS:</b>		1x8
<b>SHUTTER DIMENSIONS:</b>		12x5

**PLEASE PROVIDE DETAILS ABOUT THE CONDITIONS OF THE EXISTING SIDING:**

**PLEASE PROVIDE THE REASON FOR WANTING TO REPLACE THE SIDING:**

**ADDITIONAL INFORMATION:**



**Long-lasting  
beauty  
by design.**

Tristate Color and Product Availability



Hardie® Plank Mountain Sage  
Hardie® Trim Arctic White

## Finishing Touches

### Accessories

#### Flat Tabs

Reduce nail holes and improve the aesthetic of trim applications around windows, doors and band boards.

#### Corner Tabs

Use corner tabs to eliminate face nail holes that would detract from the finished look of corner trim installations.

#### Hardie™ Weather Barrier

Moisture management starts with the wrap. Our weather barrier, flex flashing, seam tape and pro-flashing deliver the performance that you've come to expect from Hardie® products.

### ColorPlus® Technology Accessories

#### Touch-up Kits

Specially formulated to match ColorPlus® Technology finishes, our Touch-up Kits offer resistance to aging, color change and chalking. Nail concealers and Edge sealers are included in the kits.

#### Color Matched Caulk

OSI® QUAD® MAX sealant offers a high performance sealant solution to match Statement Collection® product colors\*.

\*For matching Dream Collection® product colors, contact your local James Hardie representative.

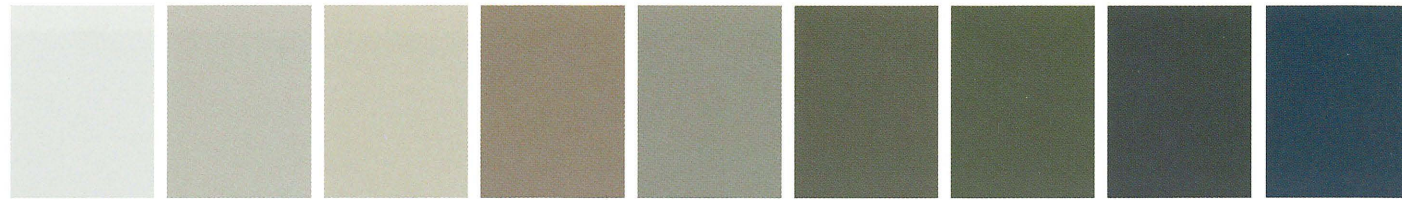


Get inspired at [jameshardie.com](https://jameshardie.com)

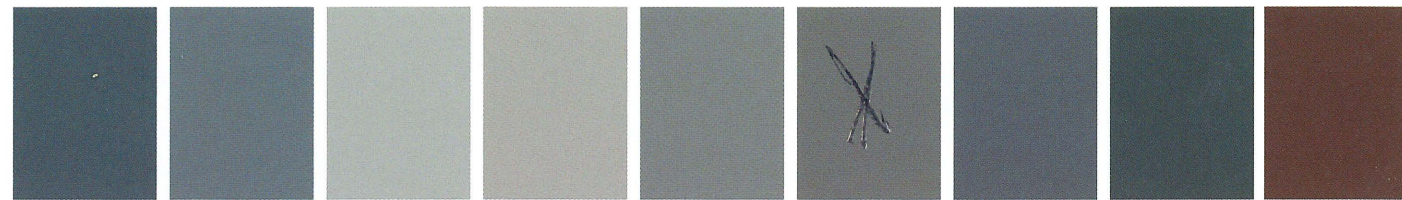
# Statement Collection®

Locally stocked and designed for simplicity - making it easier than ever to get a beautiful, long-lasting home exterior.

Hardie® Plank, Hardie® Shingle, Hardie® Panel, Hardie® Trim Batten

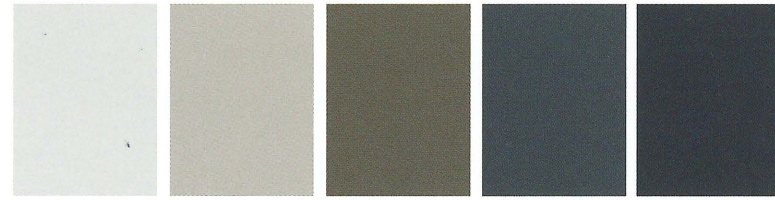


Arctic White Cobble Stone Navajo Beige Khaki Brown Monterey Taupe Timber Bark Mountain Sage Rich Espresso Deep Ocean



Evening Blue Boothbay Blue Light Mist Pearl Gray Gray Slate Aged Pewter Night Gray Iron Gray Countrylane Red

Hardie® Trim



Arctic White Cobble Stone Timber Bark Iron Gray Midnight Black



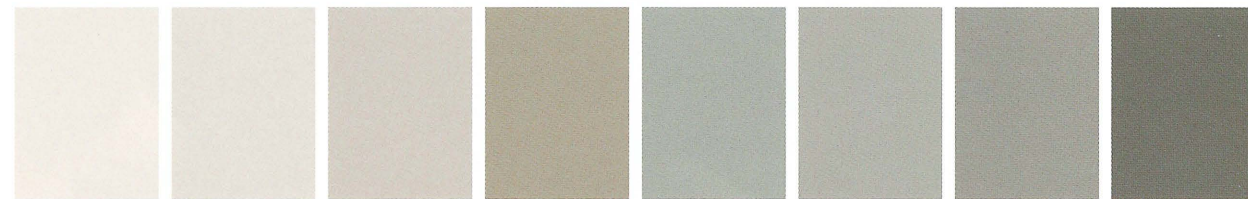
Scan to view Statement Collection® product availability & learn about other made-to-order options

MAGNOLIA HOME

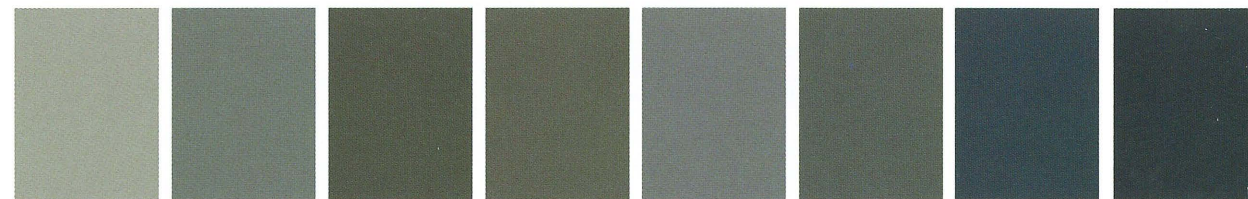


We've partnered with Magnolia Home to create an inspired collection of exteriors in colors, styles and textures curated by Joanna Gaines to transform your home into your favorite place to be.

Hardie® Plank  
Hardie® Shingle  
Hardie® Panel  
Hardie® Trim  
Hardie® Soffit



Birch Tree Weathered Cliffs Rustic Road Rugged Path It's About Thyme Stone Beach Stone Paver Warm Clay



Dried Eucalyptus Chiseled Green Wandering Green Mudflats Slate Steps Peppery Ash Last Embers Midnight Soot



Colors shown are as accurate as printing methods will permit. Scan to order a product sample for true color.



## Beauty begins with a finish that lasts.

### ColorPlus® Technology

ColorPlus® Technology finishes are fully cured on our boards in a controlled factory environment and arrive at your home ready for installation year-round. With prefinished color products, you'll have peace of mind, knowing you'll have a more consistent color and finish that doesn't depend on good weather.

With a variety of color options available to help bring your vision to life, ColorPlus® Technology finishes help keep your home looking beautiful longer.

## Trusted Protection with Hardie® Fiber Cement



**Fire**  
Fire-Resistant, non-combustible\*



**Durable**  
Resists cracking and swelling from moisture



**Pests**  
Holds no appeal to pests



**Water-Resistant**  
Resists damage from rain, ice and snow



**Mother Nature**  
Stands up to harsh weather

\*Hardie® siding complies with ASTM E136 as a noncombustible cladding. Fiber cement fire resistance does not extend to applied paints or coatings, which may be damaged or char when exposed to flames.

## Unlike other brands, James Hardie doesn't prorate its substrate warranty.

Meaning we stand 100% behind Hardie® fiber cement siding, trim and soffit products for 30 years.



Our warranty will be as strong 30 years from now as it is today.

## Hardie® Plank

Thickness 5/16 in. | Length 12 ft. planks



### Select Cedarmill®

Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Exposure	4 in	5 in	6 in	7 in	8 in	10.75 in
Statement Collection®		•		•		
Dream Collection®	•	•	•	•		
Magnolia Collection	•	•	•	•		
Prime	•	•	•	•	•	•



### Smooth

Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Exposure	4 in	5 in	6 in	7 in	8 in	10.75 in
Statement Collection®		•		•		
Dream Collection®	•	•	•	•		
Magnolia Collection	•	•	•	•		
Prime	•	•	•	•	•	•



### Beaded Select Cedarmill®

Width	8.25 in
Exposure	7 in
Statement Collection®	
Dream Collection®	•
Prime	

## Hardie® Shingle

Thickness 1/4 in. | Length 48 in.



### Straight Edge Panel

Height	14 in	15.25 in
Exposure	5 in	7 in
Statement Collection®	•	•
Dream Collection®		•
Magnolia Collection		•
Prime	•	•

### Staggered Edge Panel

Height	15.25 in
Exposure	6 in
Dream Collection®	•
Statement Collection®	
Magnolia Collection	
Prime	•

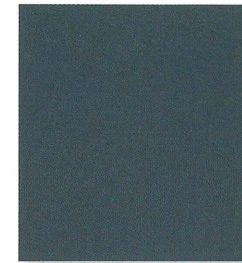
## Hardie® Panel

Thickness 5/16 in.



### Select Cedarmill®

Size	4 ft x 8 ft	4 ft x 10 ft
Statement Collection®		•
Dream Collection®	•	•
Magnolia Collection		•
Prime	•	•



### Smooth

Size	4 ft x 8 ft	4 ft x 10 ft
Statement Collection®		•
Dream Collection®	•	•
Magnolia Collection		•
Prime	•	•



### Stucco

Size	4 ft x 8 ft	4 ft x 10 ft
Statement Collection®		
Dream Collection®	•	•
Prime	•	•



### Sierra 8

Size	4 ft x 8 ft	4 ft x 10 ft
Statement Collection®		
Prime	•	•

## Hardie® Trim Batten

Thickness 3/4 in. | Length 12 ft. boards



	Smooth	Rustic Grain
Width	2.5 in	2.5 in
Statement Collection®	•	•
Dream Collection®	•	•
Magnolia Collection	•	•
Prime	•	•

## Hardie® Soffit

Thickness 1/4 in.



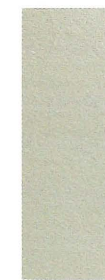
### Vented Smooth

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
Statement Collection®			
Dream Collection®	•	•	•
Magnolia Collection		•	
Prime			



### Vented Select Cedarmill®

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
Statement Collection®			
Dream Collection®	•	•	•
Magnolia Collection		•	
Prime			



### Non-Vented Smooth

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in	8 ft x 48 in
Statement Collection®				
Dream Collection®	•	•	•	
Magnolia Collection		•		
Prime	•	•	•	•



### Non-Vented Select Cedarmill®

Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in	8 ft x 48 in
Statement Collection®				
Dream Collection®	•	•	•	
Magnolia Collection		•		
Prime	•	•	•	•

## 5/4 Hardie® Trim

Thickness 1 in. | Length 12 ft. boards



### 5/4 Smooth

Width	3.5 in	4.5 in	5.5 in	7.25 in	9.25 in	11.25 in
Statement Collection®	•	•	•	•		•
Dream Collection®	•	•	•	•	•	•
Magnolia Collection	•		•	•		•
Prime						

## 4/4 Hardie® Trim

Thickness 3/4 in. | Length 12 ft. boards

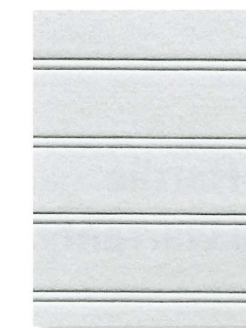


### 4/4 Smooth

Width	3.5 in	5.5 in	7.25 in	9.25 in	11.25 in
Statement Collection®	•	•	•		•
Dream Collection®	•	•	•	•	•
Magnolia Collection					
Prime					

## Hardie® Soffit Beaded Porch Panel

Thickness 1/4 in.



Size	4 ft x 8 ft
Bead Size	2 in o.c.
Statement Collection®	
Dream Collection®	•
Magnolia Collection	
Prime	•

Bead edge lands on long edge of sheet to hide seams.

## ROOFING

Check box indicating that you are submitting an order sheet with renderings of the proposed roofing.

Check box indicating that you are submitting photographs of the existing roofing.

	EXISTING	PROPOSED
<b>ROOF STYLE</b> (e.g. gable, hip, mansard, etc):		Gable
<b>MATERIAL</b> (e.g. asphalt shingle, slate, clay tile, etc):		Architectural.

**PLEASE PROVIDE DETAILS ABOUT THE CONDITIONS OF THE EXISTING ROOFING:**

**PLEASE PROVIDE THE REASON FOR WANTING TO REPLACE THE ROOFING:**

**ADDITIONAL INFORMATION:**

Pewterwood

## SOLAR

**WILL THE MATERIAL OF THE ROOF BE CHANGING AS PART OF THIS PROJECT?**

**YES (PLEASE PROVIDE MORE INFO ABOVE)**  
**NO**

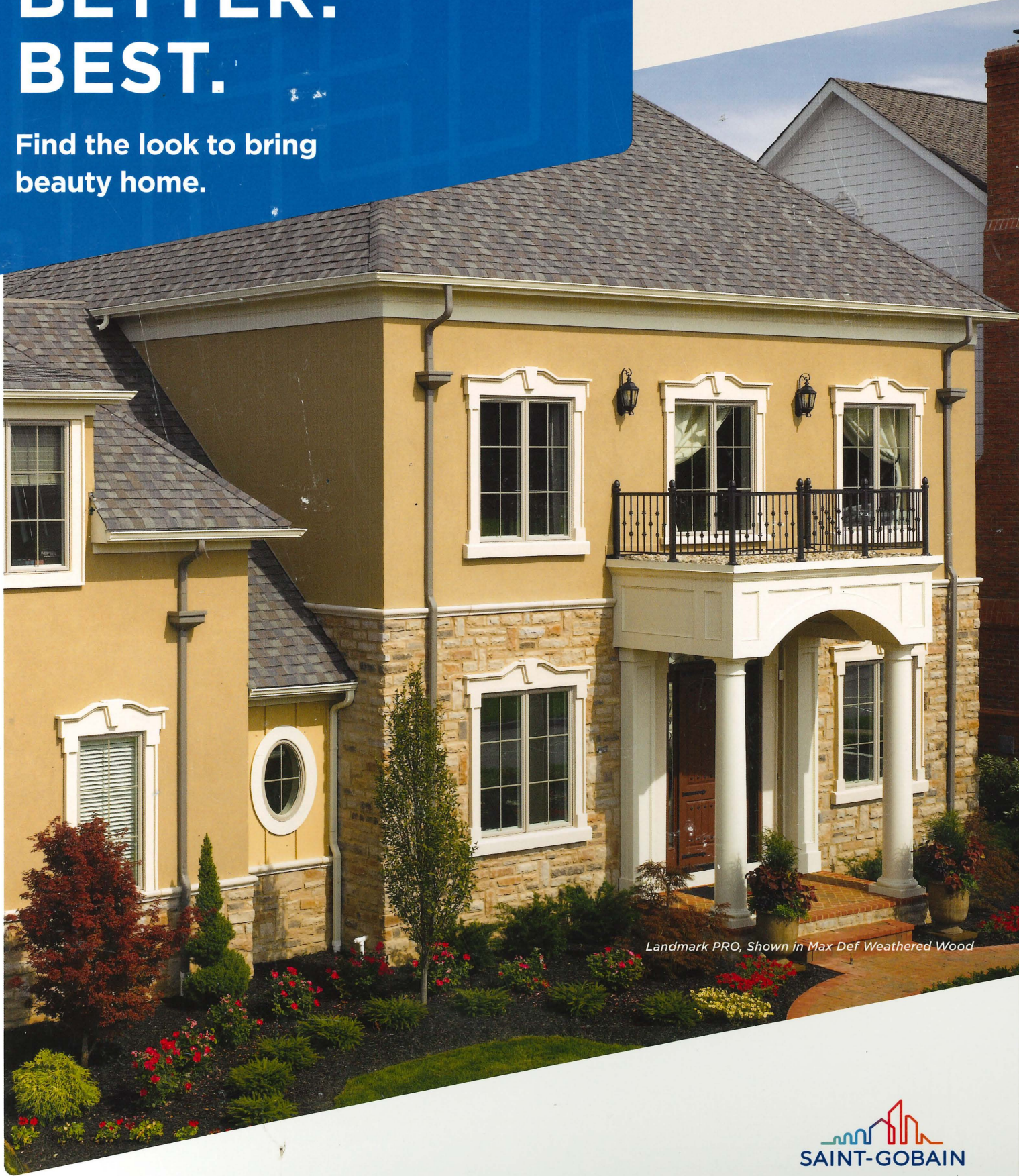
Check box indicating that you are submitting plans of the proposed solar project.

Check box indicating that you are submitting photographs of the existing roofing.

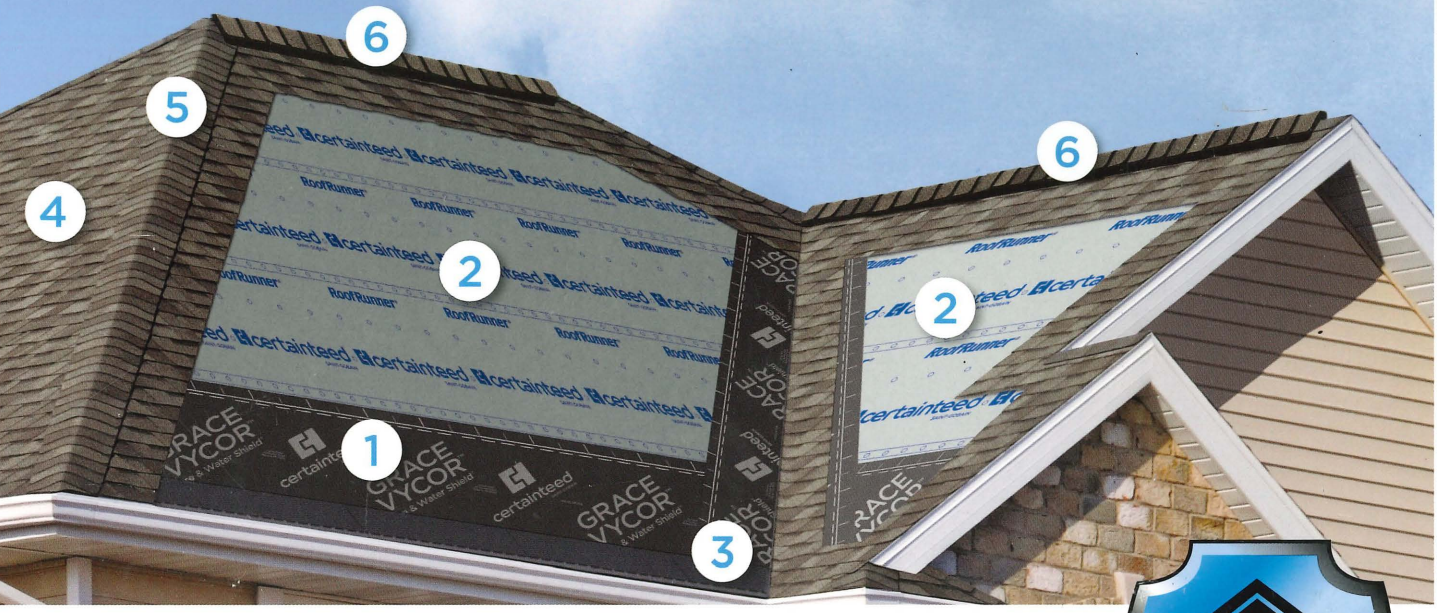
<b>ROOF MATERIAL</b> (e.g. asphalt shingle, slate, clay tile, etc):	N/A
<b>NUMBER OF SOLAR POWERED PANELS:</b>	" "
<b>SOLAR MANUFACTURER:</b>	" "
<b>LOCATION OF SOLAR POWERED PANELS</b> (e.g. north side of roof):	" "
<b>LOCATION OF MAIN SERVICE PANEL &amp; METER</b> (e.g. rear of building):	" "
<b>LOCATION OF OTHER ELECTRICAL COMPONENTS</b> (e.g. rear of building):	" "
<b>LOCATION OF CONDUIT</b> (e.g. side of building, inside the house):	" "
<b>PROPOSED COLOR OF CONDUIT</b> (e.g. silver, same as house):	" "

**GOOD.  
BETTER.  
BEST.**

Find the look to bring beauty home.



*Landmark PRO, Shown in Max Def Weathered Wood*



# Integrity Roof System<sup>®</sup>

A COMPLETE APPROACH TO LONG-LASTING BEAUTY AND PERFORMANCE

With as much care as you take in selecting the right contractor, choosing the right roof system is equally as important. A CertainTeed Integrity Roof System combines key elements that help ensure you have a well-built roof for long-lasting performance.

**1 WATERPROOFING UNDERLAYMENT**  
The first step in your defense against the elements. Self-adhering underlayment is installed at vulnerable areas of your roof to help prevent leaks from wind-driven rain and ice dams.

**2 WATER-RESISTANT UNDERLAYMENT**  
Provides a protective layer over the roof decks and acts as a secondary barrier against leaks.

**3 STARTER SHINGLES**  
Starter shingles are the first course of shingles that are installed and designed to work in tandem with the roof shingles above for optimal shingle sealing and performance.

**4 SHINGLES**  
Choose from a variety of Good-Better-Best styles to complement any roof design and fit your budget.

**5 VENTILATION**  
A roof that breathes is shown to perform better and last longer. Ridge vents, in combination with intake vents, allow air to flow on the underside of your roof deck, keeping the attic cooler in the summer and drier in the winter.

**6 HIP & RIDGE CAPS**  
Available in numerous profiles, these accessories are used on the roof's hip and ridge lines for a distinctive finishing touch to your new roof.

Because of their size, the swatches on this sample cannot accurately depict the color, clarity and variation of our actual blends. Before you buy, ask to see a full shingle. All colors may not be available. Consult your CertainTeed dealer for color availability.

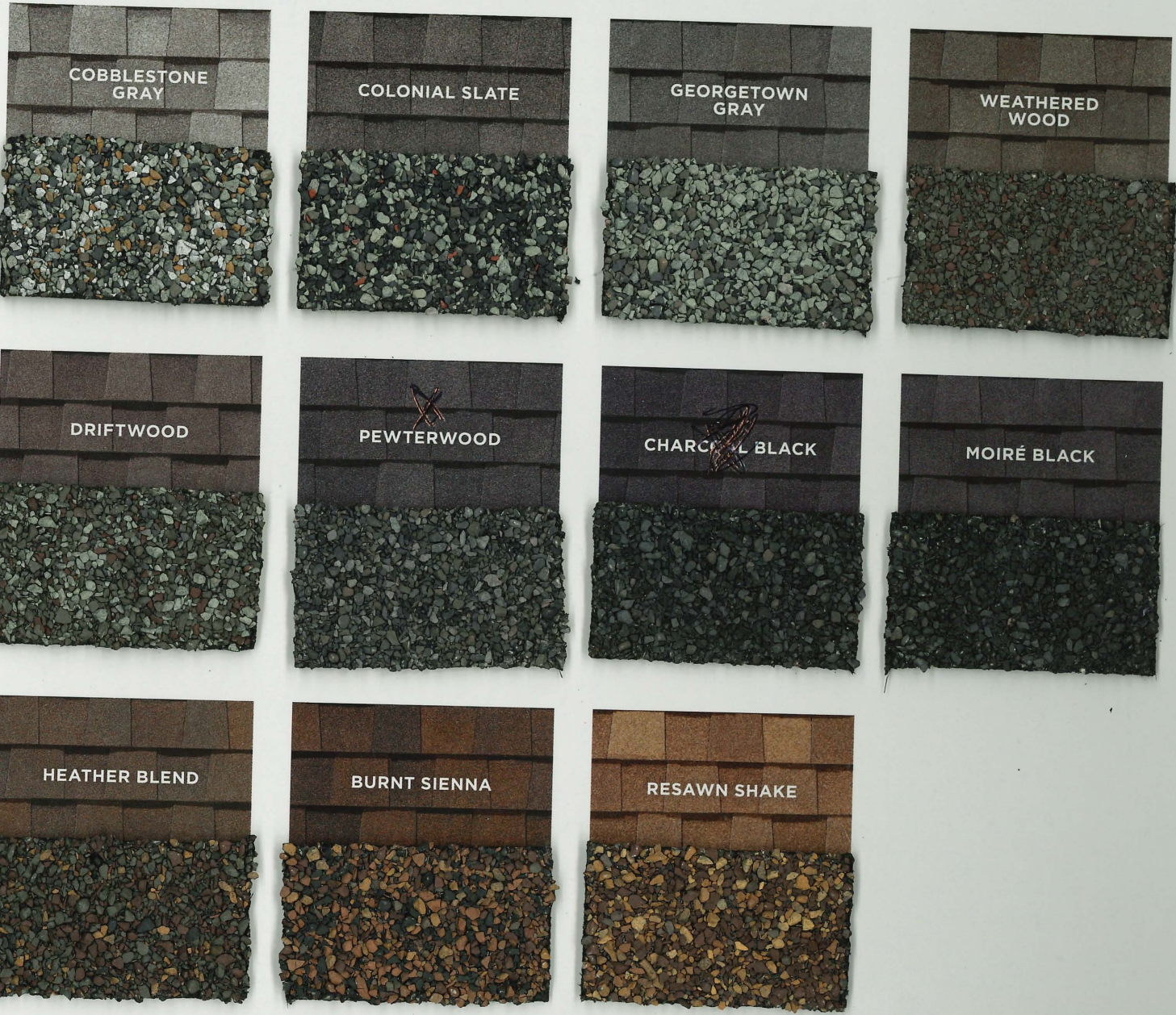


Products available in areas shown

Landmark®



GOOD



# Engineered for Excellence



## NailTrak®

Fast, Accurate, Visible

- Nailing area three times wider than that of a typical laminate shingle for improved installation, speed, and accuracy
- Bright lines provide a clear nailing area in any environment and lighting
- Includes a dedicated nailing area for extreme steep-slope applications
- Trusted performance for over 15 years

## QuadraBond™

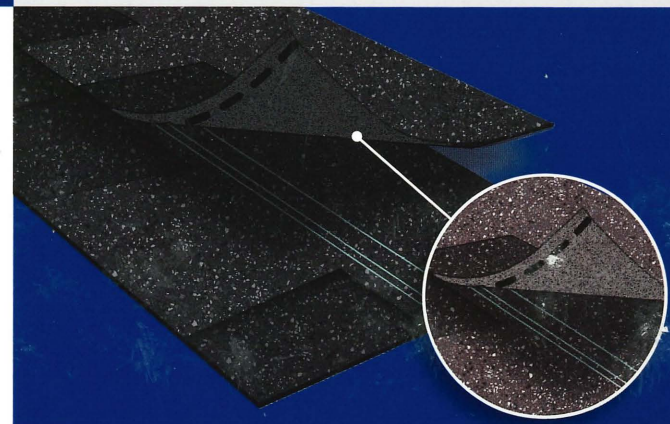
Advanced Layering

CertainTeed's specially formulated adhesive adheres shingle layers at four points, more than any other manufacturer. This superior bond provides greater protection against shingle de-lamination to maximize performance over the life of the shingle in any climate.



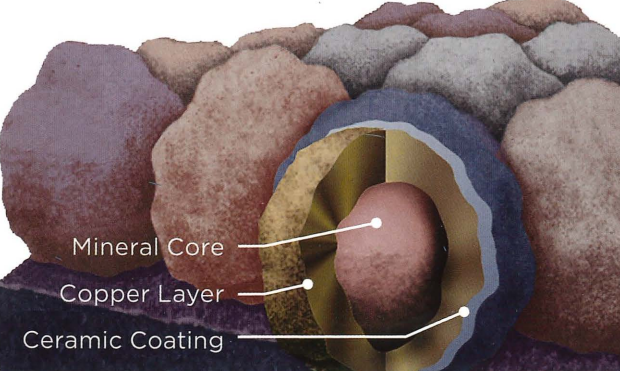
## StreakFighter®

- Reliable, long-term protection from algae formation
- Helps maintain your roof's natural beauty with innovative algae-fighting technology
- Industry-leading algae-resistance warranty
- Uses natural anti-algae properties of copper-containing surface granules
- Standard on all CertainTeed asphalt shingles sold in areas where algae growth is prevalent



## CertaSeal®

- High-grade adhesive seals shingles together on the roof to guard your home against the elements
- Designed to be fast activating after installation, providing effective protection from wind and weather
- Pliable adhesive allows for structural movement from temperature and weather changes without compromising seal



**The Trusted Classic**  
Owning a Landmark roof brings peace of mind. Landmark's dual-layered construction and exceptional durability provide long-lasting protection for your home.



Scan code for more information

<p><b>NailTrak®</b> WIDER NAILING AREA</p>	<p><b>StreakFighter®</b> 25-YEAR ALGAE RESISTANCE</p>
<p><b>CertaSeal®</b> UPLIFT PROTECTION</p>	<p><b>QuadraBond™</b> ADVANCED LAYERING</p>
<p> 15-YEAR 110 MPH WIND WARRANTY UPGRADE TO 130 MPH AVAILABLE</p>	<p> 10-YEAR SURESTART PROTECTION INCLUDES MATERIALS AND LABOR COSTS</p>
<p> LIFETIME LIMITED WARRANTY</p>	<p> UL 2218 CLASS 3 IMPACT RATED</p>

# StreakFighter®

Algae Resistance

The ultimate in stain protection.

Those streaks you see on other roofs in your neighborhood? That's algae, and it's a common eyesore on roofing throughout North America. CertainTeed's **StreakFighter** technology uses the power of science to repel algae before it can take hold and spread.

**StreakFighter's** granular blend includes naturally algae-resistant copper, helping your roof maintain its curb appeal and look beautiful for years to come.

Granule with **StreakFighter** Technology

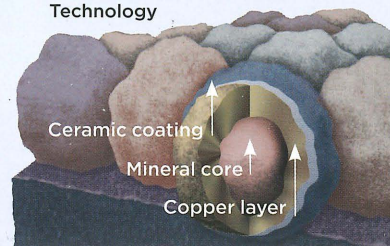


Diagram for illustrative purposes only.

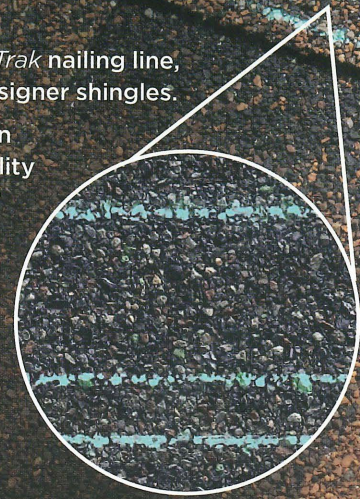
# NailTrak®

Fast, Accurate, Visible

The new and improved **NailTrak** nailing line, a feature on CertainTeed designer shingles.

Now **NailTrak** is brighter than ever before, with high-visibility lines that stand out whether it's daybreak or dusk.

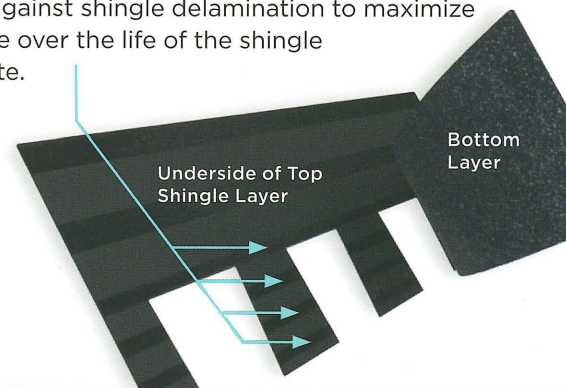
**NailTrak** removes the guesswork with three separately defined lines, creating a large area to guide your nailing and a smaller area for extreme steep-slope applications.



# QuadraBond®

Advanced Layering

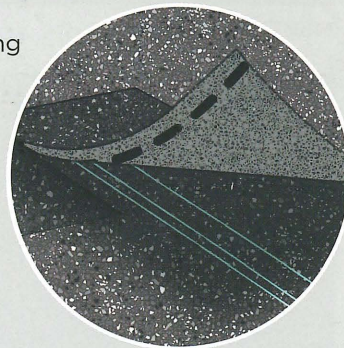
CertainTeed's specially formulated adhesive adheres shingle layers at four points, more than any other manufacturer. This superior bond provides greater protection against shingle delamination to maximize performance over the life of the shingle in any climate.



# CertaSeal®

Uplift Protection

**CertaSeal**® is a fast-activating modified asphalt sealant with a 20-year record of proven performance. Designed to seal shingles together upon installation, it protects roofs from wind uplift and shingle blow-off so that homes stay safe and dry. It's also engineered to remain flexible after installation, unlike harder sealants that can dry out and crack over time.



# Landmark® PRO

The Expert's Choice

**certainteed**  
SAINT-GOBAIN



Landmark PRO, shown in Max Def Driftwood



## Integrity Roof System™

Insist upon the Integrity Roof System™ and get the ultimate in roof performance.

learn more at:  
[certainteed.com/roofing](http://certainteed.com/roofing)



Read our blog

Landmark® PRO available in areas shown



**CertainTeed**

CEILINGS • GYPSUM • INSULATION • ROOFING • SIDING • TRIM  
20 Moores Road, Malvern, PA 19355 Professional: 800-233-8990 Consumer: 800-782-8777 [certainteed.com](http://certainteed.com)

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# Introducing More Value

Landmark® PRO is designed specifically for the professional roofing contractor that takes pride in providing more to their customer.

Landmark PRO improves upon the reliable CertainTeed Landmark shingle.

We started by adding more weathering asphalt to the industry's toughest fiberglass mat to provide more protection. Then we incorporated our Maximum Definition color blend technology to give the product more vibrancy on the roof. Included is the proven performance of our **NailTrak®** feature, enabling faster installation.

Landmark PRO offers the industry's strongest warranty. Protecting your reputation and safeguarding homeowners from manufacturing and aesthetic defects.

#### LANDMARK PRO STANDARD WARRANTY

- Lifetime Limited Warranty
- 10-years of SureStart™ protection
- 15-year 110 MPH wind warranty (Upgrade to 130 MPH available. CertainTeed starter and CertainTeed hip and ridge required.)
- 30-year **StreakFighter®** algae resistance warranty

Add it all up and what you get is the opportunity to offer a lot of additional value for the money... and today that means more than ever.

## Landmark® PRO



#### Landmark PRO specifications:

- Premium Max Def color palette
- **NailTrak®** for faster installation
- Lifetime limited warranty
- 30-year **StreakFighter®** algae resistance
- 10-year SureStart protection includes:
  - Materials, labor, tear off and disposal cost
- 15-year 110 MPH wind warranty with upgrade to 130 MPH available
- **UL 2218 Class 3 Impact Rated**



## Landmark®



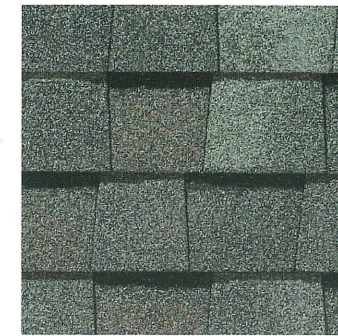
#### Landmark specifications:

- Traditional color palette
- **NailTrak®** for faster installation
- Lifetime limited warranty
- 25-year **StreakFighter®** algae resistance
- 10-year SureStart protection includes:
  - Materials and labor costs
- 15-year 110 MPH wind warranty with upgrade to 130 MPH available

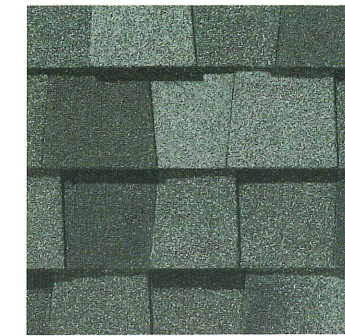
## LANDMARK® PRO COLOR PALETTE



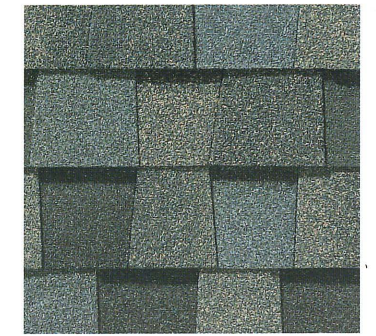
Max Def Cobblestone Gray



Max Def Colonial Slate



Max Def Georgetown Gray



Max Def Weathered Wood



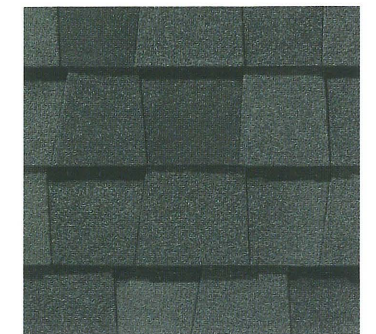
Max Def Driftwood



Max Def Pewterwood



Max Def Charcoal Black



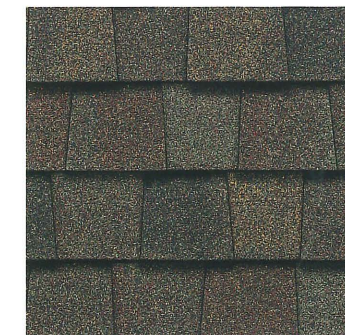
Max Def Moiré Black



Max Def Espresso



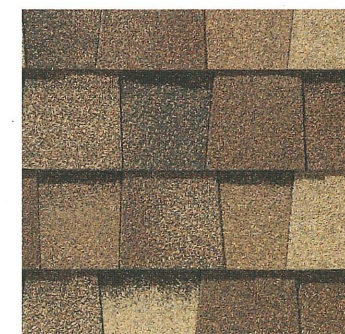
Max Def Heather Blend



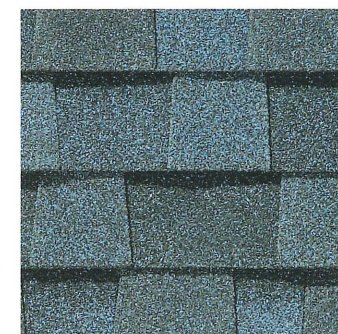
Max Def Shenandoah



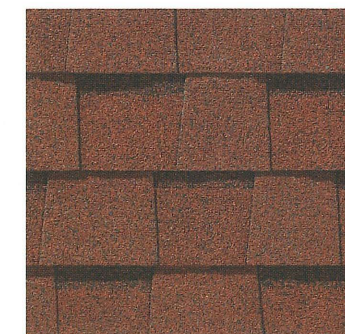
Max Def Burnt Sienna



Max Def Resawn Shake



Max Def Coastal Blue



Max Def Red Oak



Max Def Evergreen

## Max Def Colors

Look deeper. With Max Def, a new dimension is added to shingles with a richer mixture of surface granules. You get a brighter, more vibrant, more dramatic appearance and depth of color. And the natural beauty of your roof shines through.

NOTE: Due to limitations of printing reproduction, CertainTeed can not guarantee the identical match of the actual product color to the graphic representations throughout this publication.



Scan code for more information



# Customer Quote

4/06/2026, 10:13 AM EDT

Sales Person MET3322

Store Phone # (413) 731-9700

Store # 2662

Location 179 DAGGET DRIVE, WEST SPRINGFIELD, MA 01089

## Customer Information

DJUAN BARKLOW  
(413) 387-7151  
BLOSTYLES@YAHOO.COM

OTHER  
90 ARNOLD AVE  
SPRINGFIELD, MA 01119



Quote # H2662-443301

PO / Job Name quote

### Will Call

Pickup Date  
Monday, April 6  
12:15 PM EDT

Item Description	Model #	SKU #	Unit Price	Qty	Subtotal
<b>GAF</b> Pro-Start 120 lin. ft. Eave and Rake Roofing Starter Strip Shingles	N/A	919062	<del>\$54.97 / bundle</del> \$48.37 / bundle	3	\$145.11
◆ DISCOUNT \$6.60 OFF EACH					
<b>GAF</b> Cobra Exhaust Vent 10.5 in. x 20 ft. Mesh Roll Ridge Vent Plastic - (Nail Gun Version)	N/A	944173	\$65.97 / roll	3	\$197.91
<b>Amerimax Home Products</b> 5 in. x 7 in. Mill Finish Aluminum Step Flashing	N/A	569215	\$3.68 / each	10	\$36.80
<b>Amerimax Home Products</b> F8 - 6 in. x 1 in. x 10 ft. White Premium Aluminum Drip Edge Flashing Open-Face, Hemmed	N/A	1012684422	\$14.38 / each	33	\$474.54
<b>GAF</b> StormGuard 200 sq. ft. Synthetic Patterned-Surface Peel and Stick Roof Leak Barrier Roll	N/A	304830	<del>\$120.00 / roll</del> \$118.68 / roll	8	\$949.44
◆ DISCOUNT \$10.32 OFF EACH					
<b>GAF</b> FeltBuster 1000 sq. ft. Synthetic Roofing Underlayment Roll	N/A	1000043180	\$107.00 / roll	3	\$321.00
<b>GAF</b> Timberline Natural Shadow Charcoal Algae Resistant Architectural Shingles (33.33 sq. ft. per Bundle)	N/A	775276	<del>\$44.47 / bundle</del> \$39.13 / bundle	71	\$2,778.23
◆ DISCOUNT \$5.34 OFF EACH					



# Customer Quote

4/06/2026, 10:13 AM EDT

Sales Person MET3322

Store Phone # (413) 731-9700

Store # 2662

Location 179 DAGGET DRIVE, WEST SPRINGFIELD, MA 01089

**Prices Valid Through: 04/13/2026**  
at The Home Depot #2662

<b>Subtotal</b>	\$5,384.53
<b>Discounts</b>	-\$481.50
<b>Sales Tax</b>	\$306.44
<b>Quote Total</b>	\$5,209.47



**LEFT ELEVATION 1/4"=1'0"**

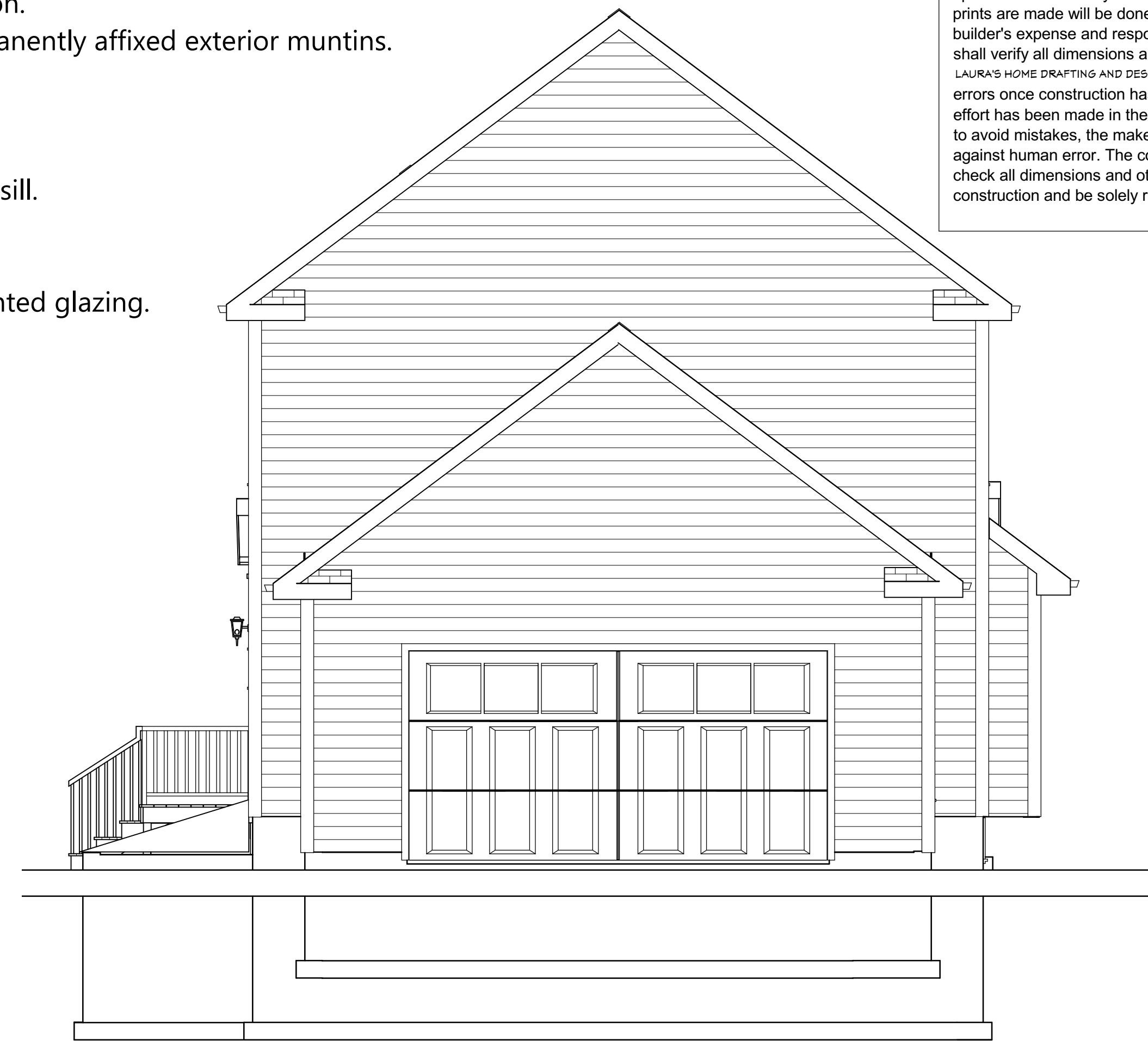
**Window Requirements**

- Double-hung 6-over-1 configuration.
- Simulated divided lights with permanently affixed exterior muntins.
- Spacer bars between panes.
- Grids on windows on the exterior.
- No resizing of window openings.
- Lower sash must sit directly on the sill.
- Paintable fiberglass.
- Matte black factory finish.
- Double-pane glass, no reflective/tinted glazing.

**Exterior Materials**

- Hardie Board smooth lap siding.
- CEDAR SHAKES IN FRONT GABLE
- Charcoal architectural roof shingles.
- 1.5"-2" black powder-coated metal pipe rail on porch and stairs.

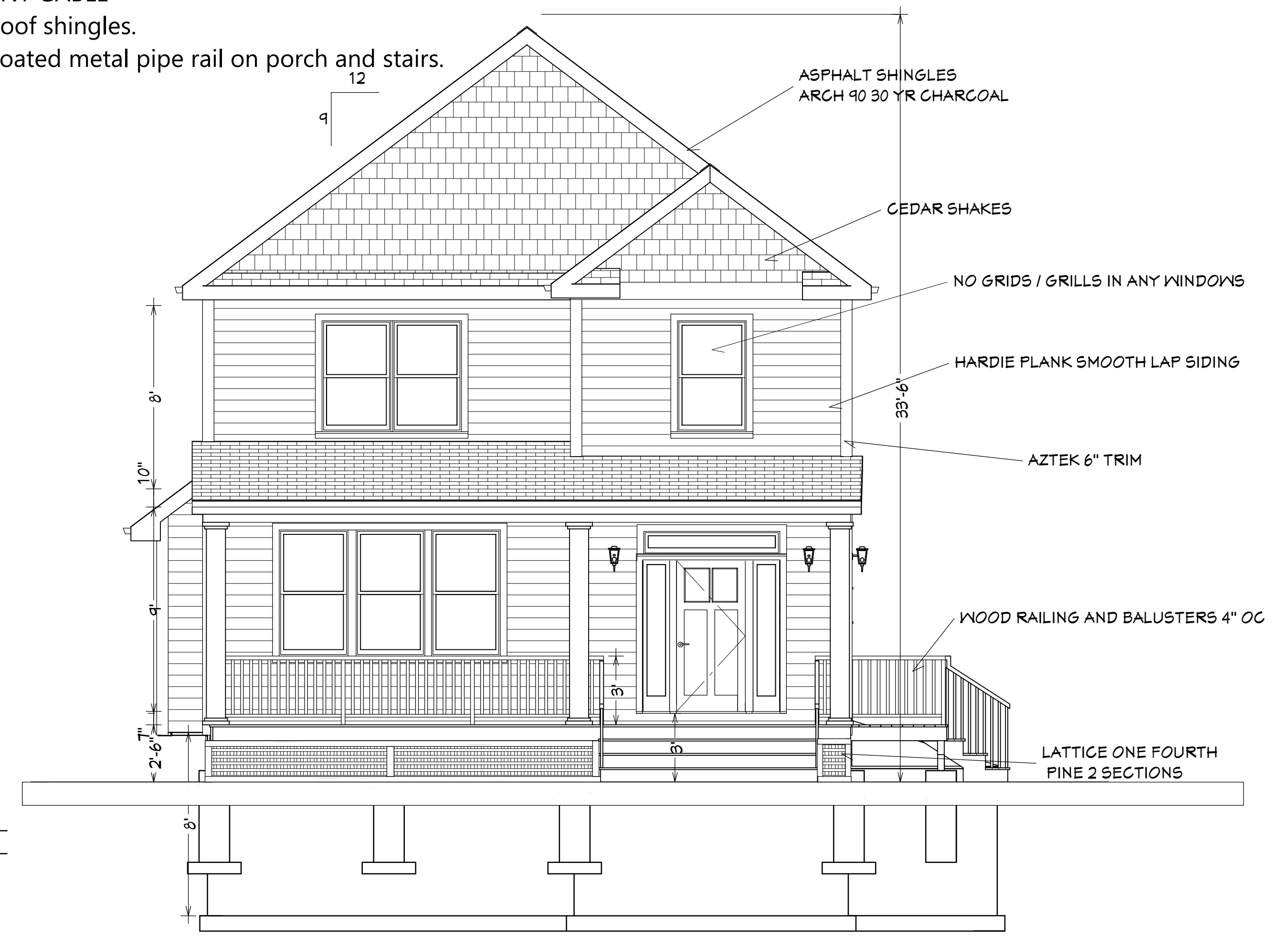
To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. LAURA'S HOME DRAFTING AND DESIGN is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



**REAR ELEVATION 1/4"=1'0"**



**RIGHT ELEVATION 1/4"=1'0"**



**FRONT ELEVATION 1/4"=1'0"**

REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

DRAWING PREPARED FOR  
**DJUAN BARKLOW**  
**WESTMINISTER ST**  
**SPRINGFIELD MA**

**ELEVATIONS**

DRAWINGS PROVIDED BY  
 LAURA'S HOME DRAFTING AND DESIGN  
 220 TAYLOR ST, GRANBY, MA 01033 413-467-2899  
 BUILDING CODES REFERENCED:  
 TENTH EDITION CMR100  
 2021 INTERNATIONAL RESIDENTIAL CODE

DATE:

5/13/2026

SCALE:

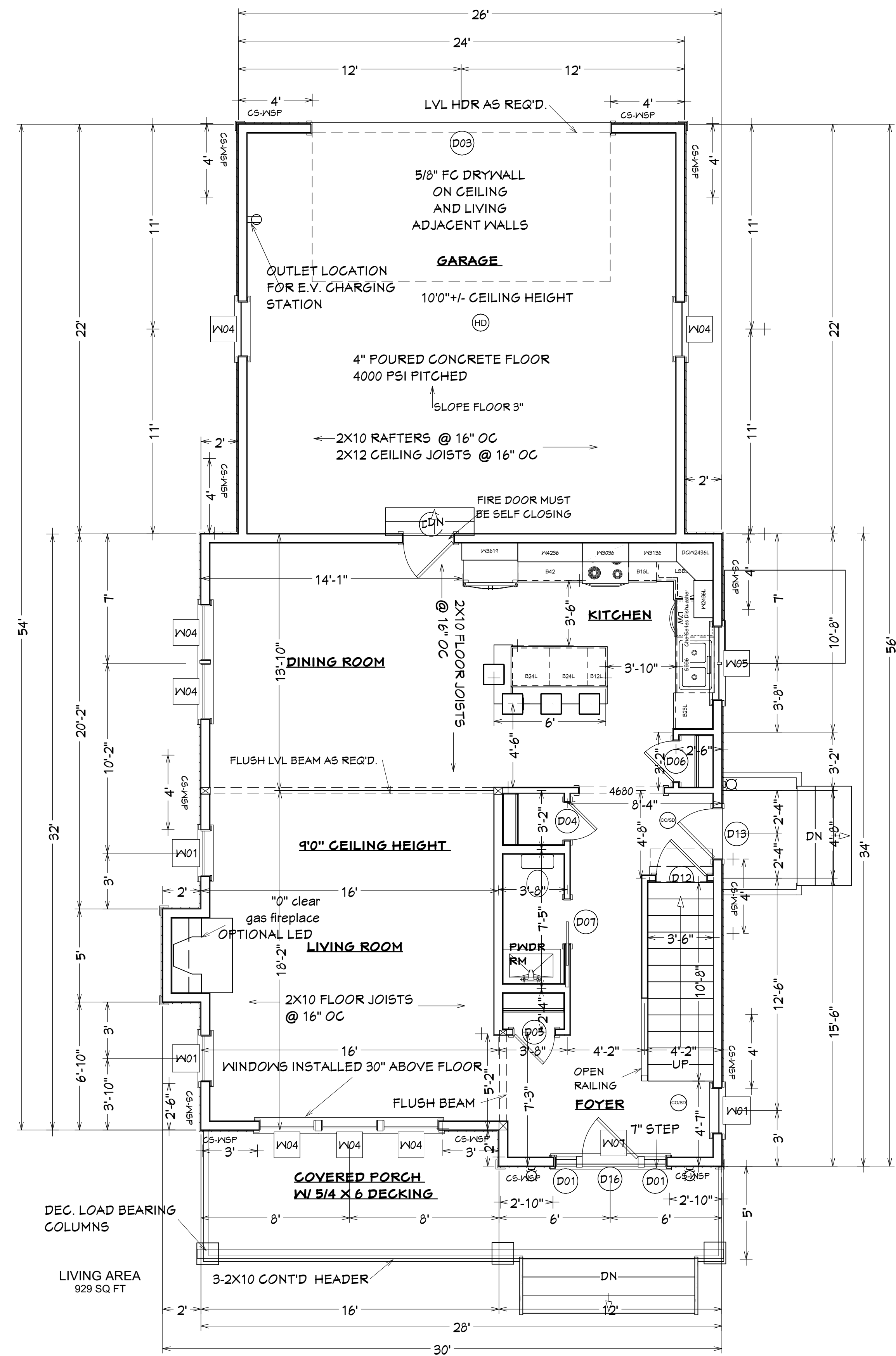
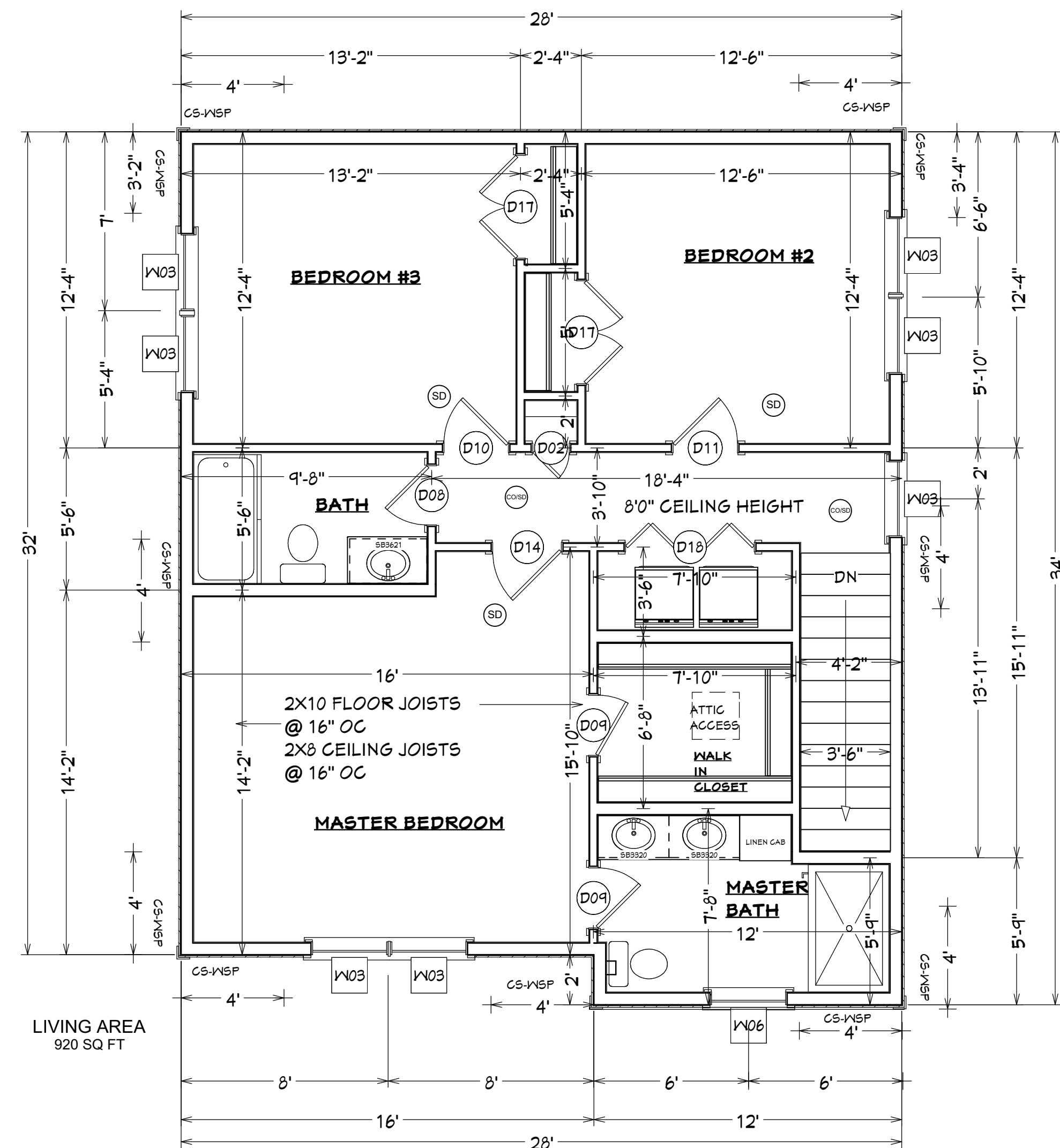
1/4"=1'0"

SHEET:

**P-1**

WINDOW SCHEDULE										
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER
W01	2626AW	3	1	2626AW	30"	30"	32"X32"		SINGLE AWNING	2X10X35" (2)
W02	2816LS	3	0	2816LS	32"	18"	34"X20"		LEFT SLIDING	2X10X34" (2)
W03	30410DH	7	2	30410DH	36"	58"	38"X60"		DOUBLE HUNG	2X10X41" (2)
W04	3056DH	7	1	3056DH	36"	66"	38"X68"		DOUBLE HUNG	2X10X41" (2)
W05	4040DC	1	1	4040DC	48"	48"	50"X50"		DOUBLE CASEMENT-LHL/RHR	2X10X53" (2)
W06	30410DH TEMP GLASS	1	2	30410DH	36"	58"	38"X60"		DOUBLE HUNG	2X10X41" (2)
W07	70 X 12 TRANSOM	1	1	51110FX	71 1/4"	12"	73 1/4"X14"		FIXED GLASS	2X10X76 1/4" (2)

DOOR SCHEDULE										
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	THICKNESS
D01	1268	2	1	1268 EX	14"	80"	16"X83"	EXT. FIXED-GLASS PANEL	2X10X19" (2)	1 3/4"
D02	1568	1	2	1568 R IN	16 15/16"	80"	18 15/16"X82 1/2"	HINGED-DOOR P04	2X10X21 15/16" (2)	1 3/8"
D03	16080	1	1	16080	192"	96"	194"X99"	GARAGE-GARAGE DOOR CHD06	2X13X200" (2)	1 3/4"
D04	2068	1	1	2068 L IN	24"	80"	26"X82 1/2"	HINGED-DOOR P04	2X10X29" (2)	1 3/8"
D05	2268	1	1	2268 R IN	26"	80"	28"X82 1/2"	HINGED-DOOR P04	2X10X31" (2)	1 3/8"
D06	2268	1	1	2268 L IN	26"	80"	28"X82 1/2"	HINGED-DOOR P04	2X10X31" (2)	1 3/8"
D07	2468	1	1	2468 L	28"	80"	28"X82 1/2"	HINGED-DOOR P04	2X10X31" (2)	1 3/8"
D08	2468	1	2	2468 R IN	27 5/8"	80"	29 5/8"X82 1/2"	POCKET-DOOR P04	2X10X60 1/4" (2)	1 3/8"
D09	2468	2	2	2468 R IN	28"	80"	30"X82 1/2"	HINGED-DOOR P04	2X10X33" (2)	1 3/8"
D10	2668	1	2	2668 R IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X10X35" (2)	1 3/8"
D11	2668	1	2	2668 L IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X10X35" (2)	1 3/8"
D12	2868	1	1	2868 R IN	32 3/16"	80"	34 3/16"X82 1/2"	HINGED-DOOR P04	2X10X37 3/16" (2)	1 3/8"
D13	2868	1	1	2868 L EX	32"	80"	34"X83"	EXT. HINGED-DOOR E06	2X10X37" (2)	1 3/4"
D14	2868	1	2	2868 L IN	32"	80"	34"X82 1/2"	HINGED-DOOR P04	2X10X37" (2)	1 3/8"
D15	3068	1	0	3068 R IN	36"	80"	38"X82 1/2"	HINGED-DOOR P04	2X10X41" (2)	1 3/8"
D16	3068	1	1	3068 R EX	36"	80"	38"X83"	EXT. HINGED-DOOR E20	2X10X41" (2)	1 3/4"
D17	4068	2	2	4068 L/R IN	48"	80"	50"X82 1/2"	DOUBLE HINGED-DOOR P04	2X10X53" (2)	1 3/8"
D18	5068	1	2	5068 L/R	60"	80"	62"X82 1/2"	4 DR. BIFOLD-SLAB	2X10X65" (2)	1 3/8"
D19	3068 FIRE DR	1	1	2868 L EX	32"	80"	34"X83"	EXT. HINGED-DOOR E21	2X10X37" (2)	1 3/4"



REVISION TABLE	
NUMBER	DESCRIPTION

DRAWING PREPARED FOR  
**DJUAN BARKLOW**  
**WESTMINISTER ST**  
**SPRINGFIELD MA**

**FIRST FLOOR PLAN**  
**SECOND FLOOR PLAN**  
**WIN AND DR SCH**

DRAWINGS PROVIDED BY  
 LAURA'S HOME DRAFTING AND DESIGN  
 220 TAYLOR ST, GRANBY, MA 01033 413-467-2899  
 BUILDING CODES REFERENCED:  
 TENTH EDITION CMR100  
 2021 INTERNATIONAL RESIDENTIAL CODE

DATE:

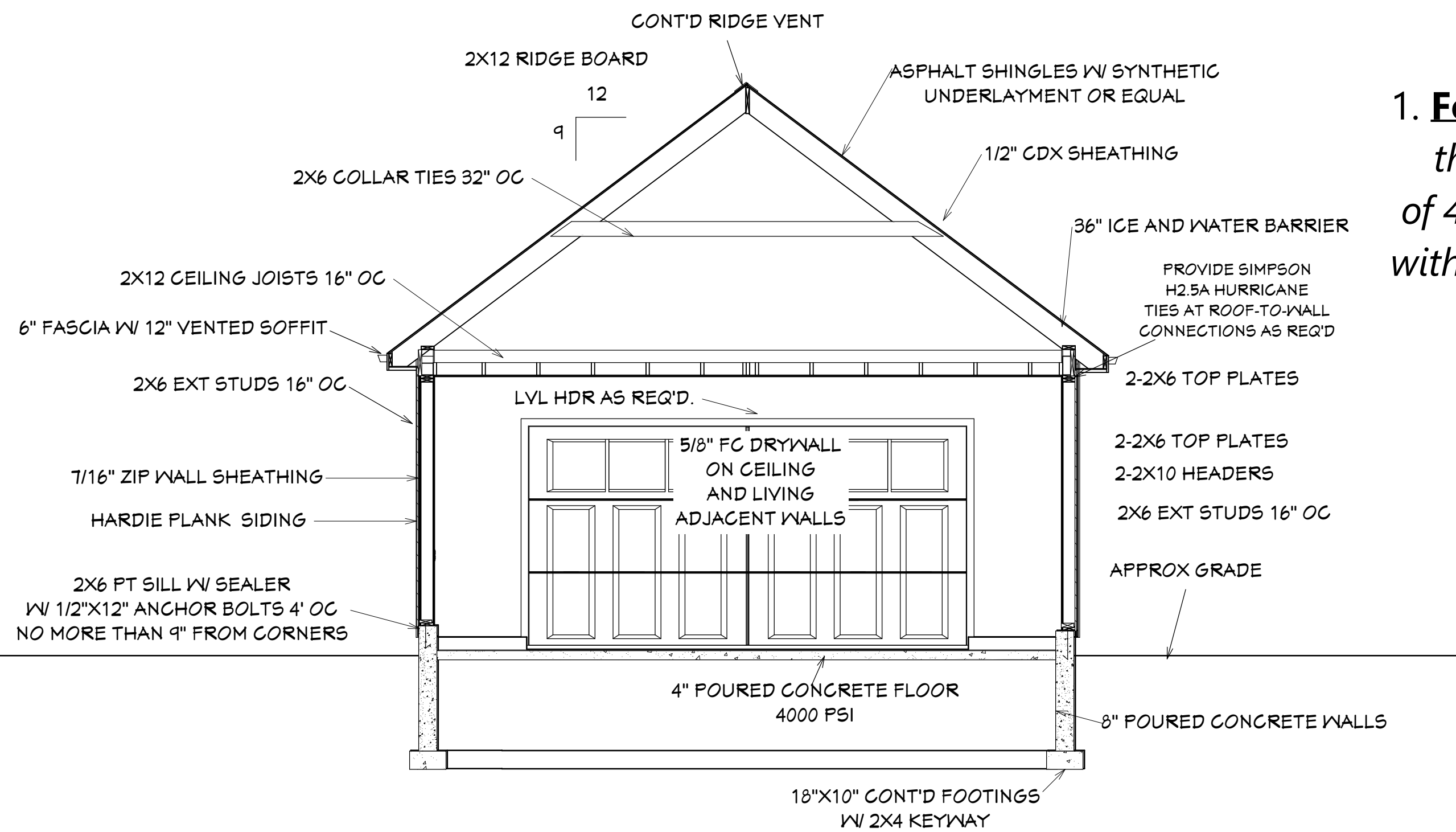
5/13/2026

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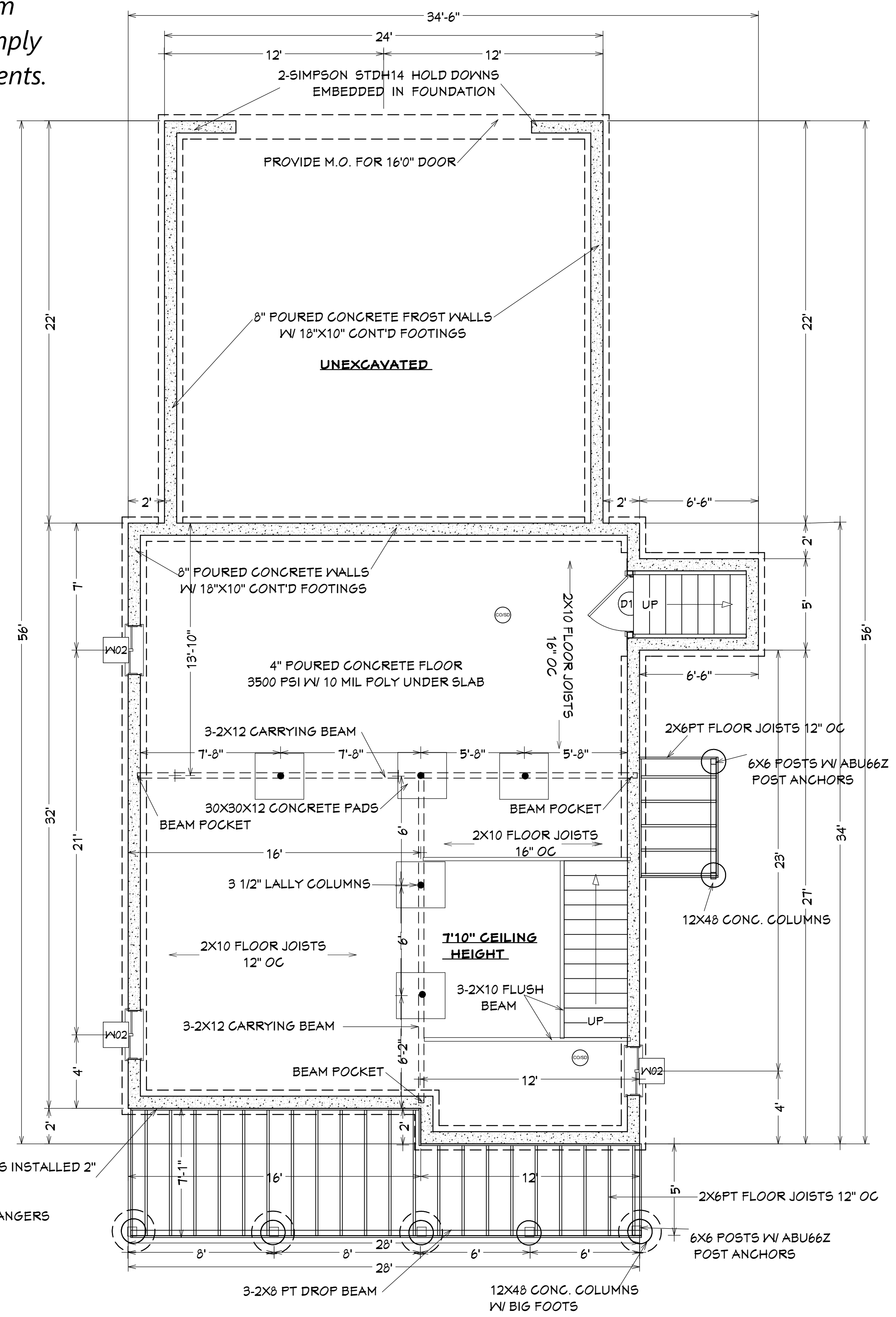
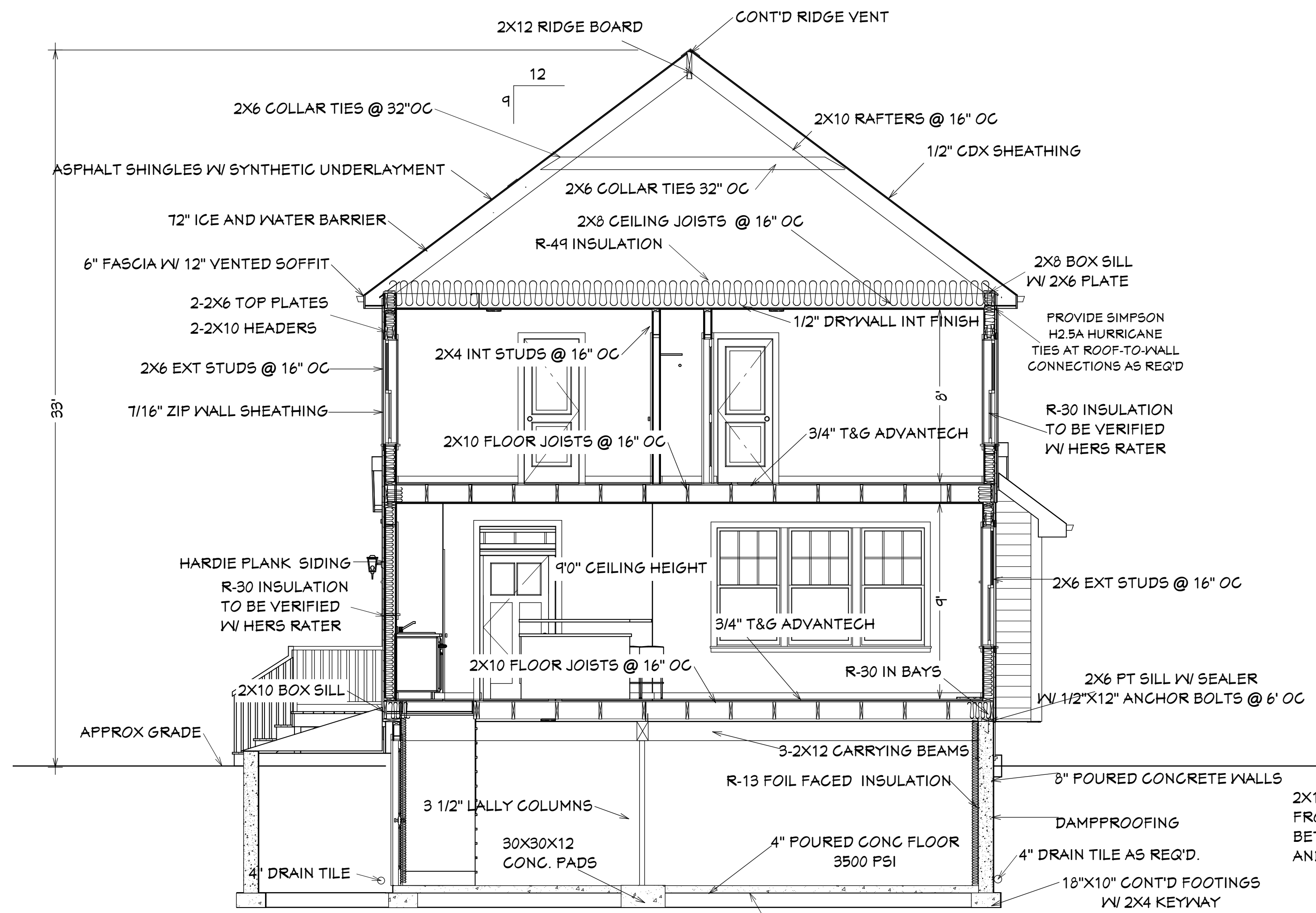
1/4"=1'0"

SHEET:

**P-2**



**1. Foundation Detail**  
*that all footings will extend a minimum of 48 inches below finished grade to comply with Massachusetts frost depth requirements.*



**NOTE : Mechanical Equipment**

- No equipment on the front facade.
- HVAC condensers located rear or minimally visible side elevation.
- Utility meters on side/rear.

REVISION TABLE	
NUMBER	DATE

DRAWING PREPARED FOR  
**DJUAN BARKLOW**  
**WESTMINISTER ST**  
**SPRINGFIELD MA**

**FOUNDATION PLAN**  
**CROSS SECTIONS**

DRAWINGS PROVIDED BY  
 LAURA'S HOME DRAFTING AND DESIGN  
 220 TAYLOR ST, GRANBY, MA 01033 413-467-2899  
 BUILDING CODES REFERENCED:  
 TENTH EDITION CMR780  
 2021 INTERNATIONAL RESIDENTIAL CODE

DATE:

5/13/2026

SCALE:

1/4"=1'0"

SHEET:

**P-3**

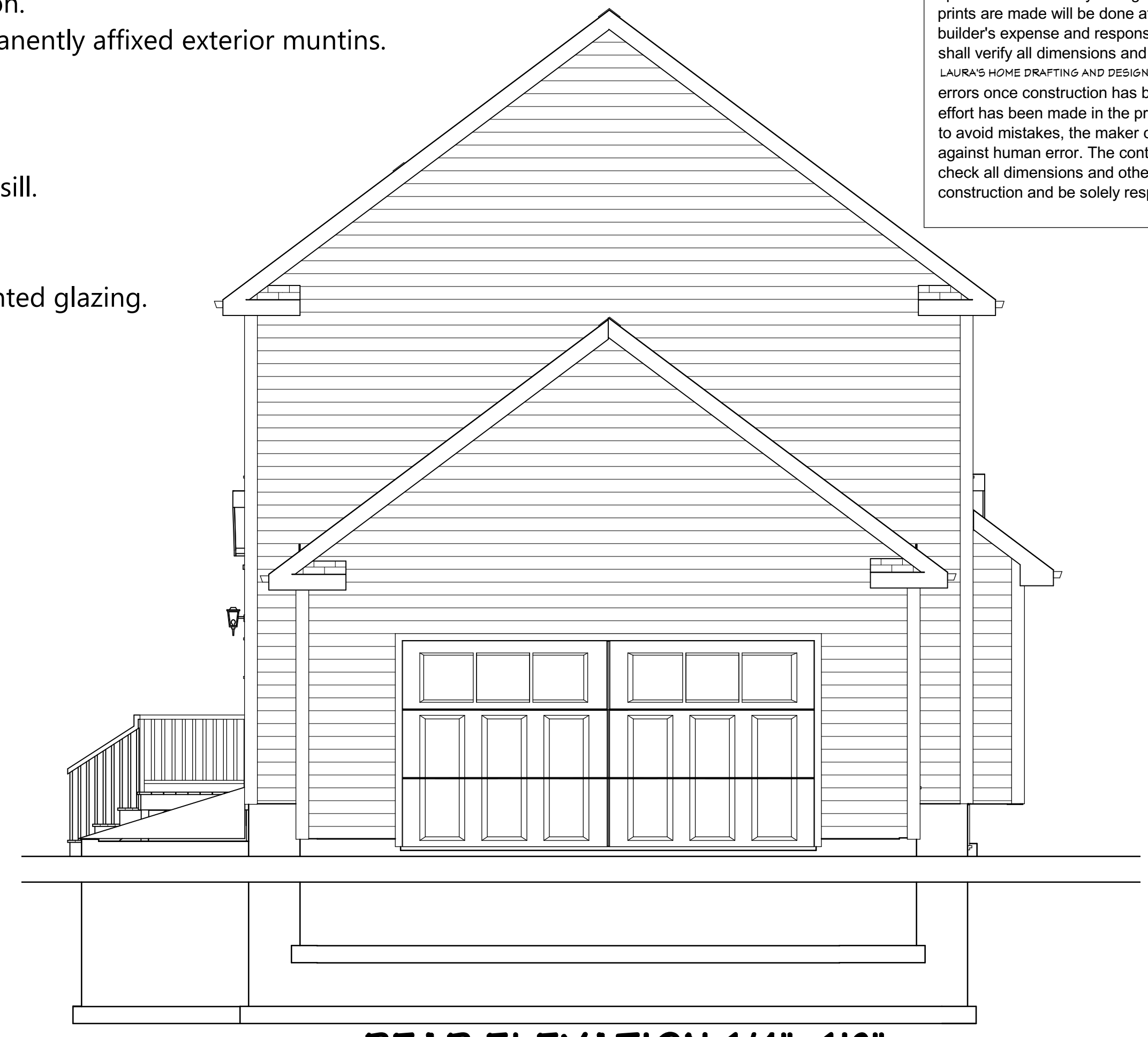
To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. LAURA'S HOME DRAFTING AND DESIGN is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

**Window Requirements**

- Double-hung 6-over-1 configuration.
- Simulated divided lights with permanently affixed exterior muntins.
- Spacer bars between panes.
- Grids on windows on the exterior.
- No resizing of window openings.
- Lower sash must sit directly on the sill.
- Paintable fiberglass.
- Matte black factory finish.
- Double-pane glass, no reflective/tinted glazing.



**LEFT ELEVATION 1/4"=1'0"**



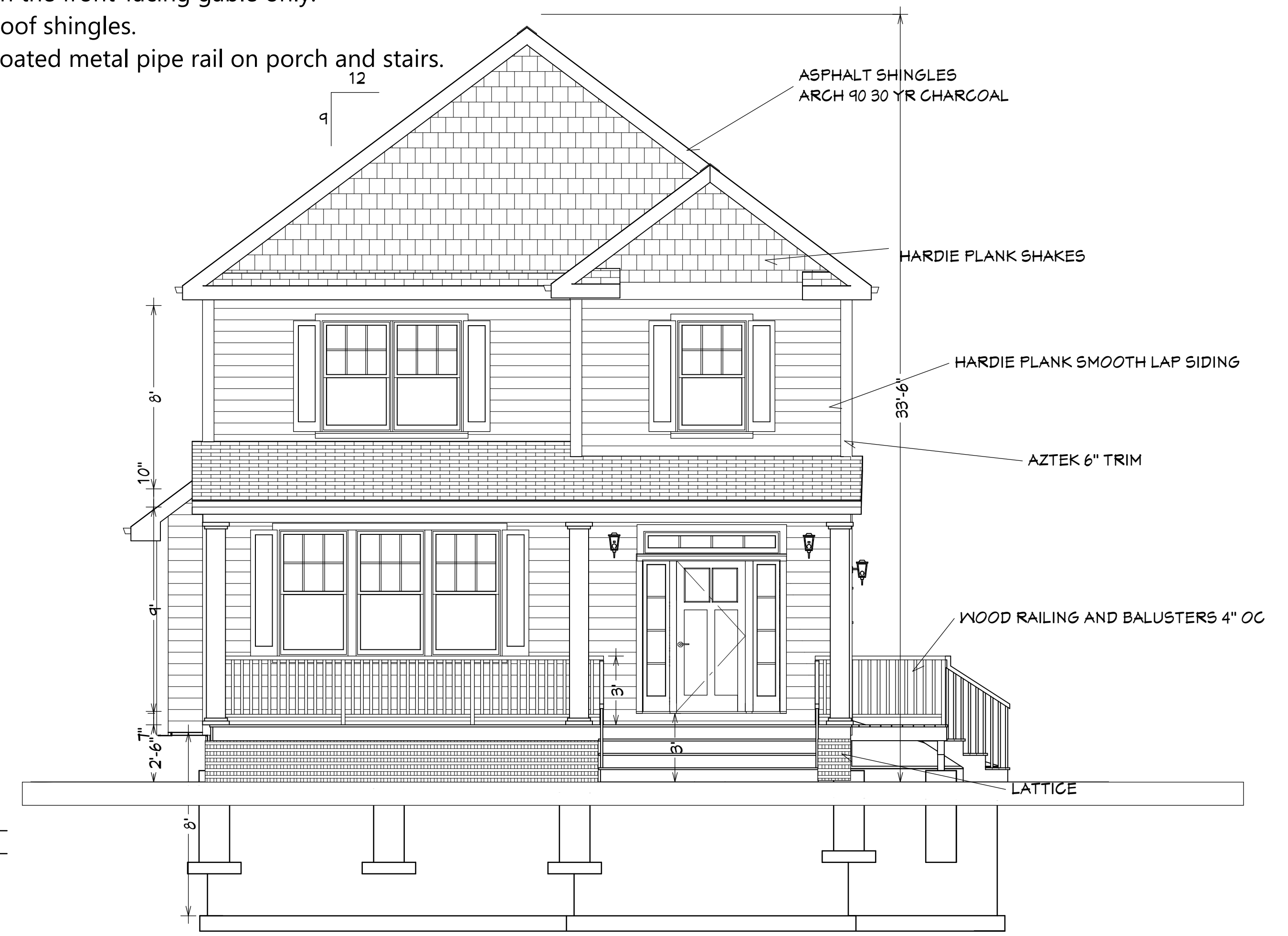
**REAR ELEVATION 1/4"=1'0"**

**Exterior Materials**

- Hardie Board smooth lap siding.
- Hardie Board shingles in the front-facing gable only.
- Charcoal architectural roof shingles.
- 1.5"-2" black powder-coated metal pipe rail on porch and stairs.



**RIGHT ELEVATION 1/4"=1'0"**



**FRONT ELEVATION 1/4"=1'0"**

REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

DRAWING PREPARED FOR  
**DJUAN BARKLOW**  
**WESTMINISTER ST**  
**SPRINGFIELD MA**

**ELEVATIONS**

DRAWINGS PROVIDED BY  
 LAURA'S HOME DRAFTING AND DESIGN  
 220 TAYLOR ST, GRANBY, MA 01033 413-467-2899  
 BUILDING CODES REFERENCED:  
 TENTH EDITION CMR780  
 2021 INTERNATIONAL RESIDENTIAL CODE

DATE:

4/12/2026

SCALE:

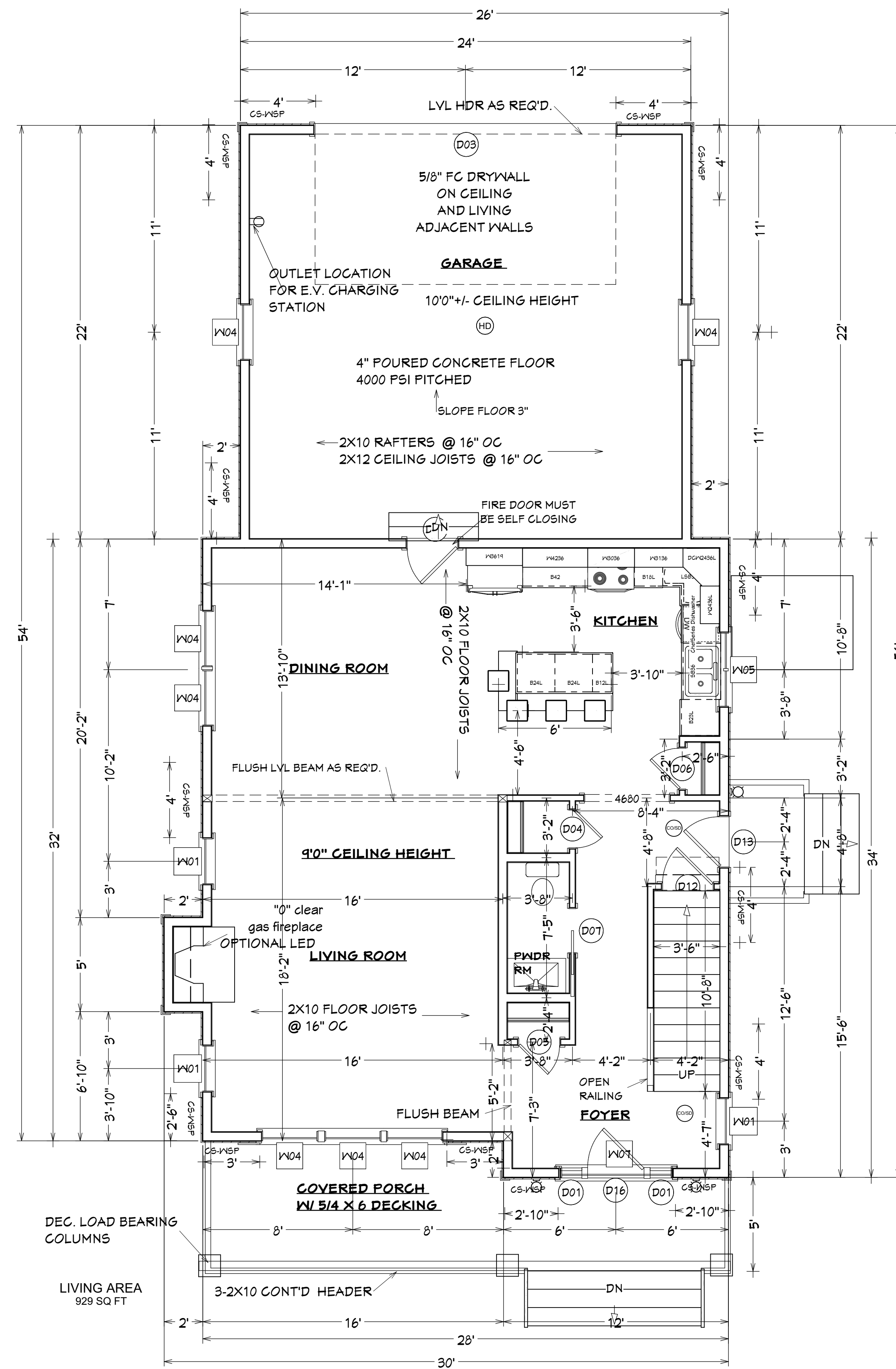
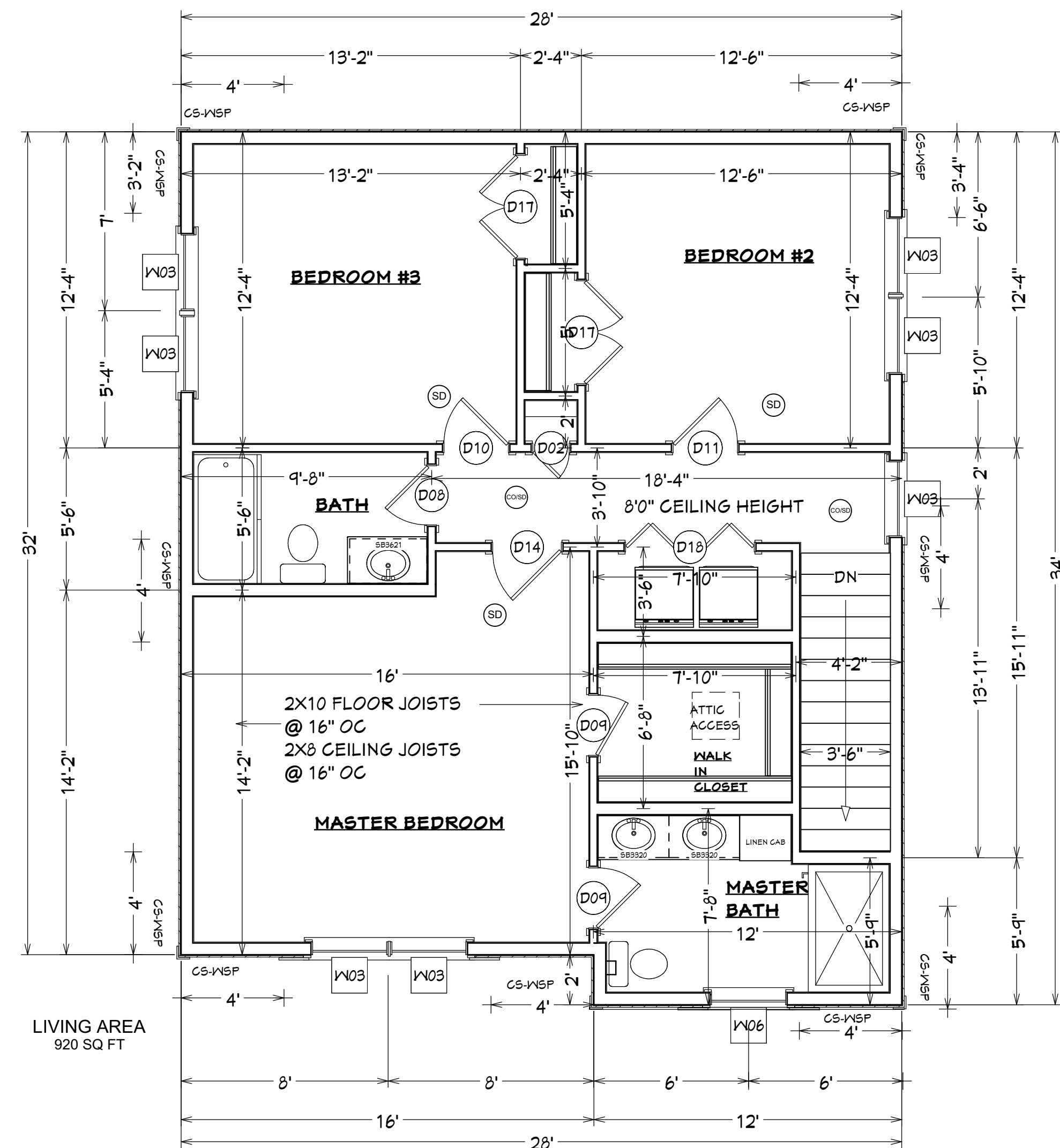
1/4"=1'0"

SHEET:

**P-1**

WINDOW SCHEDULE										
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER
W01	2626AW	3	1	2626AW	30"	30"	32"X32"		SINGLE AWNING	2X10X35" (2)
W02	2816LS	3	0	2816LS	32"	18"	34"X20"		LEFT SLIDING	2X10X34" (2)
W03	30410DH	7	2	30410DH	36"	58"	38"X60"		DOUBLE HUNG	2X10X41" (2)
W04	3056DH	7	1	3056DH	36"	66"	38"X68"		DOUBLE HUNG	2X10X41" (2)
W05	4040DC	1	1	4040DC	48"	48"	50"X50"		DOUBLE CASEMENT-LHL/RHR	2X10X53" (2)
W06	30410DH TEMP GLASS	1	2	30410DH	36"	58"	38"X60"		DOUBLE HUNG	2X10X41" (2)
W07	70 X 12 TRANSOM	1	1	51110FX	71 1/4"	12"	73 1/4"X14"		FIXED GLASS	2X10X76 1/4" (2)

DOOR SCHEDULE										
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	THICKNESS
D01	1268	2	1	1268 EX	14"	80"	16"X83"	EXT. FIXED-GLASS PANEL	2X10X19" (2)	1 3/4"
D02	1568	1	2	1568 R IN	16 15/16"	80"	18 15/16"X82 1/2"	HINGED-DOOR P04	2X10X21 15/16" (2)	1 3/8"
D03	16080	1	1	16080	192"	96"	194"X99"	GARAGE-GARAGE DOOR CHD06	2X13X200" (2)	1 3/4"
D04	2068	1	1	2068 L IN	24"	80"	26"X82 1/2"	HINGED-DOOR P04	2X10X29" (2)	1 3/8"
D05	2268	1	1	2268 R IN	26"	80"	28"X82 1/2"	HINGED-DOOR P04	2X10X31" (2)	1 3/8"
D06	2268	1	1	2268 L IN	26"	80"	28"X82 1/2"	HINGED-DOOR P04	2X10X31" (2)	1 3/8"
D07	2468	1	1	2468 L	28"	80"	28"X82 1/2"	HINGED-DOOR P04	2X10X31" (2)	1 3/8"
D08	2468	1	2	2468 R IN	27 5/8"	80"	29 5/8"X82 1/2"	POCKET-DOOR P04	2X10X60 1/4" (2)	1 3/8"
D09	2468	2	2	2468 R IN	28"	80"	30"X82 1/2"	HINGED-DOOR P04	2X10X33" (2)	1 3/8"
D10	2668	1	2	2668 R IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X10X35" (2)	1 3/8"
D11	2668	1	2	2668 L IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X10X35" (2)	1 3/8"
D12	2868	1	1	2868 R IN	32 3/16"	80"	34 3/16"X82 1/2"	HINGED-DOOR P04	2X10X37 3/16" (2)	1 3/8"
D13	2868	1	1	2868 L EX	32"	80"	34"X83"	EXT. HINGED-DOOR E06	2X10X37" (2)	1 3/4"
D14	2868	1	2	2868 L IN	32"	80"	34"X82 1/2"	HINGED-DOOR P04	2X10X37" (2)	1 3/8"
D15	3068	1	0	3068 R IN	36"	80"	38"X82 1/2"	HINGED-DOOR P04	2X10X41" (2)	1 3/8"
D16	3068	1	1	3068 R EX	36"	80"	38"X83"	EXT. HINGED-DOOR E20	2X10X41" (2)	1 3/4"
D17	4068	2	2	4068 L/R IN	48"	80"	50"X82 1/2"	DOUBLE HINGED-DOOR P04	2X10X53" (2)	1 3/8"
D18	5068	1	2	5068 L/R	60"	80"	62"X82 1/2"	4 DR. BIFOLD-SLAB	2X10X65" (2)	1 3/8"
D19	3068 FIRE DR	1	1	2868 L EX	32"	80"	34"X83"	EXT. HINGED-DOOR E21	2X10X37" (2)	1 3/4"



REVISION TABLE	
NUMBER	DESCRIPTION

DRAWING PREPARED FOR  
**DJUAN BARKLOW**  
**WESTMINISTER ST**  
**SPRINGFIELD MA**

**FIRST FLOOR PLAN**  
**SECOND FLOOR PLAN**  
**WIN AND DR SCH**

DRAWINGS PROVIDED BY  
 LAURA'S HOME DRAFTING AND DESIGN  
 220 TAYLOR ST, GRANBY, MA 01033 413-467-2899  
 BUILDING CODES REFERENCED:  
 TENTH EDITION CMR100  
 2021 INTERNATIONAL RESIDENTIAL CODE

DATE:

4/12/2026

SCALE:

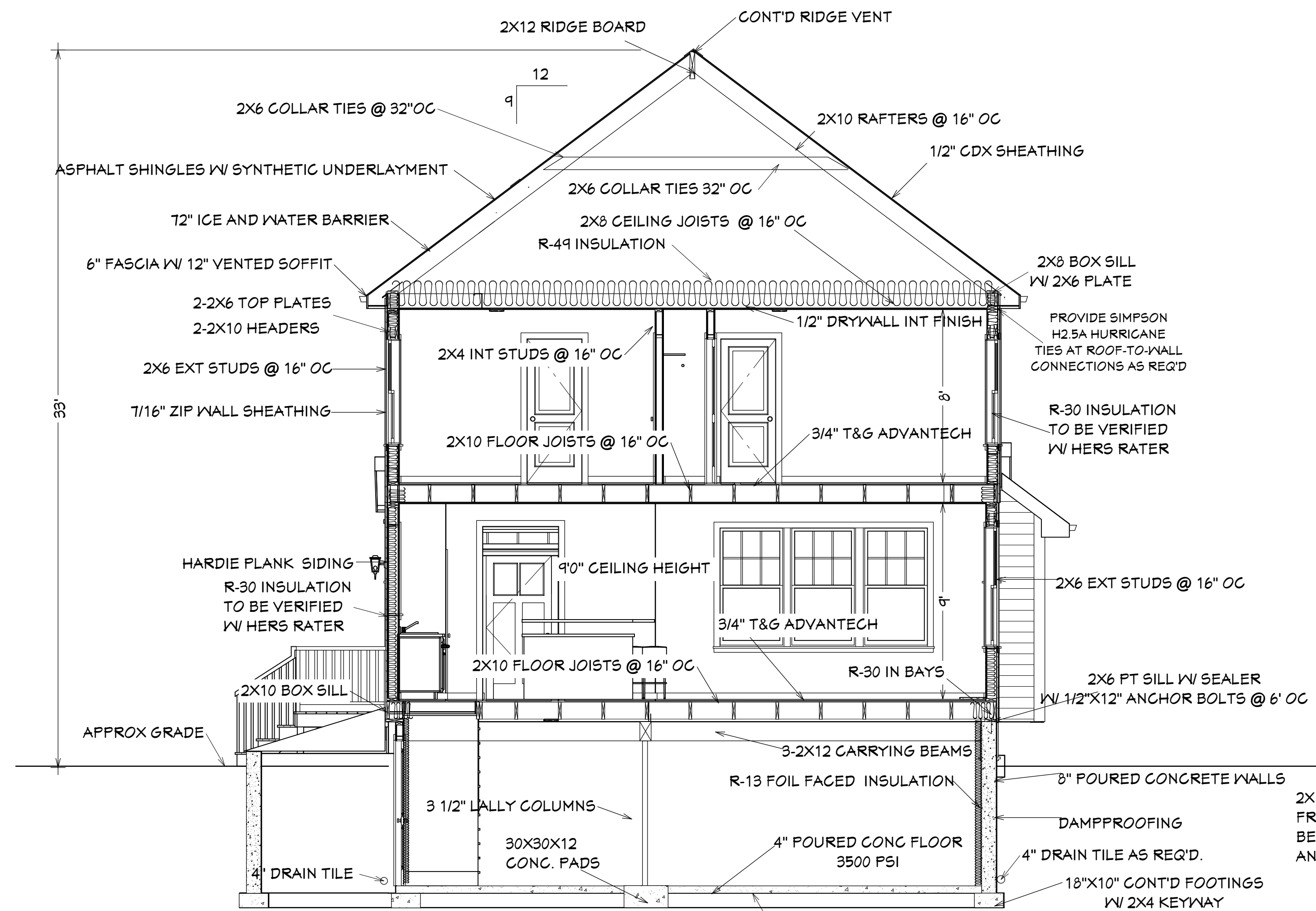
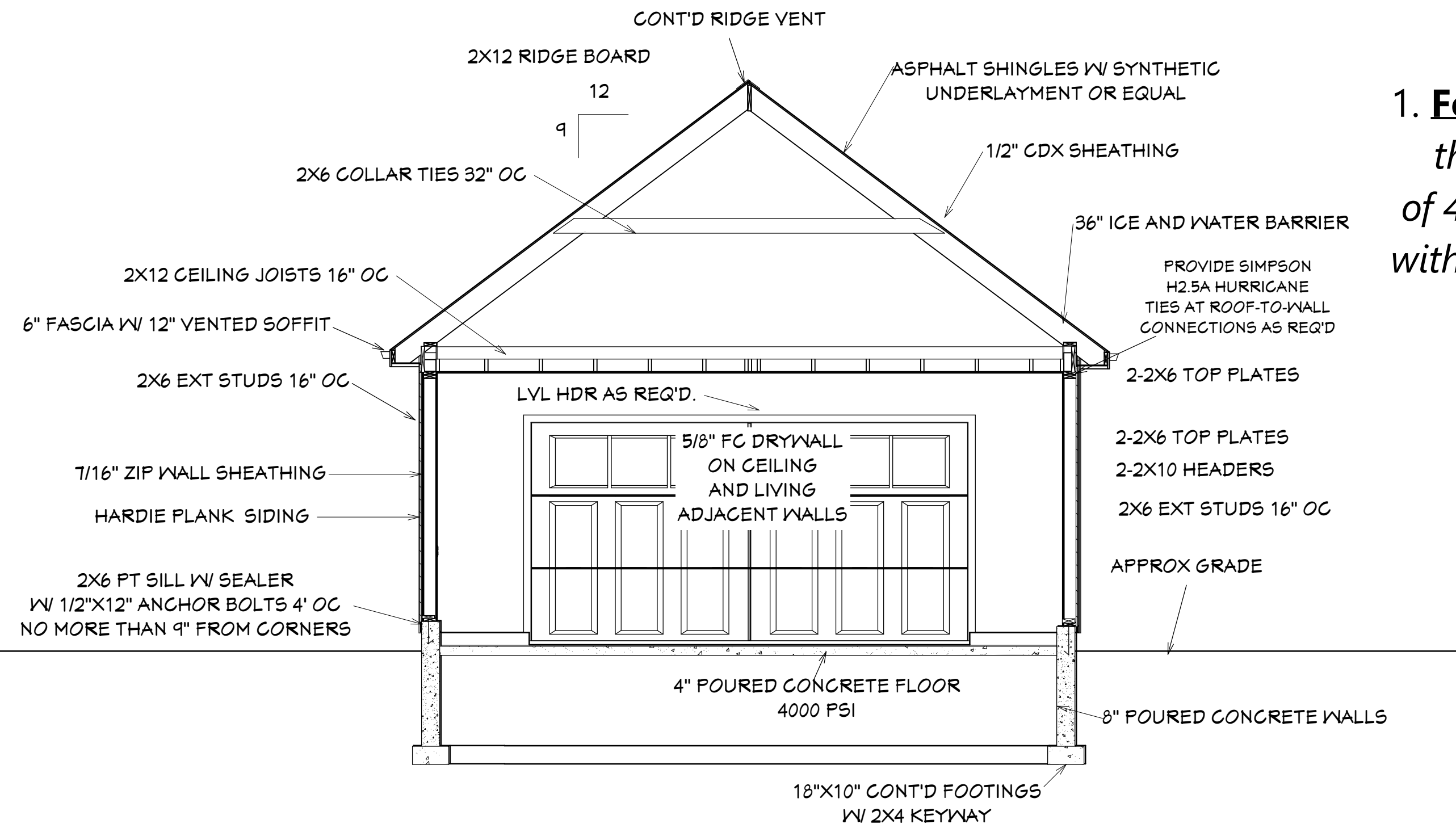
1/4"=1'0"

SHEET:

**P-2**

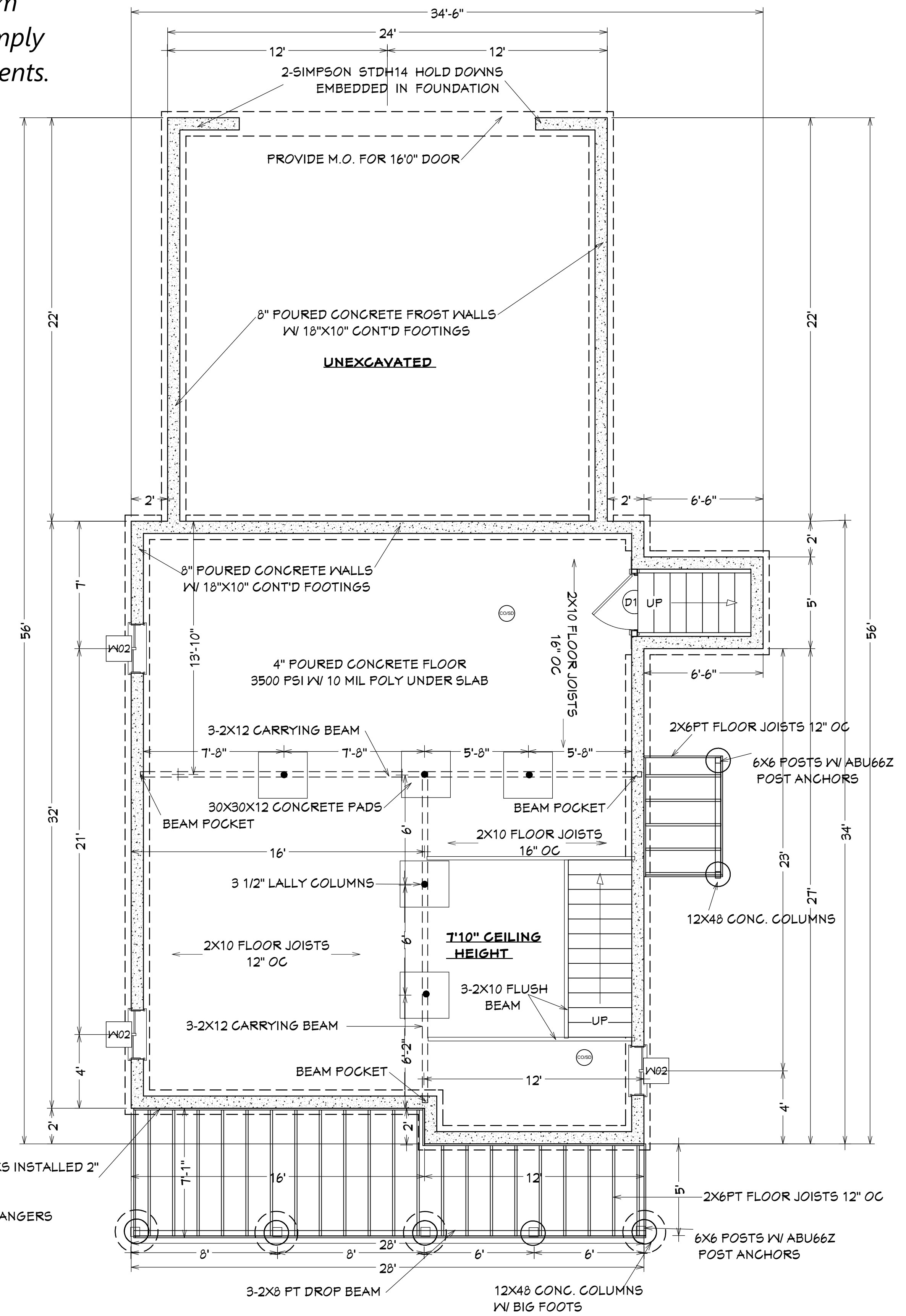
### 1. Foundation Detail

that all footings will extend a minimum of 48 inches below finished grade to comply with Massachusetts frost depth requirements.



#### NOTE : Mechanical Equipment

- No equipment on the front facade.
- HVAC condensers located rear or minimally visible side elevation.
- Utility meters on side/rear.



REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

DRAWING PREPARED FOR  
**DJUAN BARKLOW**  
**WESTMINISTER ST**  
**SPRINGFIELD MA**

### FOUNDATION PLAN CROSS SECTIONS

DRAWINGS PROVIDED BY  
 LAURA'S HOME DRAFTING AND DESIGN  
 220 TAYLOR ST, GRANBY, MA 01033 413-467-2899  
 BUILDING CODES REFERENCED:  
 TENTH EDITION CMR780  
 2021 INTERNATIONAL RESIDENTIAL CODE

DATE:

4/12/2026

SCALE:

1/4"=1'0"

SHEET:

P-3

4

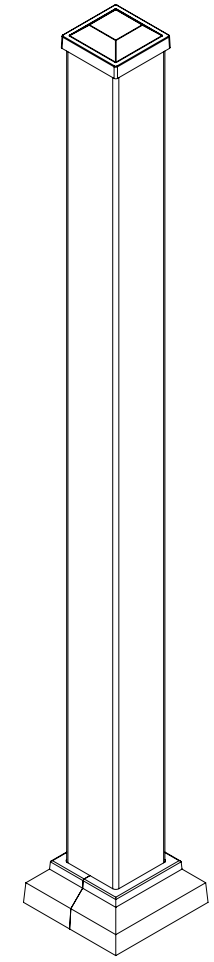
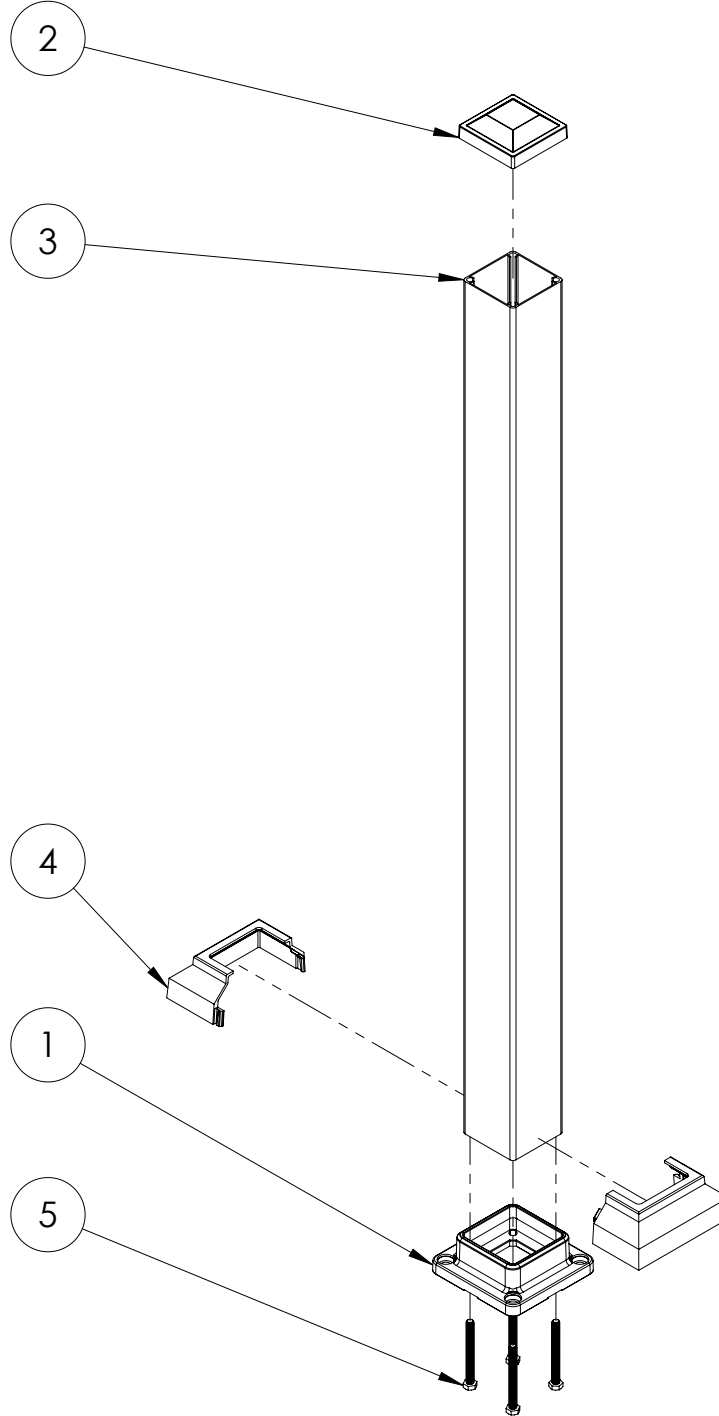
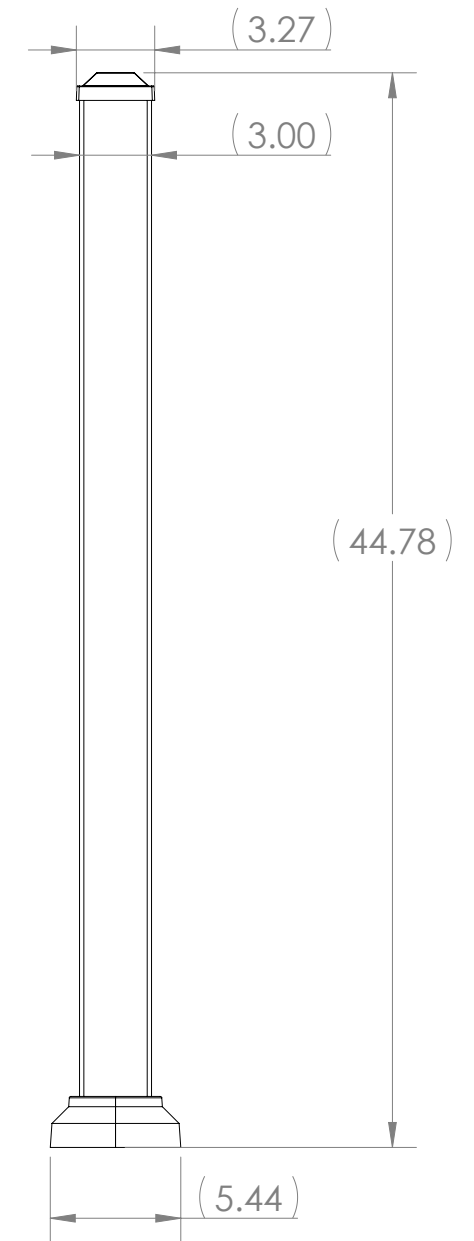
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2

1

ITEM NO.	PART NUMBER	DESCRIPTION	QTY.
1	BP04450	3" BASE PLATE	1
2	CC04430	3" POST CAP	1
3	PO843300	3" X 42" POST	1
4	BC015305	3" POST SKIRT	1
5	SS009880	M8 X 80 POST BOLT SS	4

REVISIONS - BALLOONS DENOTE CHANGES			
REV.	DESCRIPTION	DATE	APPROVED
A		02/03/2025	ZAG



NOTES:  
1. THIS IS FOR A 42" SYSTEM

UNLESS OTHERWISE SPECIFIED:		NAME	DATE	 <b>ARIA RAILING®</b> TITLE: <b>SHOP DRAWING, ARIA 3" X 42" DECK END POST</b>
DIMENSIONS ARE IN INCHES		DRAWN	VINH 02/03/25	
TOLERANCES:		CHECKED		
FRACTIONAL ±		ENG APPR.		
ANGULAR: MACH ± BEND ±		MFG APPR.		SIZE DWG. NO. REV
TWO PLACE DECIMAL ±		THIRD ANGLE PROJECTION:		<b>B</b>
THREE PLACE DECIMAL ±		MATERIAL		<b>A</b>
INTERPRET GEOMETRIC TOLERANCING PER:		FINISH		SCALE: 1:12 WEIGHT: SHEET 1 OF 1
DO NOT SCALE DRAWING		<b>PROPRIETARY AND CONFIDENTIAL</b> THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF ARIA RAILING. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF ARIA RAILING IS NOT PERMITTED.		

4

3

2

1

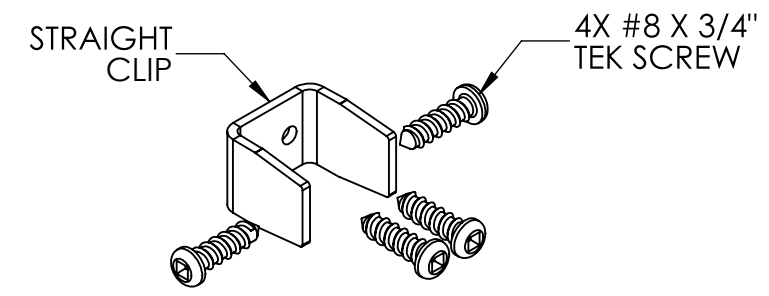
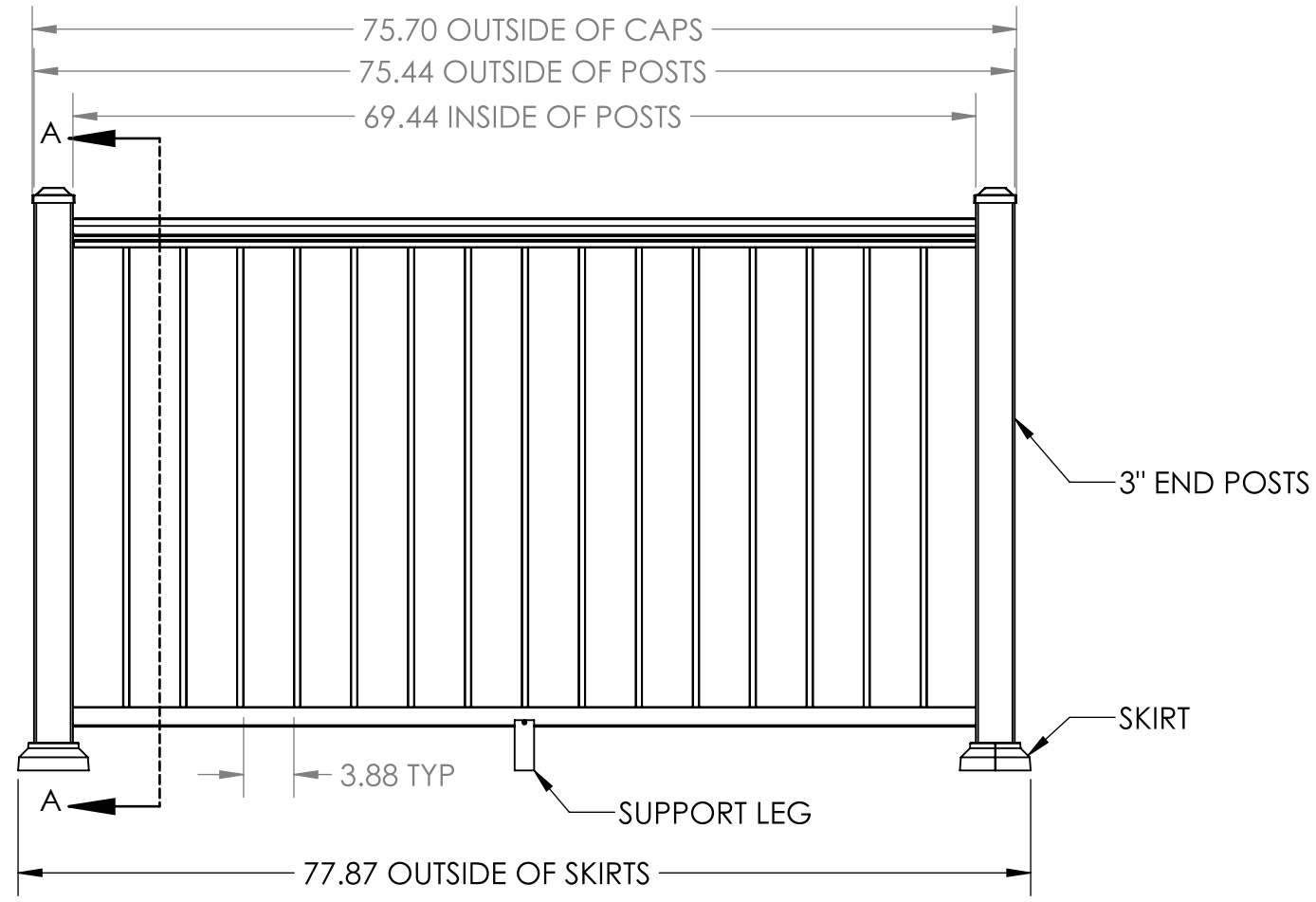
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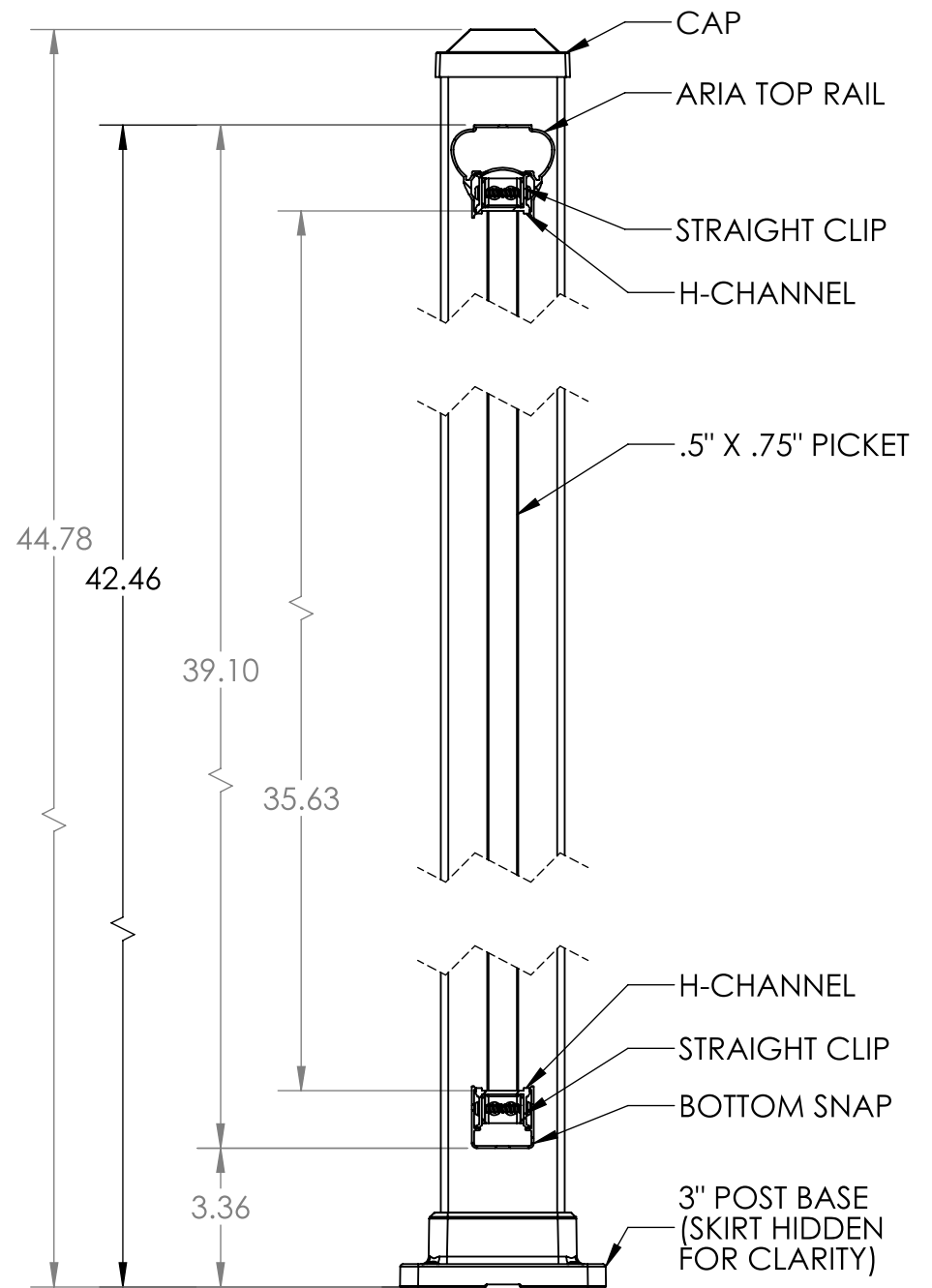
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REVISIONS - BALLOONS DENOTE CHANGES			
REV.	DESCRIPTION	DATE	APPROVED
A		5/19/2021	ZAG



4X CLIP DETAIL



SECTION A-A

NOTES:  
 1. ALL RAIL MUST BE ASSEMBLED AND FASTENED IN ACCORDANCE WITH INSTALLATION INSTRUCTIONS.  
 2. AVAILABLE COLORS ARE BLACK - WHITE - BRONZE.

UNLESS OTHERWISE SPECIFIED:		NAME	DATE
DIMENSIONS ARE IN INCHES		DRAWN	ZAG 5/19/21
TOLERANCES:		CHECKED	
SURFACE FINISH: 125 RMS		ENG APPR.	
ANGULAR: ±.5 DEG		MFG APPR.	
LINEAR: .X ±.02		INTERPRET GEOMETRIC TOLERANCING PER: ASME Y14.5-2009	
.XX ±.010		THIRD ANGLE PROJECTION:	
.XXX ±.005		MATERIAL	
FINISH		PROPRIETARY AND CONFIDENTIAL	
DO NOT SCALE DRAWING		THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF ARIA RAILING. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF ARIA RAILING IS NOT PERMITTED.	

		TITLE:	SHOP DRAWING, ARIA TOP RAIL, 3" END POSTS, 42" PICKETS, 6' SECTION
SIZE	DWG. NO.	REV	A
SCALE: 1:10 WEIGHT:		SHEET 1 OF 1	

4

3

2

1

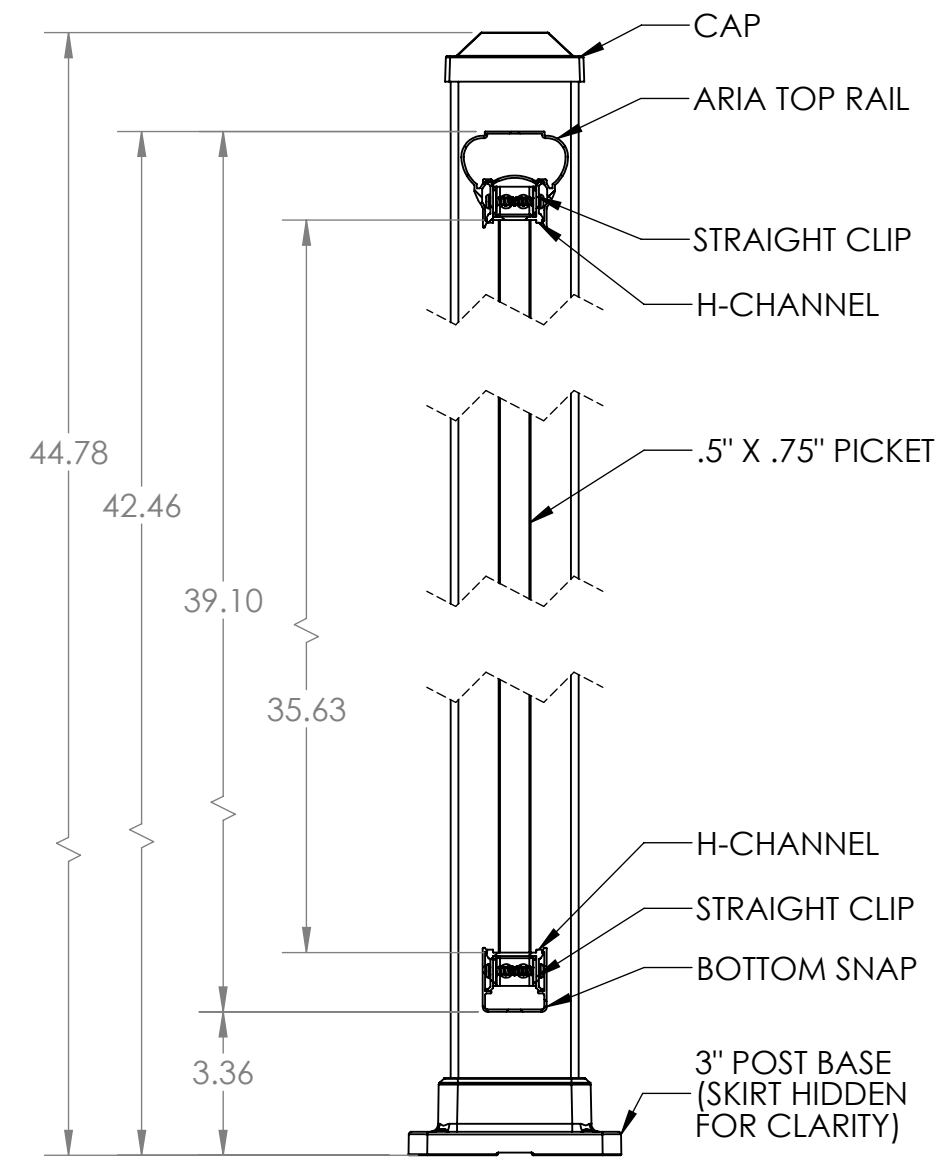
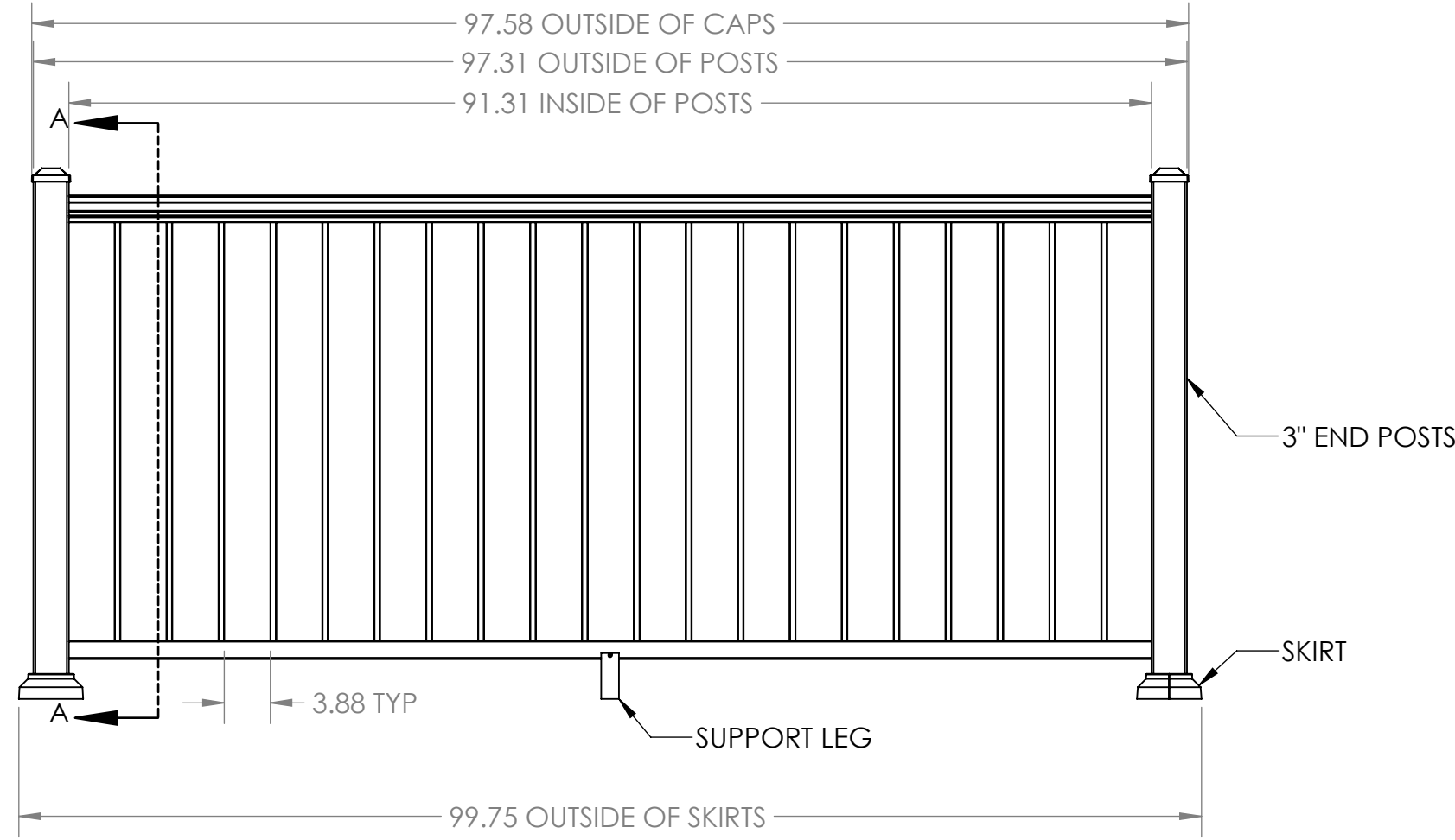
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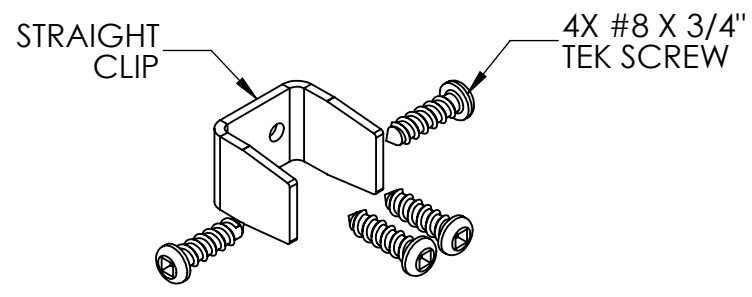
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REVISIONS - BALLOONS DENOTE CHANGES			
REV.	DESCRIPTION	DATE	APPROVED
A		8/8/2017	ZAG



SECTION A-A



4X CLIP DETAIL

NOTES:  
 1. ALL RAIL MUST BE ASSEMBLED AND FASTENED IN ACCORDANCE WITH INSTALLATION INSTRUCTIONS.  
 2. AVAILABLE COLORS ARE BLACK - WHITE - BRONZE.

UNLESS OTHERWISE SPECIFIED:		NAME	DATE		
DIMENSIONS ARE IN INCHES		DRAWN	ZAG		8/8/17
TOLERANCES:		CHECKED			
SURFACE FINISH: 125 RMS		ENG APPR.			
ANGULAR: ±.5 DEG		MFG APPR.			
LINEAR: .X ±.02		TITLE: SHOP DRAWING, ARIA TOP RAIL, 3" END POSTS, 42" PICKETS, 8' SECTION			
.XX ±.010		SIZE DWG. NO.		REV	
.XXX ±.005		B		A	
THIRD ANGLE PROJECTION:		PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF ARIA RAILING. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF ARIA RAILING IS NOT PERMITTED.			
MATERIAL		SCALE: 1:10 WEIGHT:		SHEET 1 OF 1	
FINISH					
DO NOT SCALE DRAWING					

4

3

2

1

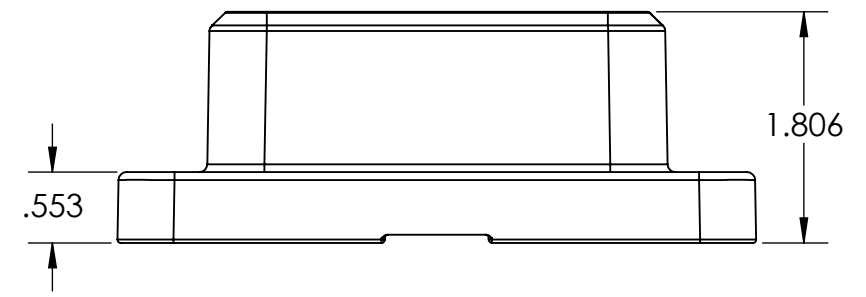
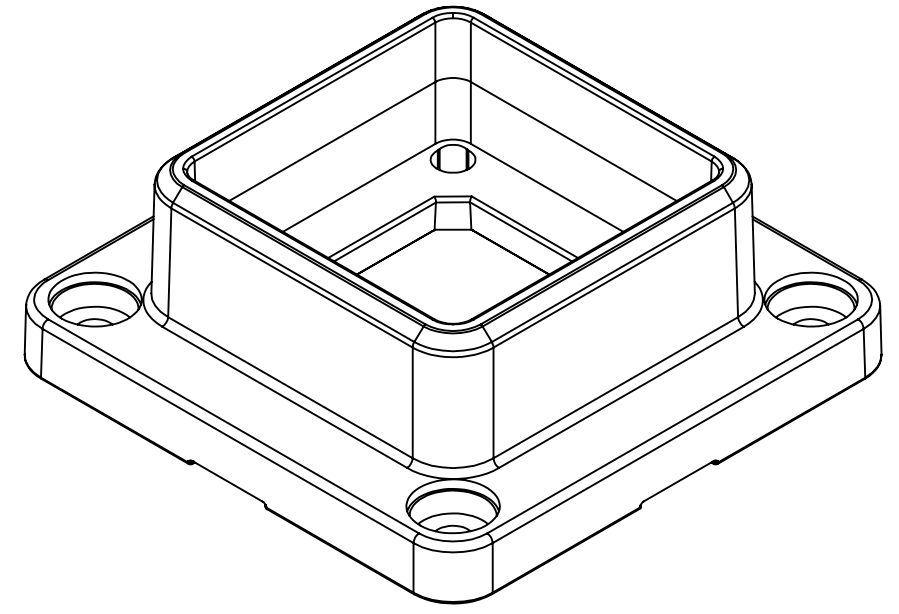
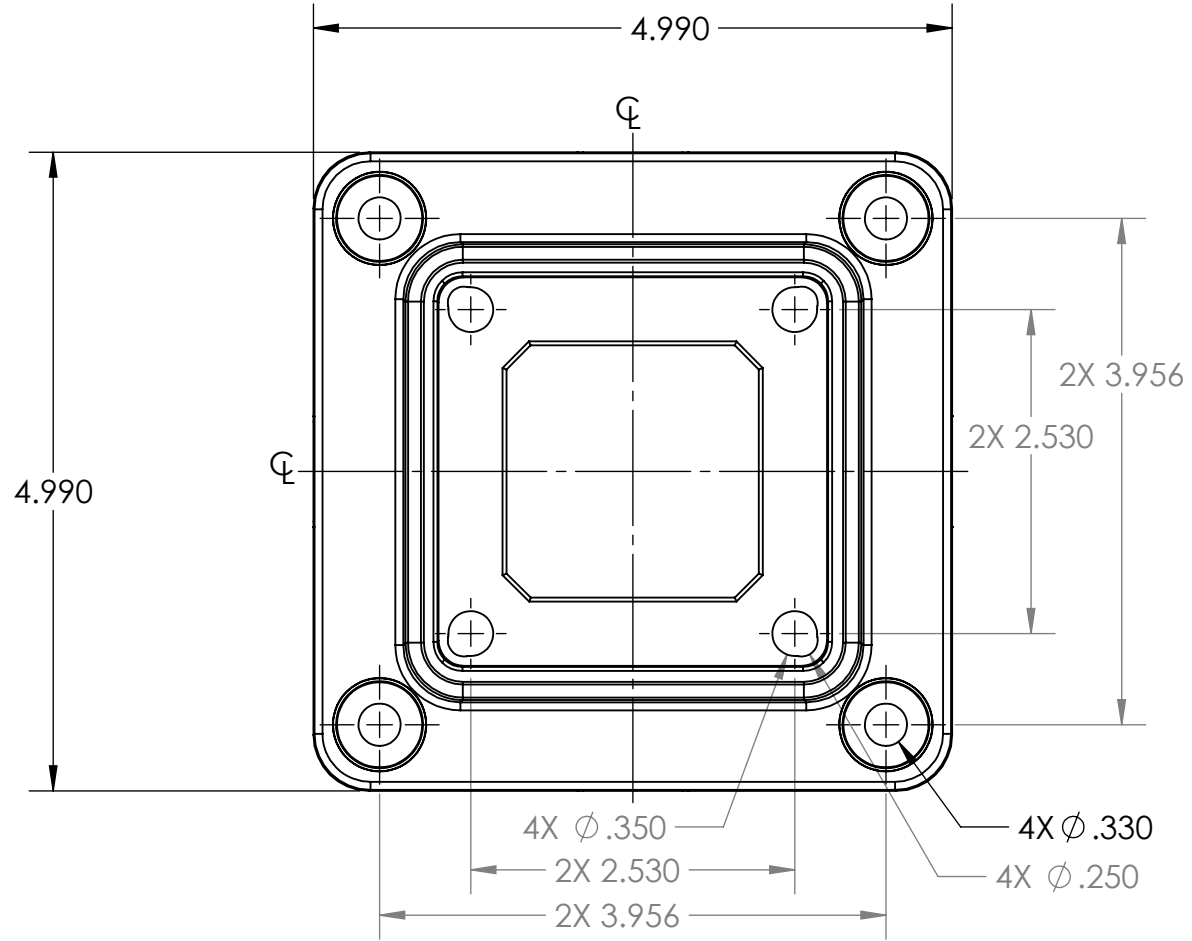
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3

2

1

REVISIONS - BALLOONS DENOTE CHANGES			
REV.	DESCRIPTION	DATE	APPROVED
C		4/11/2018	ZAG



UNLESS OTHERWISE SPECIFIED:		NAME	DATE	 TITLE: <b>GENERIC DRAWING,          3" POST BASE</b>
DIMENSIONS ARE IN INCHES		DRAWN	ZAG 4/11/18	
TOLERANCES:		CHECKED		
SURFACE FINISH: 125 RMS		ENG APPR.		
ANGULAR: $\pm$ .5 DEG		MFG APPR.		SIZE DWG. NO. REV <b>B BP04450 C</b>
LINEAR: .X $\pm$ .02		INTERPRET GEOMETRIC TOLERANCING PER: ASME Y14.5-2009		SCALE: 1:1.5WEIGHT: SHEET 1 OF 1
.XX $\pm$ .010		MATERIAL <b>A380 ALLOY</b>		
.XXX $\pm$ .005		FINISH DO NOT SCALE DRAWING		
THIRD ANGLE PROJECTION:		PROPRIETARY AND CONFIDENTIAL THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF ARIA RAILING. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF ARIA RAILING IS NOT PERMITTED.		

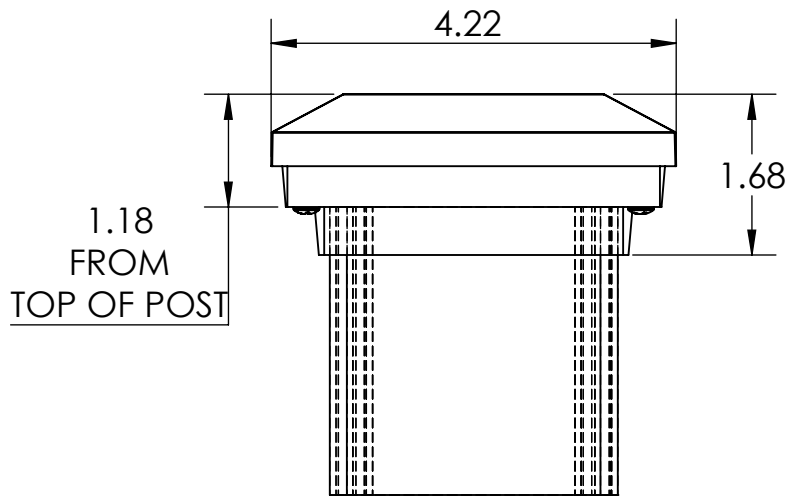
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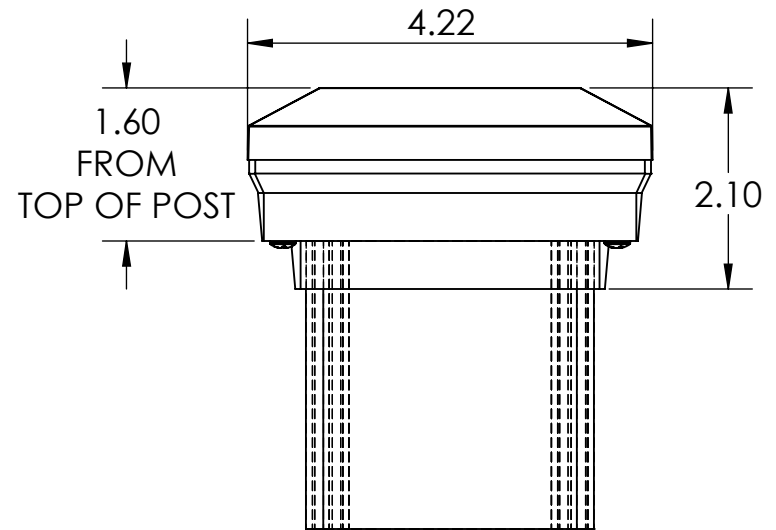
2

1

**LOW VOLTAGE WIRED  
3" INDIRECT  
POST CAP LIGHT**



**LOW VOLTAGE WIRED  
3" PERIMETER  
POST CAP LIGHT**



DIMENSIONS ARE IN INCHES  
TOLERANCES:  
SURFACE FINISH: 125 RMS  
ANGULAR: LINEAR: .X  
.5 DEG .02  
.XX  
.XXX .005

**PROPRIETARY AND CONFIDENTIAL**  
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PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION  
OF ARIA RAILING IS NOT PERMITTED.

**ARIA  
RAILING®**

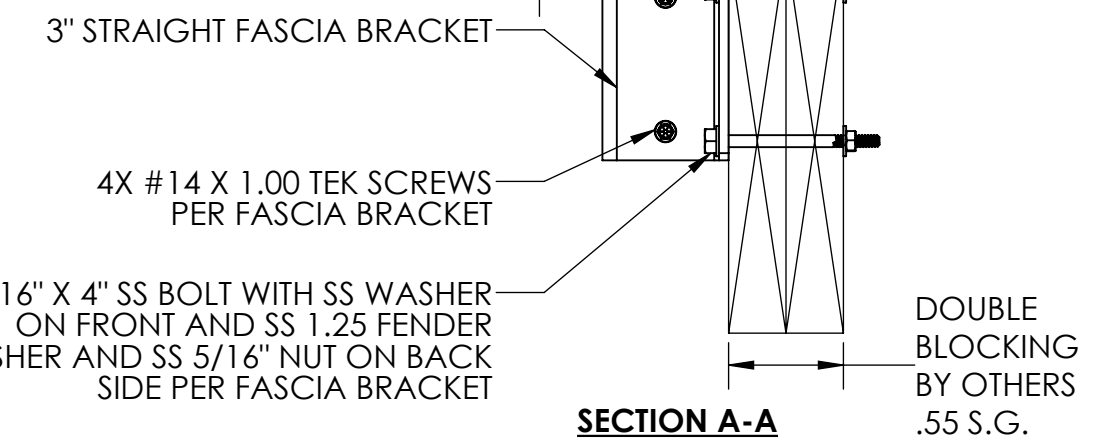
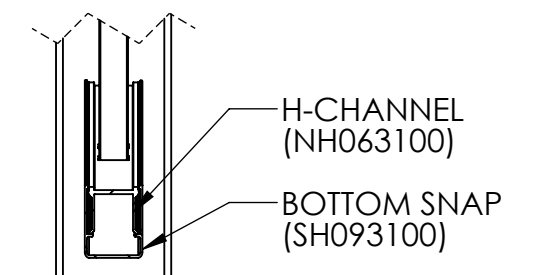
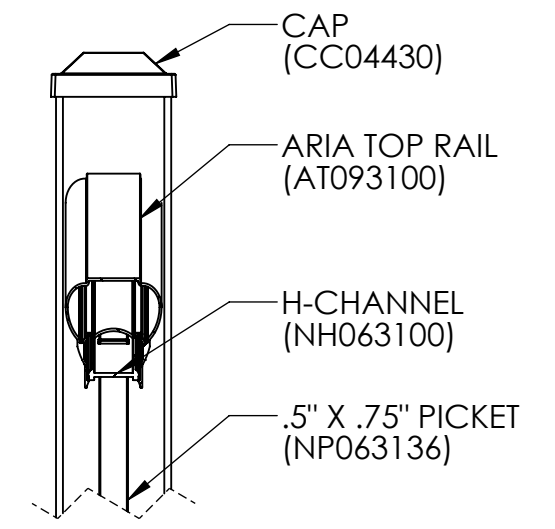
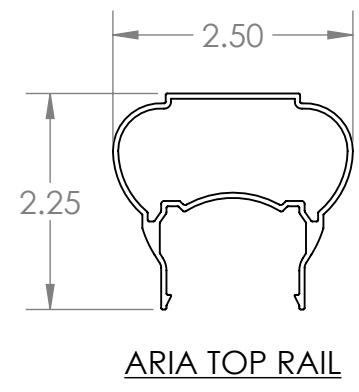
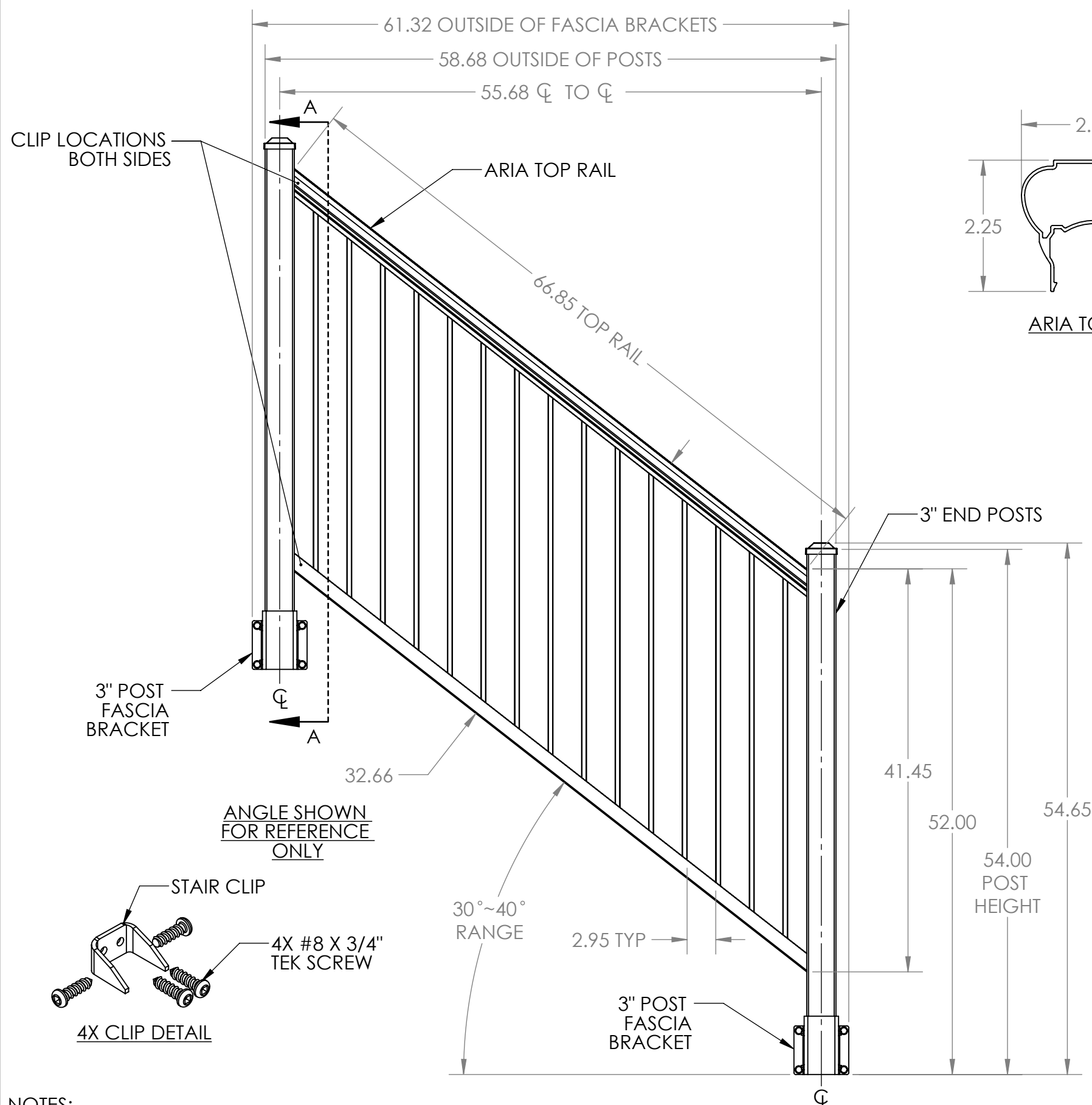
4

3

2

1

REVISIONS - BALLOONS DENOTE CHANGES			
REV.	DESCRIPTION	DATE	APPROVED
A		02/02/2026	ZACH



NOTES:  
 1. ALL RAIL MUST BE ASSEMBLED AND FASTENED IN ACCORDANCE WITH ARIA INSTALLATION INSTRUCTIONS.  
 2. AVAILABLE COLORS ARE BLACK - WHITE - BRONZE.

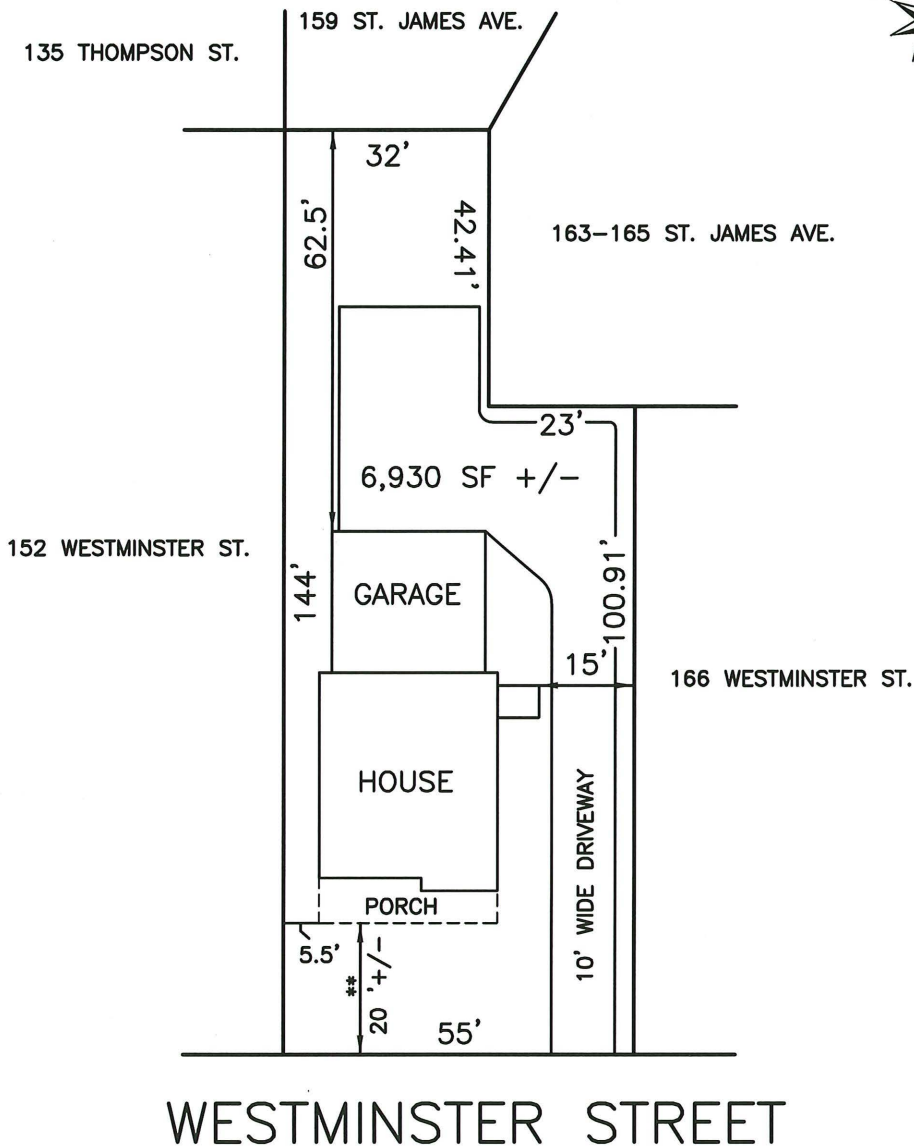
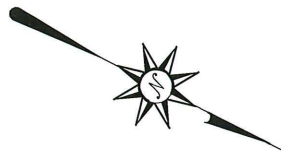
UNLESS OTHERWISE SPECIFIED:		NAME	DATE	
DIMENSIONS ARE IN INCHES		DRAWN	HUY 02/02/26	
TOLERANCES:		CHECKED		
SURFACE FINISH: 125 RMS		ENG APPR.		
ANGULAR: ±.5 DEG		MFG APPR.		TITLE:
LINEAR: .X ±.02				SHOP DRAWING,
.XX ±.010				STAIR PANEL, ARIA TOP RAIL,
.XXX ±.005				3" END POSTS - FASCIA MOUNT,
THIRD ANGLE PROJECTION:		INTERPRET GEOMETRIC TOLERANCING PER: ASME Y14.5-2009		42" PICKETS, 6' STAIR SECTION
MATERIAL	6063-T5	<b>PROPRIETARY AND CONFIDENTIAL</b> THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF UltraLox. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF UltraLox.		SIZE DWG. NO.
FINISH				REV <b>A</b>
DO NOT SCALE DRAWING		SCALE: 1:12 WEIGHT:		SHEET 1 OF 1

4

3

2

1

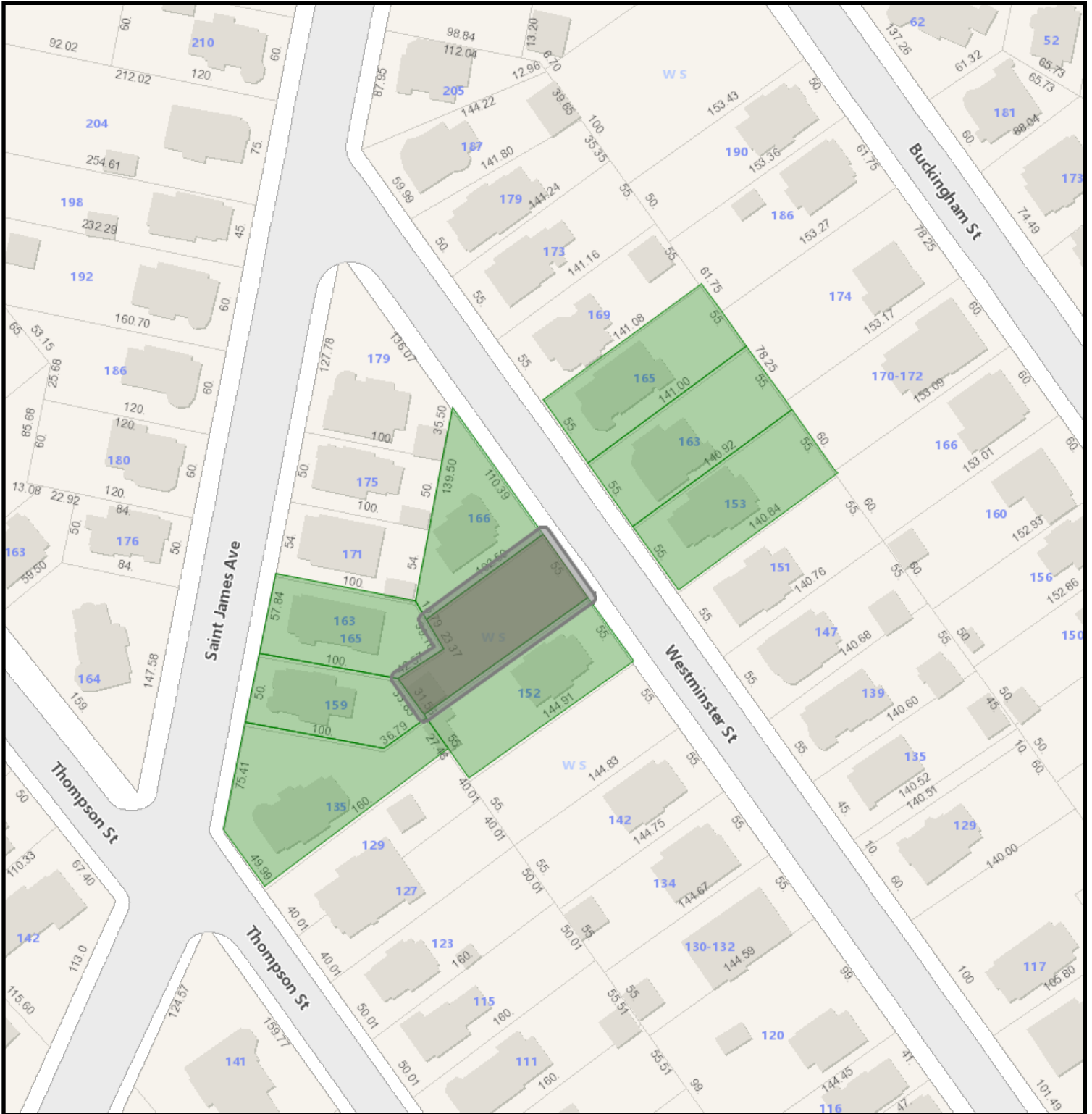


4-9-26

\*\*NOTE: FRONT SETBACK TO MATCH ADJACENT HOUSES

ZONE: RES A  
PID #122010032

OWNER: D&M REALTY AND INVESTMENTS LLC	PROPERTY LOCATION:
	WESTMINSTER STREET
HAMPDEN COUNTY REGISTRY OF DEEDS	SPRINGFIELD, MA
	DATE: APRIL 9, 2026
	SCALE: 1"=30'
DEED BOOK: 26156 PAGE: 291	PAUL S. SMITH LAND SURVEYING
	319 SHAKER ROAD EAST LONGMEADOW, MA
	(413) 525-4700

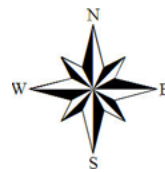


### WS Westminister Street GIS

4/21/2026 3:44:19 PM

Scale: 1"=100'

Scale is approximate



GIS information is provided on these Web Pages as a public resource for general information purposes only. It is used to locate, identify and inventory parcels of land in the City of Springfield for general purposes only and is NOT to be construed or used as a "legal description." Map and parcel information is believed to be accurate but accuracy is not guaranteed. No portion of the information should be considered to be, or used as, a legal document. The information is provided subject to the express condition that the user knowingly waives any and all claims for damages against the City of Springfield that may arise from the use of this data. Information provided on these Web Pages should be verified with the appropriate City department, and reviewed and approved by an attorney or other qualified professional prior to its use for any purpose with potential legal consequences.

122010031  
152 WESTMINSTER STREET  
23 INGERSOLL GROVE  
SPRINGFIELD, MA 01109

111700386  
AVILA CHRISTIAN G  
165 ST JAMES AVE  
SPRINGFIELD, MA 01109

122010044  
CRUZ ANGEL  
163 WESTMINSTER ST  
SPRINGFIELD, MA 01109

115250055  
CYNTHIA DIANE POTTER &  
135 THOMPSON ST  
SPRINGFIELD, MA 01109

122010032  
DB INVESTMENTS AND  
20 CORTLAND ST  
SPRINGFIELD, MA 01109

122010045  
JEAN-EBIAN QUETTY C  
153 WESTMINSTER ST  
SPRINGFIELD, MA 01109

111700387  
LEPINE DAVID & ROGER  
159 ST JAMES AVE  
SPRINGFIELD, MA 01109

122010035  
MCDOWELL LATTOY F & ALI  
166 WESTMINSTER ST  
SPRINGFIELD, MA 01109

122010043  
ROBINSON FRANK P III +  
10 PONDVIEW DR  
SPRINGFIELD, MA 01118



# Springfield Historical Commission



70 Tapley Street  
Springfield, MA 01104  
(413) 787-6020 (office)  
(413) 787-6524 (fax)

## APPLICATION CHECKLIST

**PROPERTY ADDRESS:** Parcel ID 02820-0055 Clarendon St Springfield MA 01109

Incomplete application will **NOT** be accepted and scheduled. A complete and valid application **MUST** contain the following information:

- 1) The type of Certificate the petitioner is seeking must be indicated (see Page 1);
- 2) The property owner's signature must appear on the application;
- 3) Relevant and applicable PHOTOGRAPHS, MATERIALS and PLANS specified on the Application

### CHECKLIST



#### APPLICATION

Please complete the attached application and **PROVIDE ADDITIONAL PAGES IF NEEDED.**



#### PICTURES OF EXISTING CONDITIONS

Please provide color photographs of the project area's current condition. For example, should the project pertain to replacing windows, provide a photograph of what the current windows looks like.



#### RENDERING OF PROPOSED PROJECT UPON COMPLETION

Please provide a rendering of what the project will look like upon completion. For some products, such as siding, windows, doors, solar powered panels, HVAC systems (including heat pumps), this may include product details from the manufacturer and/or store or a brochure. For paint color-related projects, a sample of the color may suffice. For new construction, renderings from an architect are required.



#### PRODUCT SPECIFICATIONS

Please provide specifications for any products (e.g. doors, windows, siding, solar powered panels, HVAC systems, etc.) to be utilized during the project. Project details from the manufacturer and/or store, or a brochure, will suffice. *If available, please bring physical samples of the product to the meeting date.*



#### LETTER OF AUTHORIZATION

If the landowner is unable to attend the hearing, correspondence shall be submitted that authorizes a representative to speak on their behalf about the application.

For more information, visit the City's website: [www.springfield-ma.gov/planning/historic-comm](http://www.springfield-ma.gov/planning/historic-comm) or call the Office: (413) 787-6020.

OFFICE USE ONLY	
LOCAL HISTORIC DISTRICT: McKnight	DECISION:
DATE RECEIVED: May 1, 2026	DECISION DATE:
HEARING DATE: May 21, 2026	DATE DISCUSSED (NO HEARING):
DATE NOTICE POSTED: May 7, 2026	WAIVED BY COMMISSION:
DATE NOTICE MAILED: May 7, 2026	WAIVED BY ABUTTERS:



# Springfield Historical Commission



70 Tapley Street  
Springfield, MA 01104  
(413) 787-6020 (office)  
(413) 787-6524 (fax)

## APPLICATION TYPE

**PROPERTY ADDRESS:** Parcel ID 02820-0055 Clarendon St Springfield MA 01109

### **APPLICATION TYPE** Certificate of Appropriateness



#### **CERTIFICATE OF APPROPRIATENESS**

Select this type of application for those changes that are in conformance with the guidelines and/or acceptable for the particular Local Historic District.



#### **CERTIFICATE OF HARDSHIP**

Select this type of application for those changes that are not appropriate with the underlying District guidelines, but which are necessary due to economic, physical, social, or other special conditions that apply to the individual property, but do not apply to the overall underlying District.



#### **CERTIFICATE OF NON-APPLICABILITY**

Select this type of application for those changes that affect features not controlled by the Commission (e.g. work that involves no change in materials, design or dimensions).



#### **ENVIRONMENTAL REVIEW (I.E. REVIEW OF A STRUCTURE IN A NATIONAL REGISTER DISTRICT/INDIVIDUAL BUILDING)**

Select this type of application for those changes that affect a structure in a National Register District, or a structure that is listed as a National Register Individual Building, that utilizes public funding (local, State, or federal). If the structure is both within a National Register District/Individual Building and a Local Historic District, select one of the application types above (Appropriateness, Hardship, Non-Applicability). If the structure contains a Preservation Restriction and is located within a National Register District/Individual Building, select the Preservation Agreement application type below.



#### **PRESERVATION AGREEMENT**

Selection this type of application if the structure contains a Preservation Restriction.



#### **PRESERVATION OF HISTORICALLY SIGNIFICANT BUILDINGS (DEMO DELAY)**

Select this type of application if the structure is more than 75 years old and are requesting that the nine (9) month demo delay restriction be lifted in order to commence demolition immediately.



#### **MUNICIPAL PROTOCOL**

Select this type of application if the structure relates to a municipally (City of Springfield) owned property, and the project will be facilitated by the municipality (City of Springfield).



#### **SECTION 106 REVIEW**

Select this type of application if the project is being submitted in accordance with Section 106.

**Recourse:** If a petitioner disagrees with a ruling by the Commission, he or she may, within twenty (20) days after filing the notice of such ruling with the City Clerk, appeal to the Superior Court or Housing Court, if applicable. On the other hand, the Historical Commission may, through Superior Court (or Housing Court), seek an injunction against any violation with a historic district's guidelines/standards. The Court may order the removal of any such violation, or the restoration of any building or feature altered or demolition in violation of a historic district's standards. Persons found guilty of any violations may be fined not less than ten dollars (\$10.00) or no more than five hundred dollars (\$500.00)



# Springfield Historical Commission



70 Tapley Street  
Springfield, MA 01104  
(413) 787-6020 (office)  
(413) 787-6524 (fax)

## APPLICATION FOR CERTIFICATE

<b>PROPERTY ADDRESS:</b> Parcel ID 02820-0055 Clarendon St Springfield MA 01109		<b>CHECK BOX IF THE PETITIONER REQUIRES AN INTERPRETER</b> <input type="checkbox"/>
<b>PROPERTY OWNER:</b> Real Estate Investments Northeast, LLC		
<b>OWNER ADDRESS:</b> 900 Riverdale St Ste 153 West. Spr. MA 01089 <input type="checkbox"/> Check box if same as property address		
<b>OWNER PHONE NUMBER:</b> 413-316-5314	<b>REPRESENTATIVE/CONTRACTOR NAME:</b>	
<b>OWNER EMAIL ADDRESS:</b> reinortheast@outlook.com	<b>REPRESENTATIVE/CONTRACTOR PHONE NUMBER:</b>	
<b>PROPERTY CODE:</b> 02820-0055	<b>REPRESENTATIVE/CONTRACTOR EMAIL ADDRESS:</b>	
<b>PROJECT DESCRIPTION (USE SEPARATE PAGE IF NEEDED):</b> New construction of a single family house, no garage. Please see house floor plans.		<b>PROPOSED MODIFICATIONS</b> (Please check all that apply) <input type="checkbox"/> Windows (see Page 3) <input type="checkbox"/> Doors (see Page 4) <input type="checkbox"/> Siding (see Page 5) <input type="checkbox"/> Roofing (see Page 6) <input type="checkbox"/> Solar (see Page 6) <input type="checkbox"/> Signs (see Page 7) <input type="checkbox"/> Heat Pumps (see page 7) <input type="checkbox"/> Paint (see Page 8) <input type="checkbox"/> Renovations (e.g. Porches) (see Page 8) <input checked="" type="checkbox"/> New Construction (all of the above) <input type="checkbox"/> Other Projects (see Page 9):
<b>JUSTIFICATION FOR CERTIFICATE OF HARDSHIP (IF APPLICABLE) (USE SEPARATE PAGE IF NEEDED):</b>		

Check box if property owner will be in attendance at the hearing. If not, correspondence from the property owner authorizing a representative to present the application is required.

*Dyachuk*

PROPERTY OWNER'S SIGNATURE

5/1/2026

DATE

## WINDOWS

Check box indicating that you are submitting an order sheet with renderings/brochure of the proposed windows.

Check box indicating that you are submitting photographs of the existing windows.

Check box indicating that you are aware of the City's Window Guidelines (click [here](#)).

Will the Dimensions of the Windows Change:  Yes (Please Provide Details Below Under Additional Information)  No

**PLEASE PROVIDE DETAILS ABOUT THE CONDITIONS OF THE CURRENT WINDOWS:**

**PLEASE PROVIDE THE REASON FOR WANTING TO REPLACE THE WINDOWS:**

**NUMBER OF WINDOWS TO BE REPLACED/ADDED:**

**NEW WINDOW MANUFACTURER:**

**MODEL NUMBER(S):**

	EXISTING	PROPOSED
<b>MATERIAL</b> (e.g. wood, vinyl, aluminum, etc):		
<b>EXTERNAL COLOR(S)</b> (e.g. black, white, etc):		
<b>GRID PLACEMENT</b> (Interior or Exterior):		
<b>GRID PATTERN</b> (e.g. two-over-two; six-over-one, etc):		
<b>WINDOW STYLE(S)</b> (e.g. double-hung, etc):		
<b>GLASS TYPE(S)</b> (e.g. single-pane, double-pane, etc):		

**ADDITIONAL INFOMRATION:**



**NO PRICE COPY**  
**QUOTATION #3585918**

**Date Entered:** 5/1/2026  
**Date Printed:** 5/1/2026  
**Printed By:** Bill Bonini

**SOLD TO:**  
Dmitriy Dyachuk

**SHIP TO:**  
Dmitriy Dyachuk

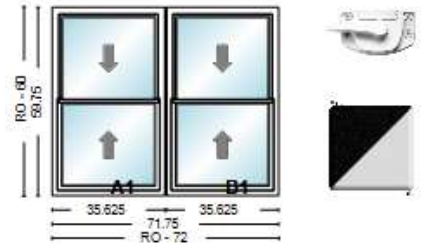
Kelly-Fradet Lumber #1  
587 North Main St  
East Longmeadow, MA 01028  
(413) 785-1558

Phone:  
Fax:

Phone:  
Fax:

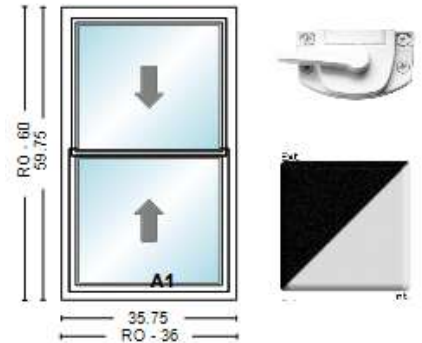
PO NUMBER	QUOTE NAME	PROJECT NAME
	clarendon 5500	Dmitriy Dyachuk

LineItem #	Qty.	Description
100-1	1	5500 Reflections Double Hung Twin 71.75" X 59.75" Operation = Operating / Operating, Operation = Operating, Frame = Integral J with Fin, Ext. Color = Black (Laminate), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 3/4"IGU, Glass Thickness = 3/32 in - 3/32 out SS, Upper = Annealed, Lower = Annealed, Locks = 2, White, Cam, Air Latches = 2, Screen Coverage = Full, Fiberglass, Extruded, U-Factor = 0.29, SHGC = 0.26, VT = 0.5, STC = 0, CPD Number = SBP-A-44-104020-00001, Meets Energy Star Zones = None, DP = 50, AAMA, TDI = WIN-1308, Florida Approval Code = 5167 , Factory, 1/2 in H-Mullion (Vertical)



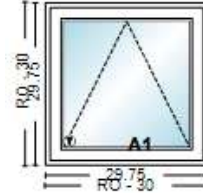
**Initials:** \_\_\_\_\_

LineItem #	Qty.	Description
200-1	2	5500 Reflections Double Hung 35.75" X 59.75" Operation = Operating, Frame = Integral J with Fin, Ext. Color = Black (Laminate), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 3/4"IGU, Glass Thickness = 3/32 in - 3/32 out SS, Upper = Annealed, Lower = Annealed, Locks = 2, White, Cam, Air Latches = 2, Screen Coverage = Full, Fiberglass, Extruded, U-Factor = 0.29, SHGC = 0.26, VT = 0.5, STC = 0, CPD Number = SBP-A-44-104020-00001, Meets Energy Star Zones = None, DP = 50, AAMA, TDI = WIN-1308, Florida Approval Code = 5167



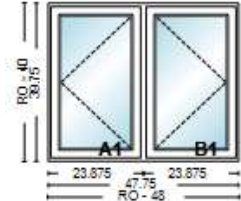
**Initials:** \_\_\_\_\_

LineItem #	Qty.	Description
300-1	1	5500 Reflections Awning 29.75" X 29.75"
<b>RO:</b>		Operation = Operating, Frame = Integral J with Fin,
30 x 30		Ext. Color = Black (Laminate), Int. Color = White,
<b>Room ID:</b>		Glass Package = Standard Glass Options, ProSolar
Custom		Low E, Argon, Intercept, 3/4"IGU, Glass Thickness
W01 TEMP		= 1/8 in - 1/8 out DS, Tempered, White, Flush Mount
		Crank, Coastal Hardware, Screen Coverage = Full,
		Fiberglass, Extruded, U-Factor = 0.27, SHGC =
		0.25, VT = 0.44, STC = 0, CPD Number = SBP-A-
		62-23291-00001, Meets Energy Star Zones = None,
		DP = 50, AAMA, TDI = WIN-1199, Florida
		Approval Code = 5185



Initials: \_\_\_\_\_

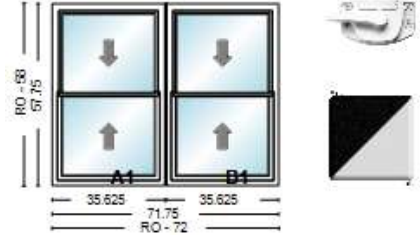
LineItem #	Qty.	Description
400-1	1	5500 Reflections Double Casement 47.75" X 39.75"
<b>RO:</b>		Operation = Left / Right, Unit 1: Operation = Left,
48 x 40		Unit 2: Operation = Right, Frame = Integral J with
<b>Room ID:</b>		Fin, Ext. Color = Black (Laminate), Int. Color =
Kitchen		White, Glass Package = Standard Glass Options,
		ProSolar Low E, Argon, Intercept, 3/4"IGU, Glass
		Thickness = 3/32 in - 3/32 out SS, Annealed, White,
		Flush Mount Crank, Coastal Hardware, Screen
		Coverage = Full, Fiberglass, Extruded, U-Factor =
		0.27, SHGC = 0.25, VT = 0.44, STC = 0, CPD
		Number = SBP-A-61-23288-00001, Meets Energy
		Star Zones = None, DP = 50, AAMA, TDI = WIN-
		1309, Florida Approval Code = 107 , Common
		Frame, T-Mullion (Vertical)



Initials: \_\_\_\_\_

LineItem #	Qty.	Description
500-1	2	5500 Reflections Double Hung Twin 71.75" X 57.75" Operation = Operating / Operating, Operation = Operating, Frame = Integral J with Fin, Ext. Color = Black (Laminate), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 3/4"IGU, Glass Thickness = 3/32 in - 3/32 out SS, Upper = Annealed, Lower = Annealed, Locks = 2, White, Cam, Air Latches = 2, Screen Coverage = Full, Fiberglass, Extruded, U-Factor = 0.29, SHGC = 0.26, VT = 0.5, STC = 0, CPD Number = SBP-A-44-104020-00001, Meets Energy Star Zones = None, DP = 50, AAMA, TDI = WIN-1308, Florida Approval Code = 5167 , Factory, 1/2 in H-Mullion (Vertical)

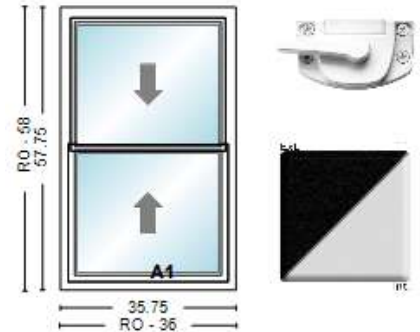
RO:  
72 x 58  
Room ID:  
Custom  
W03



Initials: \_\_\_\_\_

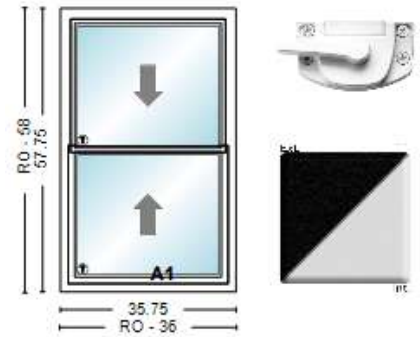
LineItem #	Qty.	Description
600-1	2	5500 Reflections Double Hung 35.75" X 57.75" Operation = Operating, Frame = Integral J with Fin, Ext. Color = Black (Laminate), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 3/4"IGU, Glass Thickness = 3/32 in - 3/32 out SS, Upper = Annealed, Lower = Annealed, Locks = 2, White, Cam, Air Latches = 2, Screen Coverage = Full, Fiberglass, Extruded, U-Factor = 0.29, SHGC = 0.26, VT = 0.5, STC = 0, CPD Number = SBP-A-44-104020-00001, Meets Energy Star Zones = None, DP = 50, AAMA, TDI = WIN-1308, Florida Approval Code = 5167

RO:  
36 x 58  
Room ID:  
Custom  
W03



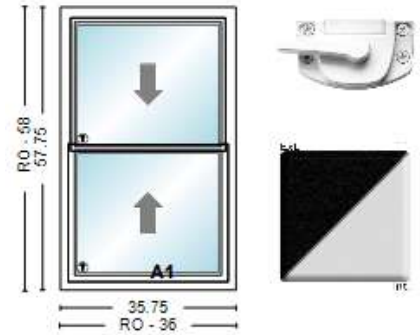
Initials: \_\_\_\_\_

LineItem #	Qty.	Description
700-1	1	5500 Reflections Double Hung 35.75" X 57.75"
<b>RO:</b> 36 x 58		Operation = Operating, Frame = Integral J with Fin, Ext. Color = Black (Laminate), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 3/4"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Upper = Tempered, Lower = Tempered, Locks = 2, White, Cam, Air Latches = 2, Screen Coverage = Full, Fiberglass, Extruded, U-Factor = 0.29, SHGC = 0.26, VT = 0.49, STC = 30, CPD Number = SBP-A-44-104024-00001, Meets Energy Star Zones = None, DP = 50, AAMA, TDI = WIN-1308, Florida Approval Code = 5167
<b>Room ID:</b> Custom W06 TEMP		



Initials: \_\_\_\_\_

LineItem #	Qty.	Description
800-1	1	5500 Reflections Double Hung 35.75" X 57.75"
<b>RO:</b> 36 x 58		Operation = Operating, Frame = Integral J with Fin, Ext. Color = Black (Laminate), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 3/4"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Upper = Tempered, Lower = Tempered, Locks = 2, White, Cam, Air Latches = 2, Screen Coverage = Full, Fiberglass, Extruded, U-Factor = 0.29, SHGC = 0.26, VT = 0.49, STC = 30, CPD Number = SBP-A-44-104024-00001, Meets Energy Star Zones = None, DP = 50, AAMA, TDI = WIN-1308, Florida Approval Code = 5167
<b>Room ID:</b> Hall/Stairwell		



Initials: \_\_\_\_\_

LineItem #	Qty.	Description
900-1	1	5500 Reflections Picture 35.75" X 13.75" Operation = Fixed, Frame = Integral J with Fin, Ext. Color = Black (Laminate), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 3/4"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Tempered, Screen Coverage = None, U-Factor = 0.27, SHGC = 0.28, VT = 0.54, STC = 0, CPD Number = SBP-A-43-51118-00001, Meets Energy Star Zones = None, DP = 65, AAMA, TDI = WIN-1270, Florida Approval Code = 5177

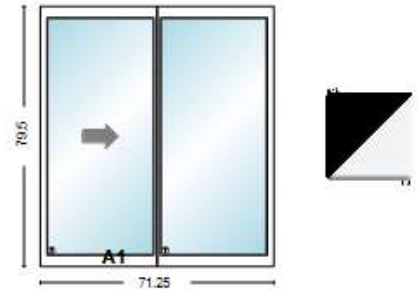
**RO:**  
36 x 14  
**Room ID:**  
Custom  
W07 TEMP



Initials: \_\_\_\_\_

LineItem #	Qty.	Description
1000-1	1	Narrow Frame Patio Door (2-Lite) 71.25" X 79.5" 6068 Operation = Left Opening (XO), Frame = Integral Brickmould w/Nail Fin, Ship Doors Assembled, Ext. Color = Black (Painted), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 3/4"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Tempered, Brushed Nickel, Keyed Locks, Door Handle = Standard, Rollers = Corrosion Resistant Roller/Glide, Screen Coverage = Half, Fiberglass, Extruded, Wrap Screens Separate, U-Factor = 0.28, SHGC = 0.31, VT = 0.57, CPD Number = SBP-A-39-22033-00001, Meets Energy Star Zones = None, DP = 35, AAMA, TDI = DR-138, Florida Approval Code = 7612

**RO:**  
72 x 80  
**Room ID:**



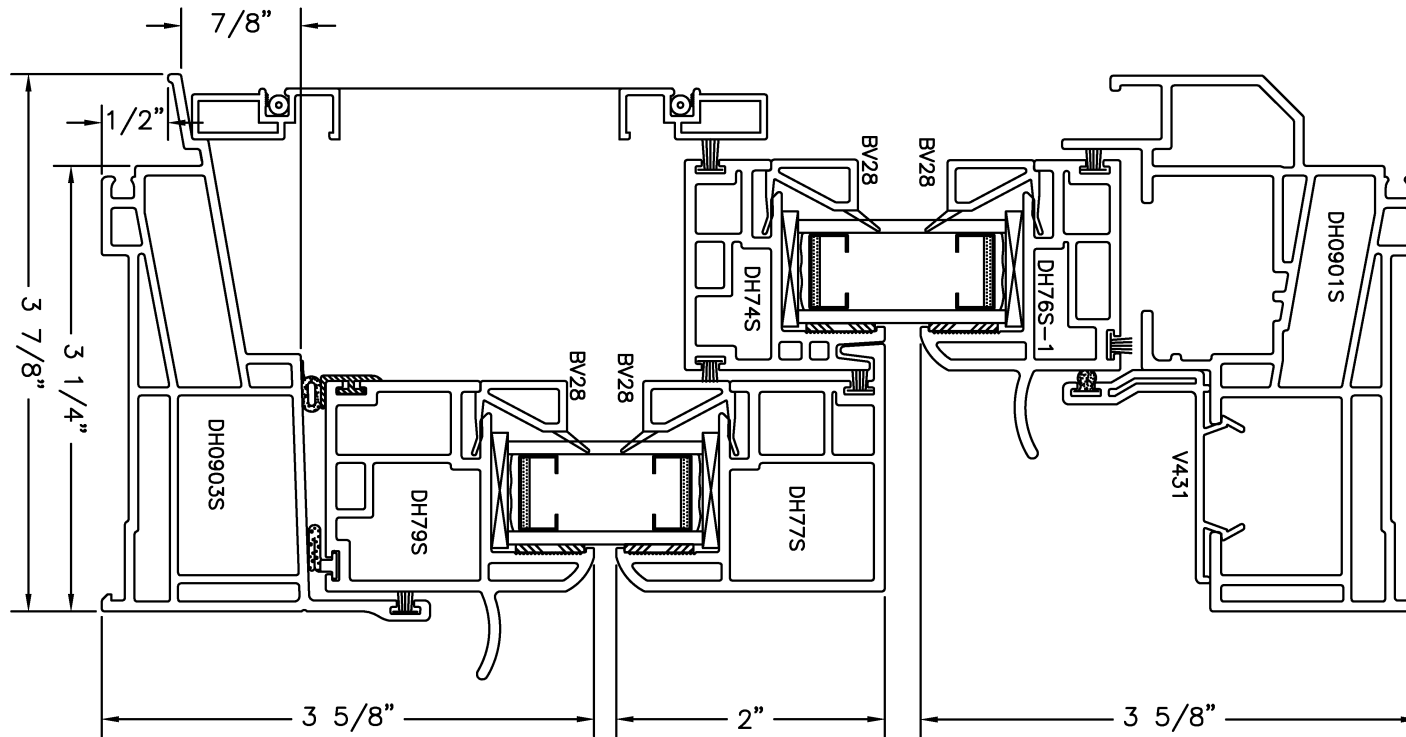
Initials: \_\_\_\_\_

13 Total Qty Units

Comment:

Submitted by: \_\_\_\_\_ Accepted by: \_\_\_\_\_ Date: \_\_\_\_\_

REV. #	REVISIONS:	REVISED BY:	DATE:
14	ADDED STORMBREAKER TO TITLE BLOCK.	GLS	03/20/07
15	REPLACED RE0044 ALUMINUM WITH 56110.	T.D.D.	06/29/07
16	UPDATED PROFILE BV28.	T.D.D.	04/01/08
17	CHANGED H9 LOCK RAIL REINFORCEMENT FROM 60911 TO 51185.	T.D.D.	03/06/09
18	REMOVED STORMBREAKER 100VL FROM THE SERIES IN THE TITLE BLOCK.	T.D.D.	09/22/10



**DISCLOSURE STATEMENT**

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FILE: 0248

**MATERIAL:**

RMS FINISH:	EXCEPT AS NOTED
ALLOY & TEMPER:	
WEIGHT:	VOLUME:
SURFACE AREA:	PERIMETER:
FINISH TREATMENT:	

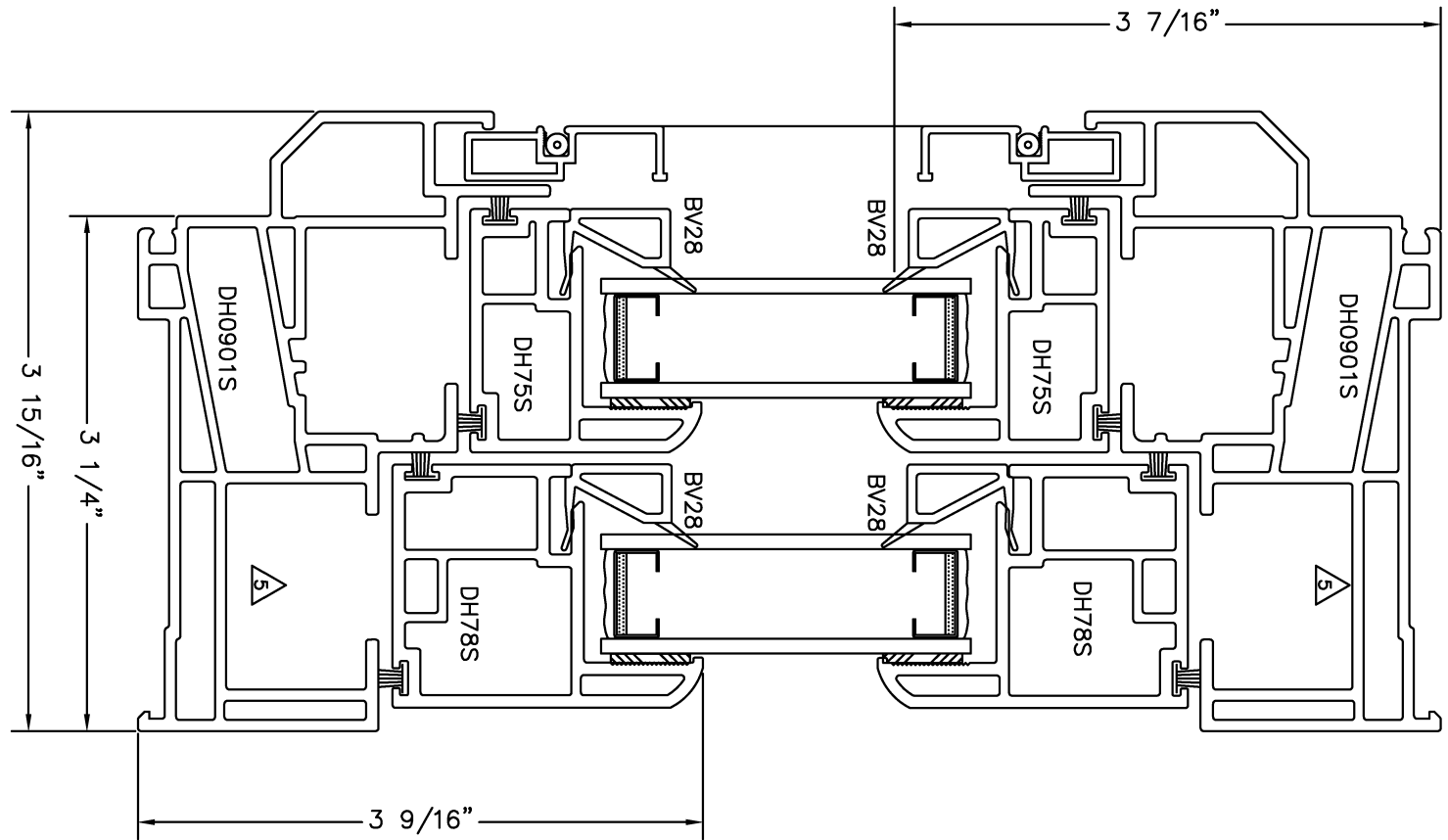
**Dimensional Tolerances Unless Otherwise Specified**

Decimals	Angles
.X ± .03	0° ± 30 min.
.XX ± .01	
.XXX ± .005	

**SIMONTON**  
WINDOWS  
1 Cochrane Avenue  
Pennsboro, WV 26415

SIZE: A	DRAWING NO.: 0248	REV.: 18
DRAWN BY: R.T.W.	DATE: 10/16/96	
CHECKED BY:	DATE:	
APPRVD BY:	DATE:	
SCALE: FIT	SHEET: 1 of 1	
SERIES: 5500 DOUBLE HUNG		
TITLE: VERTICAL ASSEMBLY DRAWING		

REV. #	REVISIONS:	REVISED BY:	DATE:
5	CHANGED DH71S TO DH0901S, CARIBOU TO HOOK-A-BOU	RTW	05/01/02
6	ADDED "/79" TO FLAG ON STEEL REINF.	P.A.T.	01/16/04
7	ADDED STORMBREAKER TO TITLE BLOCK.	GLS	3/21/07
8	UPDATED BV28 GLAZING BEAD PROFILE.	T.D.D.	04/01/08
9	REMOVED STORMBREAKER 100VL FROM THE SERIES IN THE TITLE BLOCK.	T.D.D.	09/22/10



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FILE: 0249

**MATERIAL:**

RMS FINISH:	
ALLOY & TEMPER:	EXCEPT AS NOTED
WEIGHT:	VOLUME:
SURFACE AREA:	PERIMETER:
FINISH TREATMENT:	

**Dimensional Tolerances Unless Otherwise Specified**

Decimals	Angles
.X ± .03	
.XX ± .01	0° 30 min.
.XXX ± .005	



SIZE: A	DRAWING NO.: 0249	REV.: 9
DRAWN BY: RTW	DATE: 10/16/96	
CHECKED BY:	DATE:	
APPRVD BY:	DATE:	
SERIES: 5500 DOUBLE HUNG		
TITLE: HORIZONTAL ASSEMBLY DRAWING		

## DOORS

Check box indicating that you are submitting an order sheet with renderings/brochure of the proposed door(s).

Check box indicating that you are submitting photographs of the existing door(s).

Will the Dimensions of the Door(s) Change:     Yes (Please Provide Details Below Under Additional Information)     No

**PLEASE PROVIDE DETAILS ABOUT THE CONDITIONS OF THE CURRENT DOOR(S):**

**PLEASE PROVIDE THE REASON FOR WANTING TO REPLACE THE DOOR(S):**

**NUMBER OF DOOR(S) TO BE REPLACED/ADDED:**

**NEW DOOR MANUFACTURER:**

**MODEL NUMBER(S):**

**EXISTING**

**PROPOSED**

**MATERIAL** (e.g. steel, fiberglass, etc):

**EXTERNAL COLOR(S)** (e.g. black, white, etc):

**DOOR STYLE(S)** (e.g. colonial, etc):

**PANEL PATTERN** (e.g. single; two panel, etc):

**GLASS PLACEMENT:**

**GLASS TYPE(S)** (e.g. single-pane, double-pane, etc):

**ADDITIONAL INFOMRATION:**

Take a look at these fresh spring savings. Shop Now >



What can we help you find?



Shop All HomeCare+ New Appliances Bathroom Building Supplies Doors & Windows Lawn & Garden Outdoor Tools Plumbing Flooring Lightin

E. Springfield Lowe... 10 PM 27284

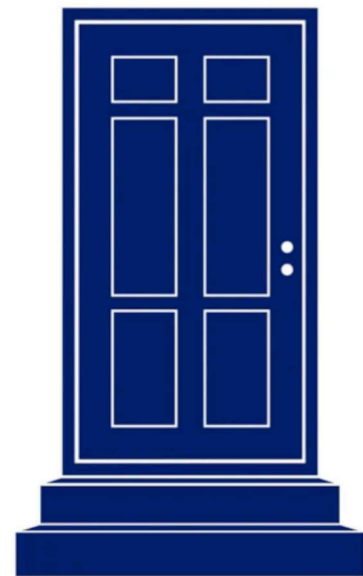


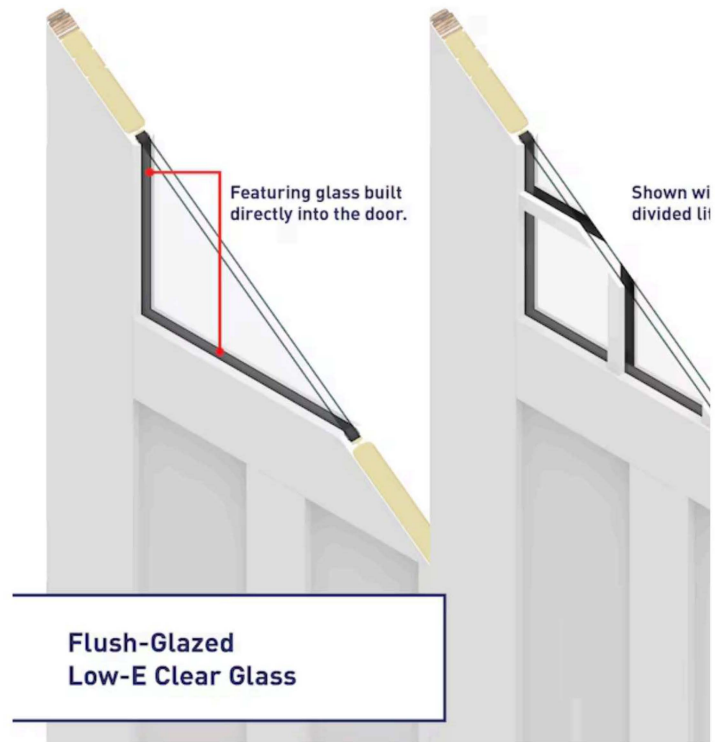
Prices, Promotions, styles, and availability may vary. Our local stores do not honor online pricing. Prices and availability of products and ser are subject to change without notice. Errors will be corrected where discovered, and Lowe's reserves the right to revoke any stated offer and correct any errors, inaccuracies or omissions including after an order has been submitted.

[Windows & Doors](#) / [Exterior Doors](#) / [Front Doors](#)



Prehung Front Door - Left Hand Inswing





[View All Images](#)

**What's Included**



Jamb Width: 4-9/16-in



Lockset Bore: Double



Adjustable Sill



Weatherstripping

[See More](#)

**At a Glance**



Finish: Painted



Material: Fiberglass



Privacy Rating: 1



Handing: Left-hand inswing

[View More](#)

**Trending Now**

80+ bought last week

Therma-Tru Entry Door 36-in x 80-in x 4-9/16-in Fiberglass Left-hand inswing Black Painted Prehung Residential Insulating core Front Door  
Item #5459131 | Model #TT648793

[Shop Therma-Tru](#)

★ ☆ 4.2 128

**\$924<sup>.00</sup>**



\$877.80 When you choose 5% savings on eligible purchases every day.

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OR

\$154/mo Suggested payments with 6 month special financing.

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**LOWE'S** Buy Now, Pay Later  
**Pay** As low as 0% APR for \$79.10/mo [Learn How](#)

 As low as \$58/mo or 0% APR with **affirm**. [See If You Qualify](#)

Manufacturer Color/Finish: Black



Jamb Width Measurement: 4-9/16-in

4-9/16-in

6-9/16-in

Handing: Left-hand inswing

Left-hand inswing

Right-hand inswing

Brickmould Included: Yes

No

Yes

Get It Installed

Pickup

within 3 hrs  
1 available  
**FREE**



Delivery

Tomorrow  
2 available

FREE Pickup at E. Springfield Lowe's  
[Check Other Stores](#)

View on map  [Aisle 47 | Bay 7](#)

— 1 +

Add to Cart

 Members save more. [Sign in or join for FREE](#)

Here are some similar items ...



**RELIABILT** 36-in x 80-in x 4-9/16-in  
Steel Right-hand inswing...

★★★★☆ 39

\$486<sup>50</sup>

+ Add to Cart



**Therma-Tru** 36-in x 80-in x 4-9/16-in  
Fiberglass Left-hand inswing...

★★★★☆ 129

\$674<sup>00</sup>

+ Add to Cart



**RELIABILT** 36-in x 80-in x 4-9/16-in  
Steel Left-hand inswing Prehun...

★★★★☆ 62

\$347<sup>00</sup>

+ Add to Cart

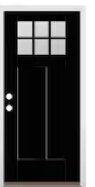


**Therma-Tru** 36-in x 80-in x 4-9/16-in  
Fiberglass Right-hand inswin...

★★★★☆ 128

\$674<sup>00</sup>

+ Add to Cart

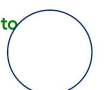


**Therma-Tru** Entry Door  
80-in x 4-9/16-in Fiberglass

★★★★☆ 51

\$848<sup>00</sup>

+ Add to Cart



## SIDING



Check box indicating that you are submitting an order sheet with renderings of the proposed siding.



Check box indicating that you are submitting photographs of the existing siding.

<b>NEW SIDING MANUFACTURER:</b>	Everlast
<b>MODEL NUMBER(S):</b>	NA
<b>BUILDING SIDE(S) FOR PROPOSED SIDING:</b>	Entire dwelling

	EXISTING	PROPOSED
<b>MATERIAL</b> (e.g. wood, stucco, brick, non-wood shingle):	NA	Everlast composite siding
<b>SIDING PATTERN</b> (e.g. clapboard, bevel etc):	NA	see house plans for details
<b>WINDOW CASING DIMENSIONS:</b>	NA	
<b>DOOR CASING DIMENSIONS:</b>	NA	
<b>CORNER BOARD DIMENSIONS:</b>	NA	
<b>CORNICES DIMENSIONS:</b>	NA	
<b>FRIEZE BOARD DIMENSIONS:</b>	NA	
<b>SHUTTER DIMENSIONS:</b>	NA	NA

**PLEASE PROVIDE DETAILS ABOUT THE CONDITIONS OF THE EXISTING SIDING:**

NA

**PLEASE PROVIDE THE REASON FOR WANTING TO REPLACE THE SIDING:**

New construction.

**ADDITIONAL INFORMATION:**

New Everlast Composite siding, brochure attached.

Make A  
Lasting Impression

  
**EVERLAST®**  
*Advanced Composite Siding*



[www.EverlastSiding.com](http://www.EverlastSiding.com)

Everlast® Call Center Support Line  
1-844-494-7920

Everlast® Advanced Composite Siding is a premium product proudly manufactured by Chelsea Building Products in the USA. Founded in 1975 and headquartered in Oakmont, Pennsylvania, Chelsea Building Products is a leading US manufacturer of exterior building products and components incorporating advanced composite materials.



Everlast® Lap Siding  
Everlast® Board & Batten Siding  
Flagstone

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All products made in the USA.



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CBPEV-7-2021-HB

**Building Code Compliance**  
CCRR (Code Compliance Report) # CCRR-0201  
ASTM E84  
ASTM D635 (Class CC1)  
ASTM D-1929  
DBPR (Florida Building Code) #FL22980  
TDI (Texas Department of Insurance) #EC-107

  
**EVERLAST®**  
*Advanced Composite Siding*

## Time to Love Your Home...for Life

Nothing on the market compares to Everlast siding or the value it provides homeowners. Imagine your home beautifully clad in upscale natural cedar, but with none of the hassles and maintenance costs associated with real wood, engineered wood, or fiber cement. Envision never having to paint your home again. Visualize your siding decades from now, remaining as pristine as the day it was installed. Imagine ultimate peace-of-mind with the industry's best transferable limited lifetime warranty, including fade protection.

What you imagine is Everlast — the only siding that lets you love your home...for life.











### Material Science Meets Unparalleled Artistry

A technological breakthrough in material science, Everlast siding features C CORE® mineral-enriched composite substrate that is virtually impervious to siding's #1 enemy – water. To this remarkable substrate, an advanced UV-resistant acrylic capstock is molecularly fused and then embossed with the actual grain pattern of rough-sawn top-grade cedar, producing Everlast's **CedarTouch®** finish, the most authentic on the market.



Everlast® Lap Siding  
Sand Dune

### Unlike real wood, engineered wood, and fiber cement siding:

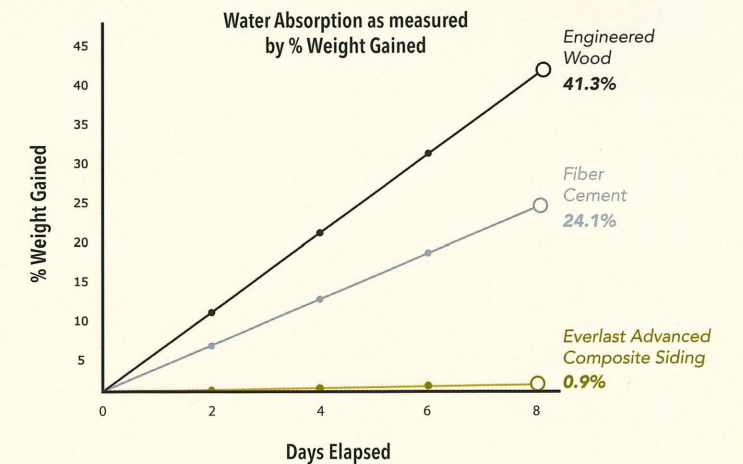
-  Everlast siding forever eliminates painting and caulking
-  Everlast siding is virtually impervious to water
-  Everlast siding is highly resistant to fading and discoloration
-  Everlast siding never bows, warps, splits, or swells
-  Everlast siding is insect-resistant
-  Everlast siding is ideal for wet and harsh climates



Everlast® Lap Siding  
Flagstone

### Siding's #1 Enemy is Simply No Match For Everlast

Testing to compare Everlast siding's water absorption rate compared to engineered wood and fiber cement reveals a dramatic difference. Everlast's absorption rate is negligible, while engineered wood and fiber cement require diligent maintenance to achieve effective moisture protection.



Everlast® Lap Siding  
Everlast® Board & Batten Siding  
Saddle Wood

COLORS

Harbor Blue

Blue Spruce

Willow

Spanish Moss

Antique Ivory

Sand Dune

Misty Taupe

Chestnut

Saddle Wood

Seaside Grey

Slate

Flagstone

Storm Grey

Cabernet Red

Natural White

# EVERLAST LAP SIDING

## Timeless Clapboard-Style Appeal

Traditional clapboard siding has never gone out of style. Available in two reveals to accommodate regional and personal preferences, your home will reflect classic style, luxury, and comfort decade after decade. Choose Everlast Lap Siding exclusively, or with Everlast Board & Batten.

### Color Palette

The Everlast Lap Siding palette\* – including deep, rich hues – has been thoughtfully curated by color consultants to complement any style of home, regional preference, as well as both current and classic color trends.

NOTE: Colors may not be exactly as shown due to printing limitations.

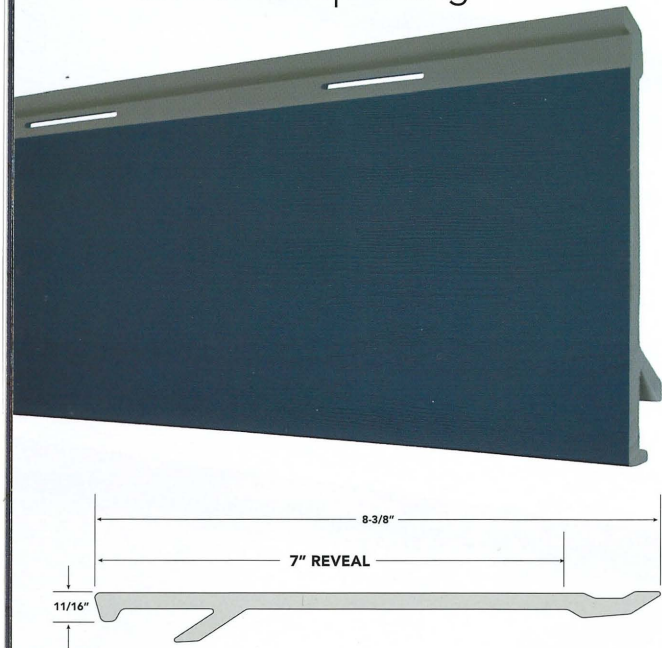
Consult a product sample before final selection.

\* Please contact your Everlast dealer for product availability.

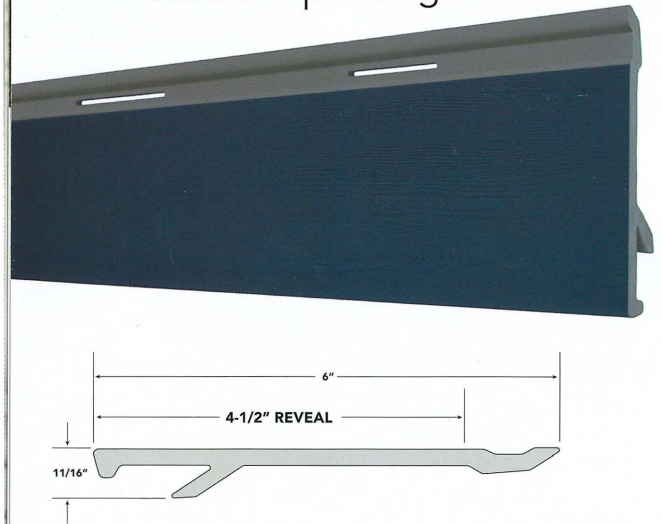
# LAP SIDING

TWO REVEALS AVAILABLE FOR YOUR IDEAL HOME

Standard Lap Siding



Narrow Lap Siding



## Engineered to Withstand High Winds and to Help Ensure Ease of Installation



Everlast Lap Siding's EZStack interlocking joinery prevents siding from rattling in high wind conditions, while enhancing the siding's ability to withstand high wind forces, ensuring that your siding remains firmly affixed. EZStack joinery also assists installers by helping to ensure that your siding is perfectly level and spaced for optimal aesthetics.

## Enjoy the Tightest, Most Discreet Seams on the Market



Each Everlast Lap Siding plank-to-plank seam is reinforced with a stainless steel bracket to produce the strongest, longest lasting, and best looking seams on the market. Even better, no caulking or flashing at seams is ever required.

With fiber cement and engineered wood, thermal expansion and contraction causes siding seams to open and close throughout the year. Caulking these seams only provides a temporary fix. And unsightly joint caps are no solution.



Failed caulked seams on fiber cement siding



Unsightly joint caps on engineered wood siding

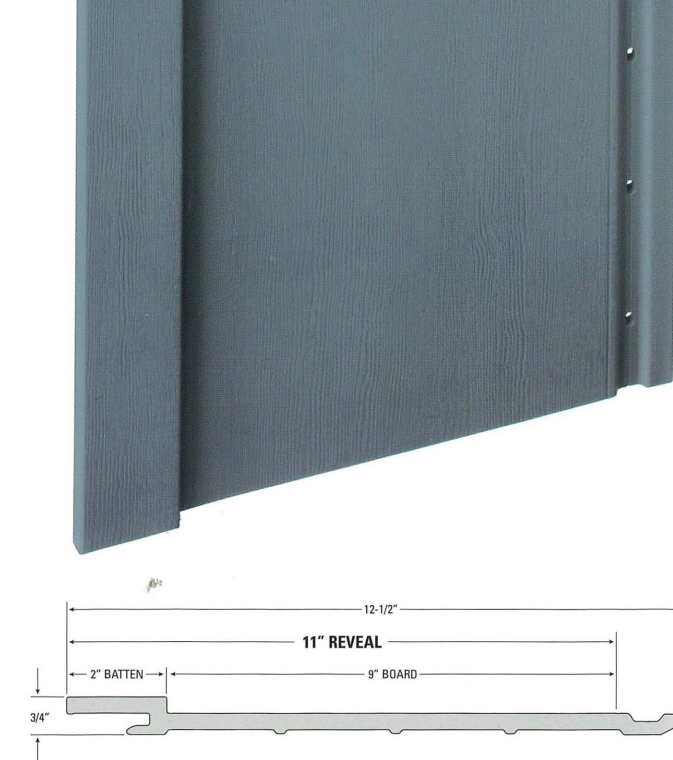
Everlast® Board & Batten Siding  
Everlast® Lap Siding  
Chestnut



# EVERLAST BOARD & BATTEN SIDING

## Contemporary Rustic Charm

Choose Everlast Board & Batten to give your home rustic, yet highly contemporary, appearance.  
Use Everlast Board & Batten exclusively, or combine with Everlast Lap Siding.



## Efficient One-Piece Design

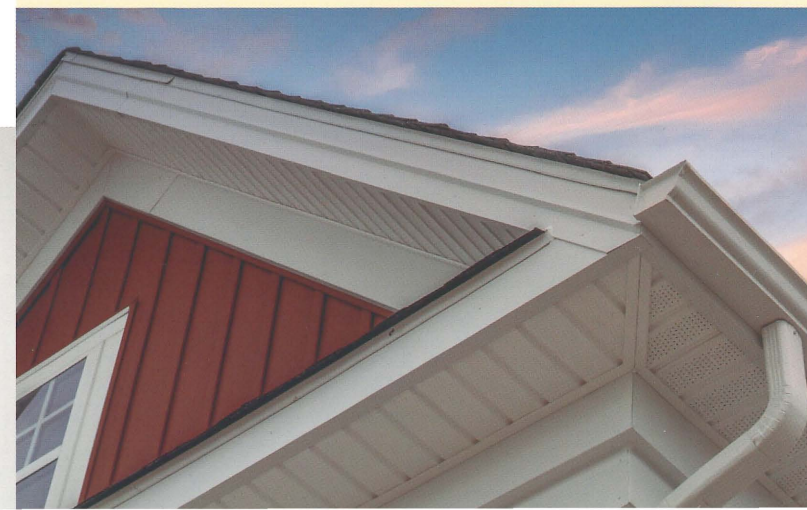
Unlike other board and batten siding products that require two pieces – both a board and a batten – Everlast Board & Batten combines these two pieces into one, to eliminate unsightly fasteners and to help ensure top quality installation.

## Color Palette

The Everlast Board & Batten palette\* features many of the same hues as Everlast Lap Siding and complements any style of home, regional preference, as well as both current and classic color trends.

NOTE: Colors may not be exactly as shown due to printing limitations.  
Consult a product sample before final selection.

\* Please contact your Everlast dealer for product availability.

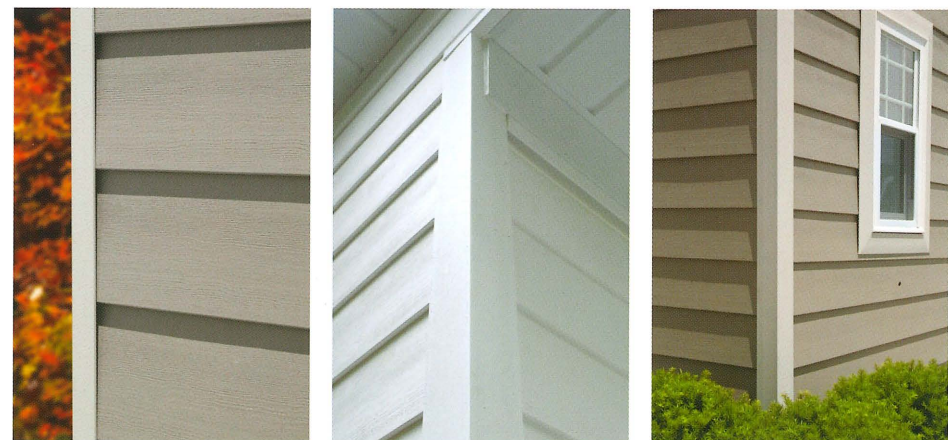


# PREMIUM COLOR-MATCHED TRIM

Everlast® Lap Siding  
Premium Color-Matched Trim  
Blue Spruce

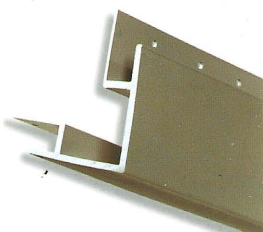
## The Finest Trim for the Finest Siding

Nothing matches the beauty and durability of Everlast Premium Color-Matched Trim. Made from the very same advanced material as Everlast siding, even your home's trim will last a lifetime, without the hassle and cost of recurring maintenance.

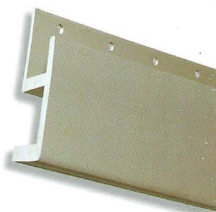


NOTE: An optional all-white cellular PVC trim package, fully compatible with Everlast siding, is also available. See [www.EverlastSiding.com](http://www.EverlastSiding.com) for more details.

3 1/2" Outside  
Corner Post



3 1/2" Lineal



1 1/2" J-Channel



Perimeter 1 1/2" Trim  
with Trim Receiver



### RIGID PVC ACCESSORY

Starter Strip  
(Grey only)



## Color Palette

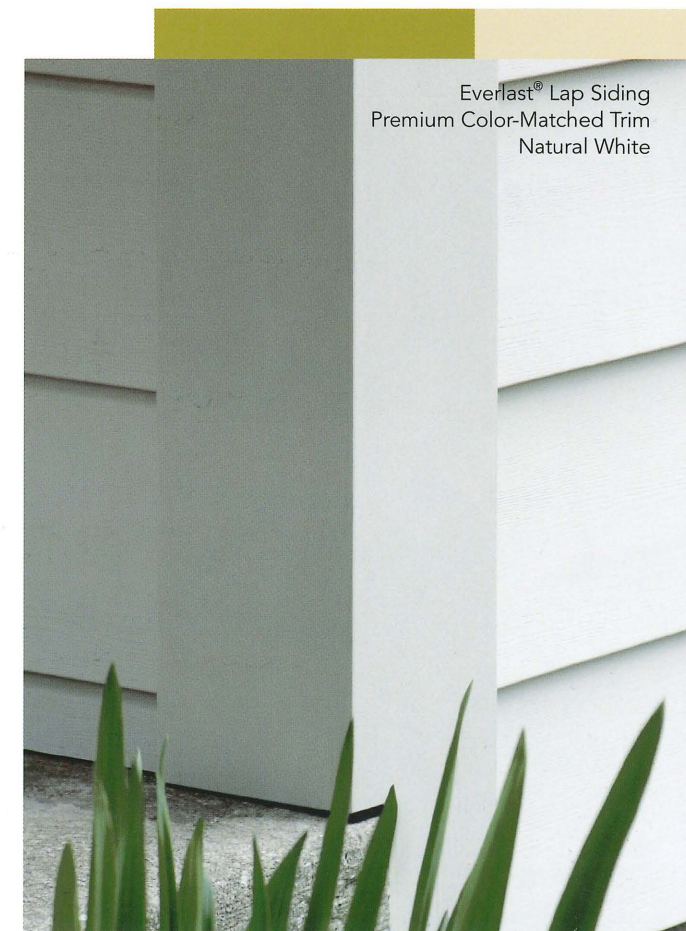
Everlast Premium Color-Matched Trim is available in all Everlast siding colors.\* Explore beautiful shades to match or contrast with your Everlast siding.

NOTE: Colors may not be exactly as shown due to printing limitations. Consult a product sample before final selection.

\* Please contact your Everlast dealer for product availability.

Harbor Blue	Blue Spruce	Willow	Spanish Moss
Antique Ivory	Sand Dune	Misty Taupe	Chestnut
Saddle Wood	Seaside Grey	Slate	Flagstone
Storm Grey	Cabernet Red	Natural White	

Everlast® Lap Siding  
Premium Color-Matched Trim  
Natural White



Explore these popular color strategies for both siding and trim.

**Complimentary Colors**

Two complimentary Everlast colors, Blue Spruce and Seaside Grey, combine beautifully with Everlast Color-Matched Trim in Natural White.



**Shade Variation**

Dark brown Everlast Saddle Wood is tastefully paired with lighter Chestnut, while Everlast Color-Matched Trim in Misty Taupe completes the effect.



**Single Accent**

Everlast Color-Matched Trim in Antique Ivory provides the perfect accent to Everlast siding in Cabernet Red.



**Monochromatic**

Sand Dune in both Everlast siding and Color-Matched Trim produces a modern aesthetic and allows other architectural features to be accentuated.



**Enjoy the Ultimate Peace of Mind and More**

With a siding system as superior as Everlast, it's easy to understand why it's backed by the industry's best, most comprehensive residential siding warranty. With Everlast, you get peace of mind from a limited lifetime manufacturer's warranty, courtesy of Chelsea Building Products. This comprehensive warranty also provides fade protection. Plus, should you sell your home, your Everlast warranty is transferable to the new owner, further enhancing resale value.



Visit [www.EverlastSiding.com](http://www.EverlastSiding.com) for complete warranty details.



Everlast® Board & Batten Siding  
Everlast® Lap Siding  
Misty Taupe

**The Environmentally Responsible Choice**

Environmentally conscious homeowners should know that Everlast siding is manufactured with vastly lower energy consumption compared to other siding options such as fiber cement. And wood and engineered wood siding contribute to the depletion of vital forestry resources. Plus, Everlast siding permanently eliminates the need for paints, stains, caulking, and solvents which contain harmful VOCs. And, at the end of its extremely long service life, Everlast siding and trim are fully recyclable. Clearly Everlast siding is a far more sensible choice for the planet.

## ROOFING

Check box indicating that you are submitting an order sheet with renderings of the proposed roofing.

Check box indicating that you are submitting photographs of the existing roofing.

**EXISTING**

**PROPOSED**

**ROOF STYLE** (e.g. gable, hip, mansard, etc):

**MATERIAL** (e.g. asphalt shingle, slate, clay tile, etc):

**PLEASE PROVIDE DETAILS ABOUT THE CONDITIONS OF THE EXISTING ROOFING:**

**PLEASE PROVIDE THE REASON FOR WANTING TO REPLACE THE ROOFING:**

**ADDITIONAL INFORMATION:**

## SOLAR

**WILL THE MATERIAL OF THE ROOF BE CHANGING AS PART OF THIS PROJECT?**

**YES (PLEASE PROVIDE MORE INFO ABOVE)**  
 **No**

Check box indicating that you are submitting plans of the proposed solar project.

Check box indicating that you are submitting photographs of the existing roofing.

**ROOF MATERIAL** (e.g. asphalt shingle, slate, clay tile, etc):

**NUMBER OF SOLAR POWERED PANELS:**

**SOLAR MANUFACTURER:**

**LOCATION OF SOLAR POWERED PANELS** (e.g. north side of roof):

**LOCATION OF MAIN SERVICE PANEL & METER** (e.g. rear of building):

**LOCATION OF OTHER ELECTRICAL COMPONENTS** (e.g. rear of building):

**LOCATION OF CONDUIT** (e.g. side of building, inside the house):

**PROPOSED COLOR OF CONDUIT** (e.g. silver, same as house):



West Springfield 10PM 01107



West Springfield 10PM 01107

Menu Quotes Lists

... / Building Materials / Roofing / Roof Shingles / GAF Roof Shingles

Internet # 100658149 Model # 0601180 UPC Code # 073590400697 Store SKU # 775276



Top Rated



### GAF Timberline Natural Shadow Charcoal Algae Resistant Architectural Shingles (33.33 sq. ft. per Bundle)

★★★★★ (1536) Questions & Answers (420)

**PREFERRED PRICING**

Covers 33.33 sq.ft.

**BULK PRICE ELIGIBLE** **\$41.36** (\$1.24 /sq.ft.) Was ~~\$44.47~~ Save **\$3.11 (7%)**

Buy 36 or more \$40.02

Pay \$16.36 after \$25 OFF your total qualifying purchase upon opening a new card. [①](#)  
[Apply for a Pro Xtra Credit Card](#)

- Stylish architectural roof shingle with a natural shadow effect
- Budget-friendly roofing shingle with a Lifetime Ltd. Warranty
- Algae protection helps ensure the curb appeal of your home's roof
- [View More Details](#)

### West Springfield Store

✓ 251 in stock Aisle 20, Bay 022

Color/Finish: **Charcoal**



Pickup at

[West Springfield](#)

Delivering to [01107](#)

<b>Pickup</b> Today 251 in stock <b>FREE</b>	<b>Delivery</b> Today 1,956 available
---	---

[Check Nearby Stores](#)

[Delivery Details](#)

**Get it delivered as soon as today.** Schedule your delivery in checkout.

### How much will you need?

Please note: calculations are estimates only

Calculate by:

- Length x Width
- Square Footage

#### Area

Length:

ft.

Width:

ft.

+ Add Area

**Calculate**

—  +

**Add to Cart**

**Add to List**

**Add to Quote**

**Add to Project**



Nothing protects quite like a roof. That's why millions of Americans live, work, and play under quality products from North America's largest roofing manufacturer - GAF.



Timberline® Natural Shadow® Architecturally stylish and practically priced, Timberline NS shingles can improve your home's curb appeal and resale value at a price you can afford.



**Build a Durable Roof System a Layer at a Time**  
Building a roof to last means installing a series of protective layers, all designed to work together to create a durable roof system.



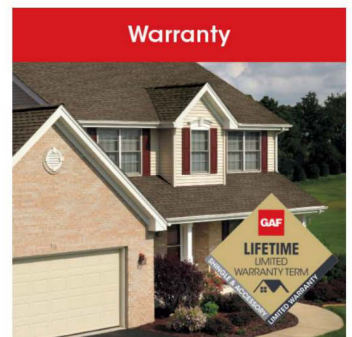
**Classic Appearance**  
The classic shadow effect creates a subtle, upscale, even-toned, architectural look with the warmth of wood.



**StainGuard® Algae Protection**  
Helps ensure the beauty of your roof against unsightly blue-green algae.<sup>1</sup> (Applies only to shingles with StainGuard®-labeled packaging)



**Stays In Place**  
Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles warranted to withstand winds up to 130 mph.<sup>2</sup>



**Peace of Mind**  
Lifetime limited transferable warranty with Smart Choice® Protection (non-prorated material and installation labor coverage) for the first ten years.<sup>3</sup>



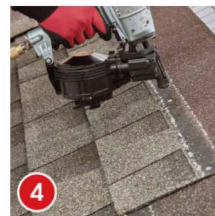
**1. Install Leak Barrier**  
Protect vulnerable areas against leaks caused by wind-driven rain, ice dams, and extreme weather.



**2. Protect the Roof Deck**  
Resist moisture with a layer of synthetic deck protection between deck and the shingles.



**3. Install Starter Shingles**  
Saves time, reduces waste, & features a self-seal adhesive to help reduce the risk of shingle blow-off.



**4. Install Shingles**  
Beautify and protect your home. Choose from over 100 styles/colors. Always read installation instructions.



**5. Ventilate and Protect**  
Proper ventilation helps promote energy efficiency & reduces damaging heat & moisture that can cause roof damage.



**6. Beautify and protect**  
Enhance the home's beauty with matching hip and ridge cap shingle while protecting the highest stress areas.

## About This Product

Installers have long preferred the rugged, dependable performance that only a Timberline roof can offer. That's why Timberline Shingles are the #1-selling shingles in all of North America. The classic shadow effect of Timberline NS Shingles creates a subtle, upscale, even-toned, architectural look

with the warmth of wood. They'll improve your home's curb appeal and resale value at a price you can afford.

## Highlights

- Don't know how much to order? A GAF QuickMeasure report provides all of the measurement data you need when planning your material orders. A complete bill of materials, with Home Depot product SKUs, is provided with each single-family report delivered in under 1 hour. Learn more here. [gaf.com [gaf.com]]
- Home Depot supplies full roofing jobs - Get your complete project checklist here.
- Architectural style that's practically priced
- Features a classic shadow effect that lends any home a subtle, even-tone with the warm look of wood in an asphalt shingle
- Highest roofing fire rating: UL class A, listed to ANSI/UL 790
- Advanced protection shingles technology reduces the use of natural resources while providing excellent protection for your home
- Dura grip adhesive seals each shingle tightly to roof reducing the risk of shingle blow-off, shingles warranted to withstand winds up to 130 MPH (wind speed coverage requires special installation, see GAF shingle and accessory ltd. warranty for details)
- Lifetime ltd transferable warranty with smart choice protection (non-prorated material and installation labor coverage) for the first 10-years, see GAF shingle and accessory ltd. warranty for complete coverage and restrictions
- Request a quote for installation.
- For design inspiration, Click here for exterior front of home trend ideas
- Don't know how much to order? A GAF QuickMeasure report provides all of the measurement data you need when planning your material orders. A complete bill of materials, with Home Depot product SKUs, is provided with each single-family report delivered in under 1 hour. Learn more here. [gaf.com [gaf.com]]
- Shop all GAF Shingles here
- [Return Policy](#)
- California residents [see Prop 65 WARNINGS](#)

## Product Information

Internet # 100658149

Model # 0601180

UPC Code # 073590400697

Store SKU # 775276

### Additional Resources

[Shop All GAF](#)

#### From the Manufacturer

- [Product Brochure](#)
- [Instructions / Assembly](#)
- [Warranty](#)
- [Pre-Delivery/Install Checklist](#)
- [Return Policy](#)

## Specifications





**Roofing Product Type**

**Architectural Shingle**

[See Similar Items](#)

**Warranty**

**Lifetime Limited Warranty**

[See Similar Items](#)

**Features**

**Algae Resistant**

**High Wind Resistant**

**Stainguard Protection**

**Fire Rating (UL 790)**

**Class A**

[See Similar Items](#)

**Number of pieces per bundle**

**21**

[See Similar Items](#)

**Material**

**Asphalt**

[See Similar Items](#)

## Dimensions

Coverage Area (sq. ft.)	33.33 sq ft
Product Length (in.)	39.38 in
Product Thickness (in.)	2.4 in
Product Width (in.)	13.25 in

## Details

Color Family	Black
Color/Finish	Charcoal
Features	Algae Resistant, High Wind Resistant, Stainguard Protection
Fire Rating (UL 790)	Class A
Material	Asphalt
Number of bundles per 100 sq. ft. (Square)	3
Number of pieces per bundle	21
Requirements	Attic Ventilation, Underlayment
Roofing Product Type	Architectural Shingle
Shingle Exposure (in.)	5.625
Shingle Type	Architectural Shingle
Warranty	Lifetime Limited Warranty
Weight Per Bundle (lb.)	70






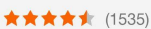




## Questions & Answers

420 Questions

## Customer Reviews

4.7 out of 5  (1,536)

## Pros Buy These Together

<b>CURRENT ITEM</b>					
<input checked="" type="checkbox"/> Select	<input checked="" type="checkbox"/> Select	<input checked="" type="checkbox"/> Select	<input checked="" type="checkbox"/> Select	<input checked="" type="checkbox"/> Select	<input checked="" type="checkbox"/> Select
Top Rated		Best Seller	Top Rated		
+	+	+	+	+	+
					
GAF Timberline Natural Shadow...	GAF Pro-Start 120 lin. ft. Eave and Rake...	Grip-Rite 1-1/4 in. x 0. 120-Gauge 15°...	OSB 7/16 Application as 4ft. X 8 ft....	GAF FeltBuster 1000 sq. ft. Synthetic...	
 (1535)	 (232)	 (775)	 (3267)	 (392)	

**BULK PRICE** \$44.47  
(\$1.33/sq.ft.)  
Buy 36 or more \$40.02

\$51.12 (85¢/piece)  
Was \$54.97  
Save \$3.85 (7%)

**BULK PRICE** \$44.98  
(62¢/100 units)  
Was \$49.98  
Save \$5.00 (10%)  
Buy 3 or more \$44.98

**BULK PRICE** \$8.19  
Was \$8.64  
Save 62¢ (7%)  
Buy 68 or more \$8.37

\$106.02  
/roll  
Was \$114.00  
Save \$7.98 (7%)

Subtotal: **\$310<sup>55</sup>**

Add 6 Items to Cart

## More from GAF

Best Seller

+

Top Rated

+

+

+



GAF Timberline HDZ Charcoal Algae Resistant Laminated Hig...

★★★★★ (19805)

**BULK PRICE** \$46.47 (\$1.39/sq.ft.)

Buy 36 or more \$41.82

Add to Cart



GAF Timberline Natural Shadow Pewter Gray Algae Resistant...

★★★★★ (1535)

**BULK PRICE** \$44.47 (\$1.33/sq.ft.)

Buy 36 or more \$40.02

Add to Cart



GAF Royal Sovereign Charcoal Algae Resistant 3-Tab Roofing...

★★★★★ (819)

**BULK PRICE** \$42.47 (\$1.27/sq.ft.)

Buy 48 or more \$38.22

Add to Cart



GAF Pro-Start 120 lin. ft. Eave and Rake Roofing Starter Strip...

★★★★★ (232)

\$54.97 (92¢/piece)

Add to Cart



GAF Seal-A-Ridge Charcoal and Ridge Cap Roofing S...

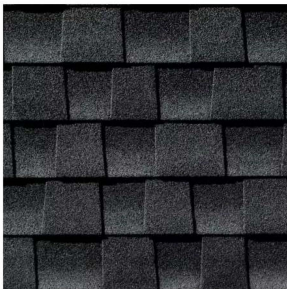
★★★★★ (380)

\$59.97 (\$2.40/sq.ft.)

Add to Cart

## Customers Also Viewed

Best Seller



GAF Timberline HDZ Charcoal Algae Resistant Laminated Hig...

★★★★★ (19805)

**BULK PRICE** \$46.47 (\$1.39/sq.ft.)

Buy 36 or more \$41.82

Add to Cart



GAF Royal Sovereign Charcoal Algae Resistant 3-Tab Roofing...

★★★★★ (819)

**BULK PRICE** \$42.47 (\$1.27/sq.ft.)

Buy 48 or more \$38.22

Add to Cart



GAF Seal-A-Ridge Charcoal Hip and Ridge Cap Roofing Shingle...

★★★★★ (380)

\$59.97 (\$2.40/sq.ft.)

Add to Cart



GAF Pro-Start 120 lin. ft. Eave and Rake Roofing Starter Strip...

★★★★★ (232)

\$54.97 (92¢/piece)

Add to Cart



GAF QuickStart 33 lin. ft. and Stick Roofing Starter

★★★★★ (390)

\$30.97 /box (94¢/piece)

Add to Cart

## Recently Viewed



GAF Timberline Natural Shadow Charcoal Algae Resistant...

★★★★★ (1535)

**BULK PRICE AVAILABLE** \$44<sup>47</sup> (\$1.33/sq.ft.)

Buy 36 or more \$40.02

Add to Cart



Weber Genesis S-435 4-Burner Liquid Propane Gas Grill with F...

★★★★★ (77)

**SPECIAL BUY** \$1,918<sup>99</sup> Was \$2,018.99

Add to Cart



MP Doors 36 in. x 80 in. 3/4 Lite Right-Hand Inswing 4 Lite SDL...

★☆☆☆☆ (1)

\$1,168<sup>50</sup>

Add to Cart



TENONER 32 in. x 80 in. 5-Panel Frosted Glass Prehung Interior...

★★★★★ (2)

\$388<sup>00</sup> /package

Add to Cart



Daltile Restore Bright White 12 in. x 12 in. Glazed Cerami

★★★★★ (495)

\$29<sup>97</sup>

Add to Cart

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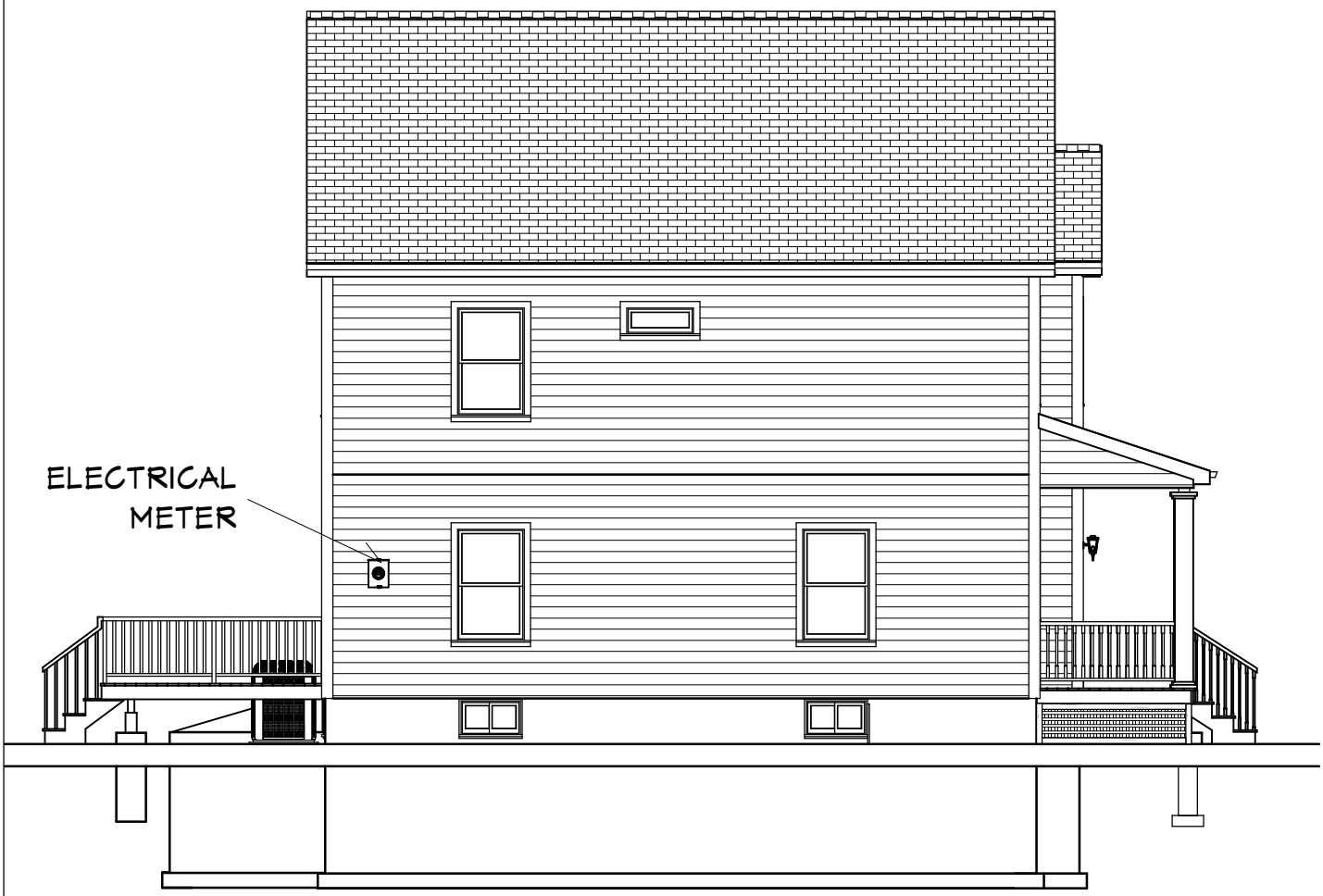
**OTHER PROJECTS**

*EXISTING CONDITIONS/DESCRIPTION*

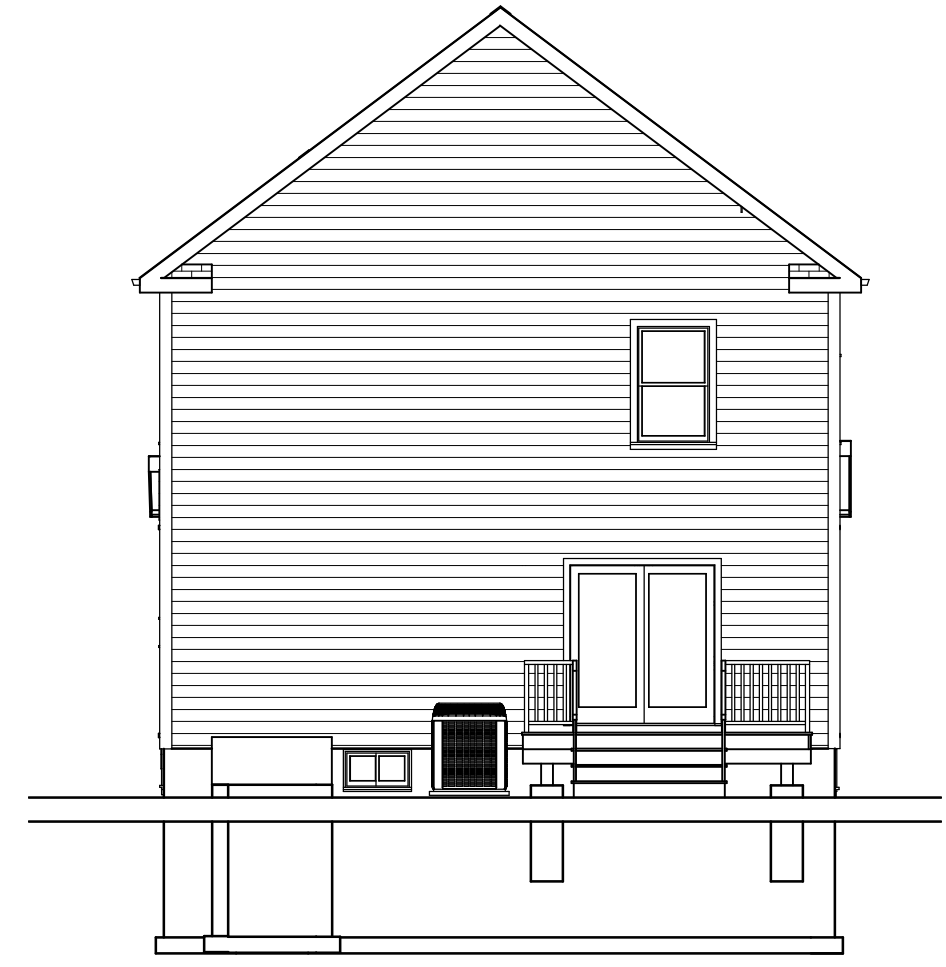
*PROPOSED CONDITIONS/DESCRIPTION*

To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. LAURA'S HOME DRAFTING AND DESIGN is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

DRAWING PREPARED FOR  
 Real estate investments Northeast LLC  
 900 Riverdale St. Suite 153  
 West Springfield MA 01089  
 LOCATION :Clarendon Street.  
 SPRINGFIELD MA



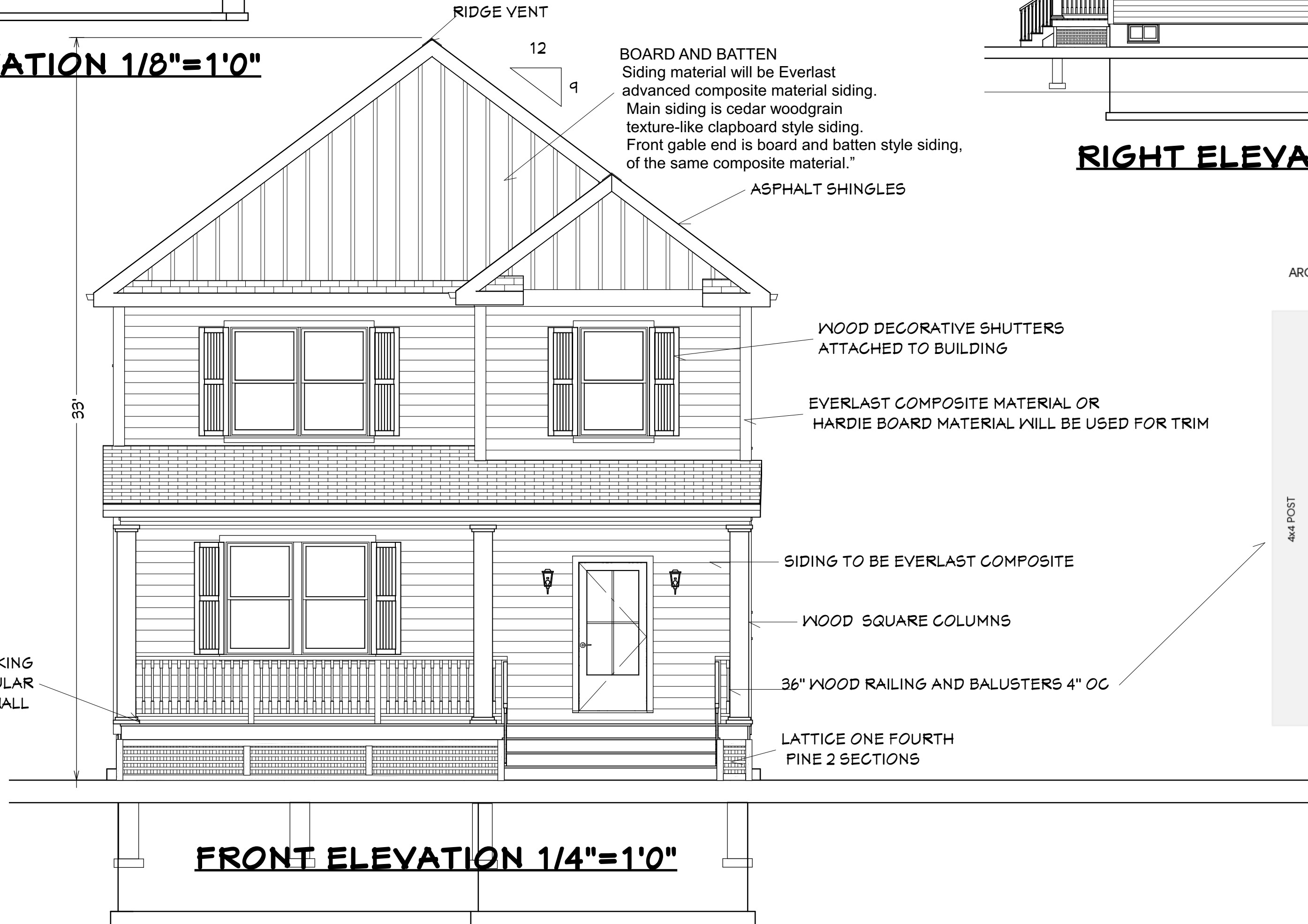
**LEFT ELEVATION 1/8"=1'0"**



**REAR ELEVATION 1/8"=1'0"**



**RIGHT ELEVATION 1/8"=1'0"**



**FRONT ELEVATION 1/4"=1'0"**

BOARD AND BATTEN  
 Siding material will be Everlast advanced composite material siding. Main siding is cedar woodgrain texture-like clapboard style siding. Front gable end is board and batten style siding, of the same composite material."

ASPHALT SHINGLES

WOOD DECORATIVE SHUTTERS ATTACHED TO BUILDING

EVERLAST COMPOSITE MATERIAL OR HARDIE BOARD MATERIAL WILL BE USED FOR TRIM

SIDING TO BE EVERLAST COMPOSITE

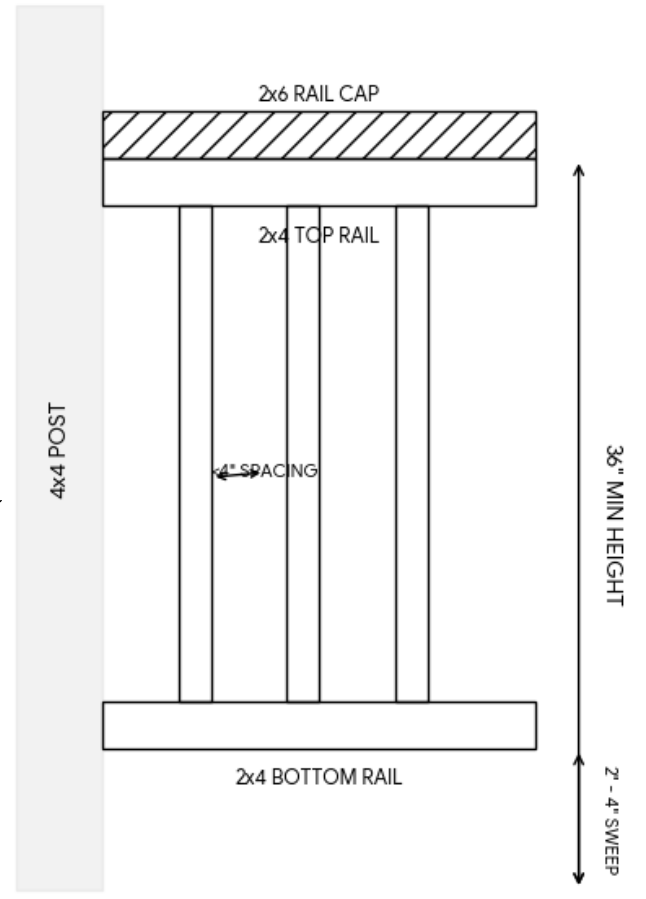
WOOD SQUARE COLUMNS

36" WOOD RAILING AND BALUSTERS 4" OC

LATTICE ONE FOURTH PINE 2 SECTIONS

DOUGLAS FIR 1X4 T&G DECKING RUNNING PERPENDICULAR TO THE HOUSE WALL

ARCHITECTURAL RAILING DETAIL - ELEVATION



**ELEVATIONS**

DRAWINGS PROVIDED BY  
 LAURA'S HOME DRAFTING AND DESIGN  
 220 TAYLOR ST. GRANBY, MA 01033 413-467-2949  
 BUILDING CODES REFERENCED:  
 TENTH EDITION CMR180  
 2021 INTERNATIONAL RESIDENTIAL CODE

DATE:

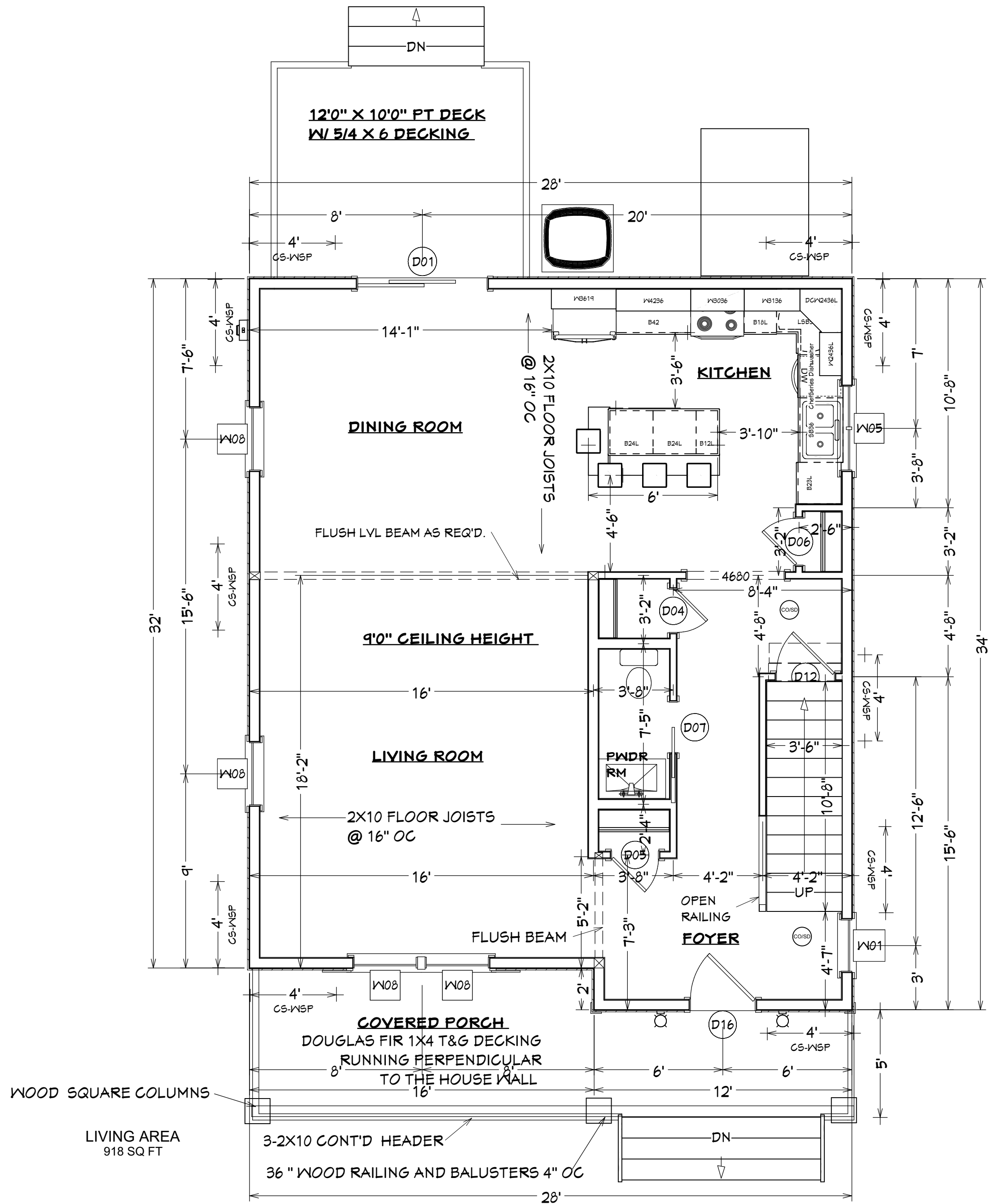
5/15/2026

SCALE:

1/4"=1'0"

SHEET:

**P-1**



DRAWING PREPARED FOR  
 Real estate investments Northeast LLC  
 900 Riverdale St. Suite 153  
 West Springfield MA 01089  
 LOCATION : Clarendon Street.  
 SPRINGFIELD MA

# FIRST FLOOR PLAN

DRAWINGS PROVIDED BY  
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 BUILDING CODES REFERENCED:  
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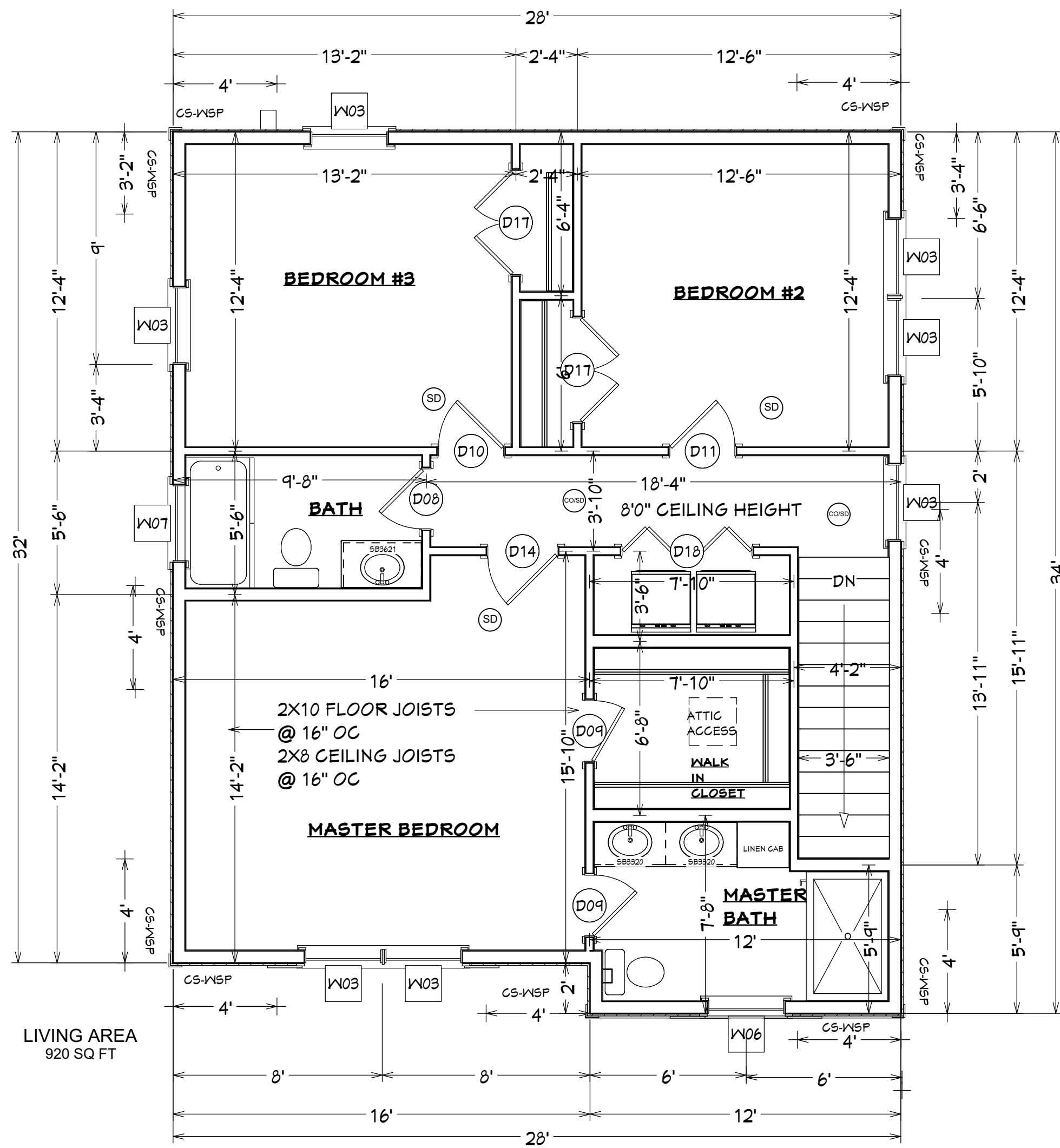
5/15/2026

SCALE:

1/4" = 1'0"

SHEET:

P-2



DRAWING PREPARED FOR  
 Real estate investments Northeast LLC  
 900 Riverdale St. Suite 153  
 West Springfield MA 01089  
 LOCATION : Clarendon Street.  
 SPRINGFIELD MA

# SECOND FLOOR PLAN

DRAWINGS PROVIDED BY  
 LAURA'S HOME DRAFTING AND DESIGN  
 220 TAYLOR ST. GRANBY, MA 01033 413-467-2844  
 BUILDING CODES REFERENCED:  
 TENTH EDITION CMR180  
 2021 INTERNATIONAL RESIDENTIAL CODE

DATE:

5/15/2026

SCALE:

1/4" = 1'0"

SHEET:

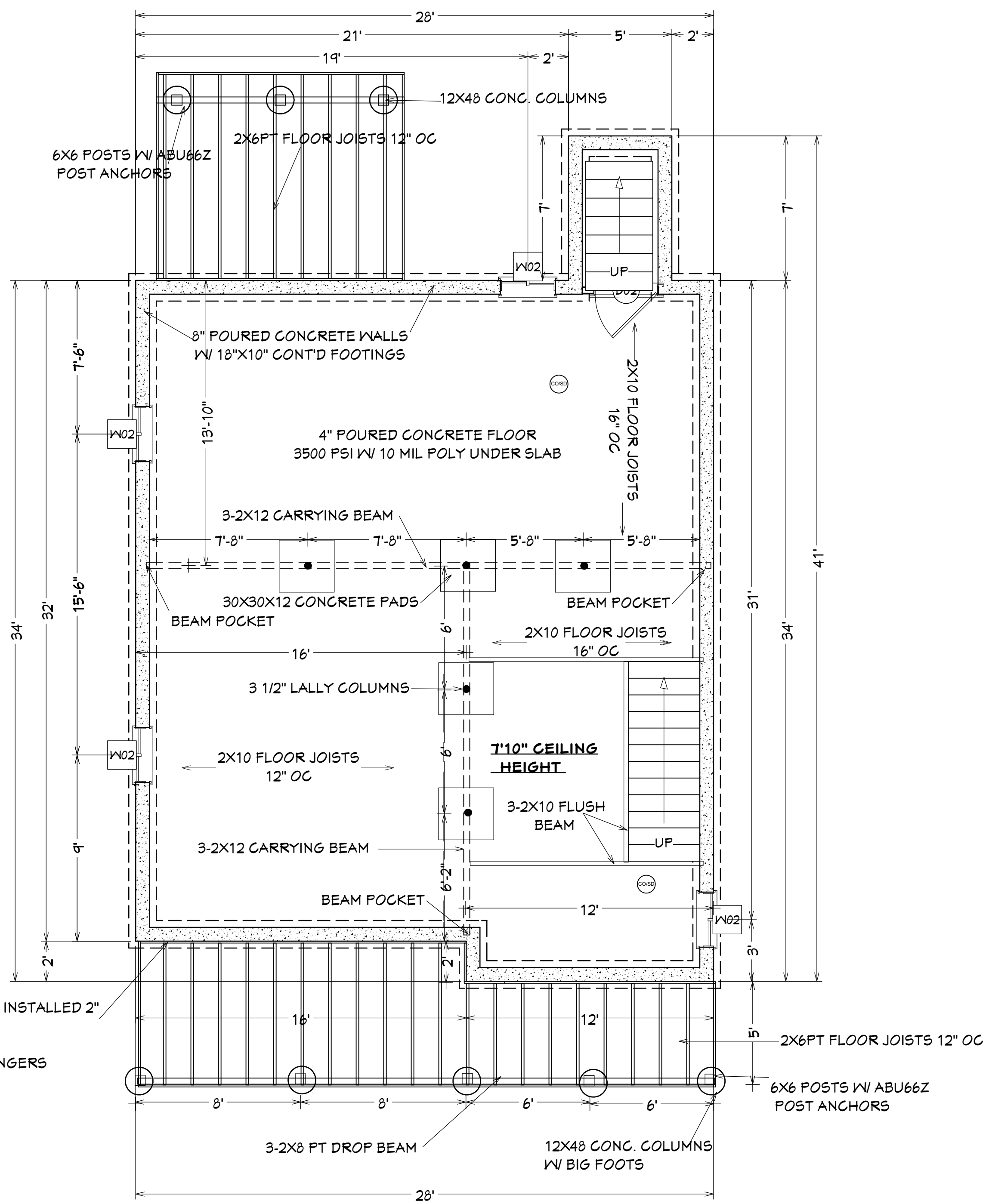
**P-3**

# FOUNDATION PLAN

2X10 PT LEDGER W/ 3 5/8" LEDGERLOKS INSTALLED 2" FROM TOP AND BOTTOM OF LEDGER BETWEEN 2" AND 5" FROM THE ENDS AND STAGGERED @ 12" OC W/ JOIST HANGERS

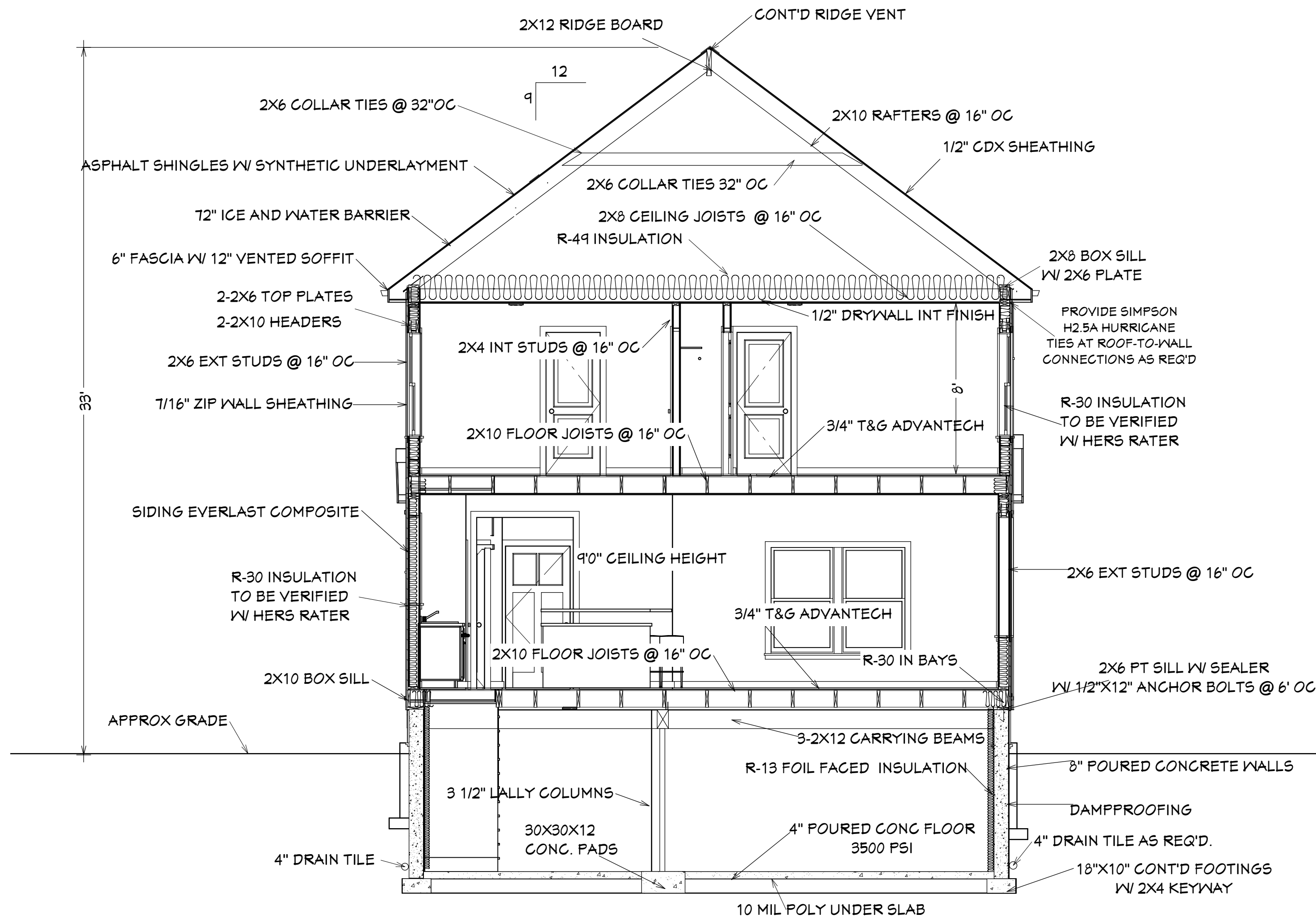
**NOTE : Mechanical Equipment**

- No equipment on the front facade.
- HVAC condensers located rear or minimally visible side elevation.
- Utility meters on side/rear.



**1. Foundation Detail**

*that all footings will extend a minimum of 48 inches below finished grade to comply with Massachusetts frost depth requirements.*



WINDOW SCHEDULE										
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER
W01	2626AW	1	1	2626AW	30"	30"	32"X32"		SINGLE AWNING	2X10X35" (2)
W02	2816LS	4	0	2816LS	32"	18"	34"X20"		LEFT SLIDING	2X10X34" (2)
W03	30410DH	7	2	30410DH	36"	58"	38"X60"		DOUBLE HUNG	2X10X41" (2)
W05	4034DC	1	1	4034DC	48"	40"	50"X42"		DOUBLE CASEMENT-LHL/RHR	2X10X53" (2)
W06	30410DH TEMP GLASS	1	2	30410DH	36"	58"	38"X60"		DOUBLE HUNG	2X10X41" (2)
W07	3012FX	1	2	3012FX	36"	14"	38"X16"		FIXED GLASS	2X10X41" (2)
W08	3050DH	4	1	3050DH	36"	60"	38"X62"		DOUBLE HUNG	2X10X41" (2)

DOOR SCHEDULE										
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	THICKNESS
D01	6068	1	1	6068 R EX	72"	80"	74"X83"	EXT. SLIDER-GLASS PANEL	2X10X77" (2)	1 3/4"
D02	3068	1	0	3068 L IN	36"	80"	38"X82 1/2"	HINGED-DOOR P04	2X10X41" (2)	1 3/8"
D04	2068	1	1	2068 L IN	24"	80"	26"X82 1/2"	HINGED-DOOR P04	2X10X29" (2)	1 3/8"
D05	2268	1	1	2268 R IN	26"	80"	28"X82 1/2"	HINGED-DOOR P04	2X10X31" (2)	1 3/8"
D06	2268	1	1	2268 L IN	26"	80"	28"X82 1/2"	HINGED-DOOR P04	2X10X31" (2)	1 3/8"
D07	2468	1	1	2468 L	28"	80"	57 1/4"X82 1/2"	POCKET-DOOR P04	2X10X60 1/4" (2)	1 3/8"
D08	2468	1	2	2468 R IN	27 5/8"	80"	29 5/8"X82 1/2"	HINGED-DOOR P04	2X10X32 5/8" (2)	1 3/8"
D09	2468	2	2	2468 R IN	28"	80"	30"X82 1/2"	HINGED-DOOR P04	2X10X33" (2)	1 3/8"
D10	2668	1	2	2668 R IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X10X35" (2)	1 3/8"
D11	2668	1	2	2668 L IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X10X35" (2)	1 3/8"
D12	2868	1	1	2868 R IN	32 3/16"	80"	34 3/16"X82 1/2"	HINGED-DOOR P04	2X10X37 3/16" (2)	1 3/8"
D14	2868	1	2	2868 L IN	32"	80"	34"X82 1/2"	HINGED-DOOR P04	2X10X37" (2)	1 3/8"
D16	3068	1	1	3068 R EX	36"	80"	38"X83"	EXT. HINGED-GLASS PANEL	2X10X41" (2)	1 3/4"
D17	4068	2	2	4068 L/R IN	48"	80"	50"X82 1/2"	DOUBLE HINGED-DOOR P04	2X10X53" (2)	1 3/8"
D18	5068	1	2	5068 L/R	60"	80"	62"X82 1/2"	4 DR. BIFOLD-SLAB	2X10X65" (2)	1 3/8"

DRAWING PREPARED FOR  
 Real estate investments Northeast LLC  
 900 Riverdale St. Suite 153  
 West Springfield MA 01089  
 LOCATION :Clarendon Street.  
 SPRINGFIELD MA

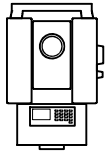
**CROSS SECTION  
 WIN AND DR SCH**

DRAWINGS PROVIDED BY  
 LAURA'S HOME DRAFTING AND DESIGN  
 220 TAYLOR ST. GRANBY, MA 01033 413-467-2949  
 BUILDING CODES REFERENCED:  
 TENTH EDITION CMR180  
 2021 INTERNATIONAL RESIDENTIAL CODE

DATE:  
 5/15/2026

SCALE:  
 1/4"=1'0"

SHEET:  
**P-5**



**NEW ENGLAND  
LAND SURVEY, INC.**

710 MAIN STREET  
NORTH OXFORD, MA 01537  
PHONE: (508) 987-0025

ZONE: RA1

MINIMUM FRONT SETBACK: 25'  
MINIMUM SIDE SETBACK: 10'  
MINIMUM REAR SETBACK: 35'  
MINIMUM FRONTAGE: 50'  
MINIMUM LOT SIZE: 10,000 SF  
MAXIMUM BUILDING COVERAGE: 35%

EXISTING BUILDING COVERAGE: 0%  
PROPOSED BUILDING COVERAGE: 17%

APPLICANTS:

REAL ESTATE INVESTMENTS  
NORTHEAST, LLC  
900 RIVERDALE STREET, STE 153  
WEST SPRINGFIELD, MA 01089  
PHONE: 413-316-5314

RECORD OWNERS:

PARCEL/MAP ID: 028200055  
CITY OF SPRINGFIELD  
DEED BOOK 16828 PAGE 558

**CONSTRUCTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AN OCCUPANCY OR EXCAVATION PERMIT FROM THE CITY ENGINEERING DIVISION.
2. ALL WORK PERFORMED IN THE CITY ROW SHALL CONFORM TO CITY STANDARDS AND DETAILS.
3. A PRECONSTRUCTION MEETING SHALL BE ARRANGED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. ATTENDEES AT MINIMUM SHALL INCLUDE THE CONTRACTOR, CITY ENGINEER, AND PROJECT APPLICANT/OWNER.
4. EROSION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED PRIOR TO CONSTRUCTION ACTIVITIES, AND SHALL BE MAINTAINED UNTIL PERMANENT VEGETATION AND SLOPE STABILIZATION IS ESTABLISHED.
5. APPLICANT SHALL NOTIFY THE CITY ENGINEER OF ANY MODIFICATIONS MADE TO THE PLOT PLAN, AND OF ANY SITE WORK CHANGES THAT DEVIATE FROM THE APPROVED DRAWINGS.
6. CONTRACTOR SHALL SAFELY MAINTAIN ALL VEHICULAR AND PEDESTRIAN TRAFFIC FLOW ON THE SITE, AND ON ALL PUBLIC STREETS AFFECTED BY CONSTRUCTION ACTIVITIES.
7. A FINAL INSPECTION MUST BE PERFORMED BY THE CITY OF SPRINGFIELD DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
8. SPRINGFIELD DEPARTMENT OF PUBLIC WORKS SITE PLAN APPROVAL SHALL NOT BE CONSTRUED AS ALL INCLUSIVE. APPLICANT IS RESPONSIBLE FOR CONTACTING OTHER DEPARTMENTS/OFFICES THAT MAY INCLUDE BUT NOT BE LIMITED TO THE PLANNING DEPARTMENT, BUILDING DEPARTMENT, CITY FORESTER, FIRE DEPARTMENT, POLICE DEPARTMENT, SPRINGFIELD WATER & SEWER COMMISSION, DEPARTMENT OF HEALTH AND HUMAN SERVICES, AND CONSERVATION COMMISSION.

**NOTES**

1. WE CERTIFY THAT THE BUILDING(S) ARE NOT WITHIN THE SPECIAL FLOOD HAZARD AREA. SEE FEMA FLOOD INSURANCE RATE MAP NUMBER 25013C0402E, REVISED 07/16/2013.
2. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ALL RESTRICTIONS AND ENCUMBRANCES THAT SUCH A REPORT MAY REVEAL.
3. UNLESS OTHERWISE NOTED HEREON, THIS SURVEY PLAN SHALL NOT BE CONSTRUED AS DEPICTING THE PRESENCE, ABSENCE, OR LIMITS OF ANY OR ALL REGULATED WETLANDS OR FLOODPLAINS. ANY SURFACE WATER FEATURES SHOWN, SUCH AS STREAMS OR PONDS, ARE NOT REPRESENTED AS INDICATING LIMITS OF WETLAND RESOURCE AREAS.
4. LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE IN THE FIELD, AND INFORMATION PROVIDED BY REFERENCES AS LISTED, VERIFY BY CONTRACTOR.
5. SEE SECTION 10.2.50, SIDE YARD EXEMPTIONS, PERMITTING A 5 FEET SIDE YARD IN THE RESIDENTIAL A-1 DISTRICT.
6. ELEVATIONS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988.
7. FOR A DESCRIPTION OF THE SUBJECT PARCEL, SEE DEED RECORDED WITH THE HAMPDEN REGISTRY OF DEEDS IN BOOK 1453 PAGE 461.

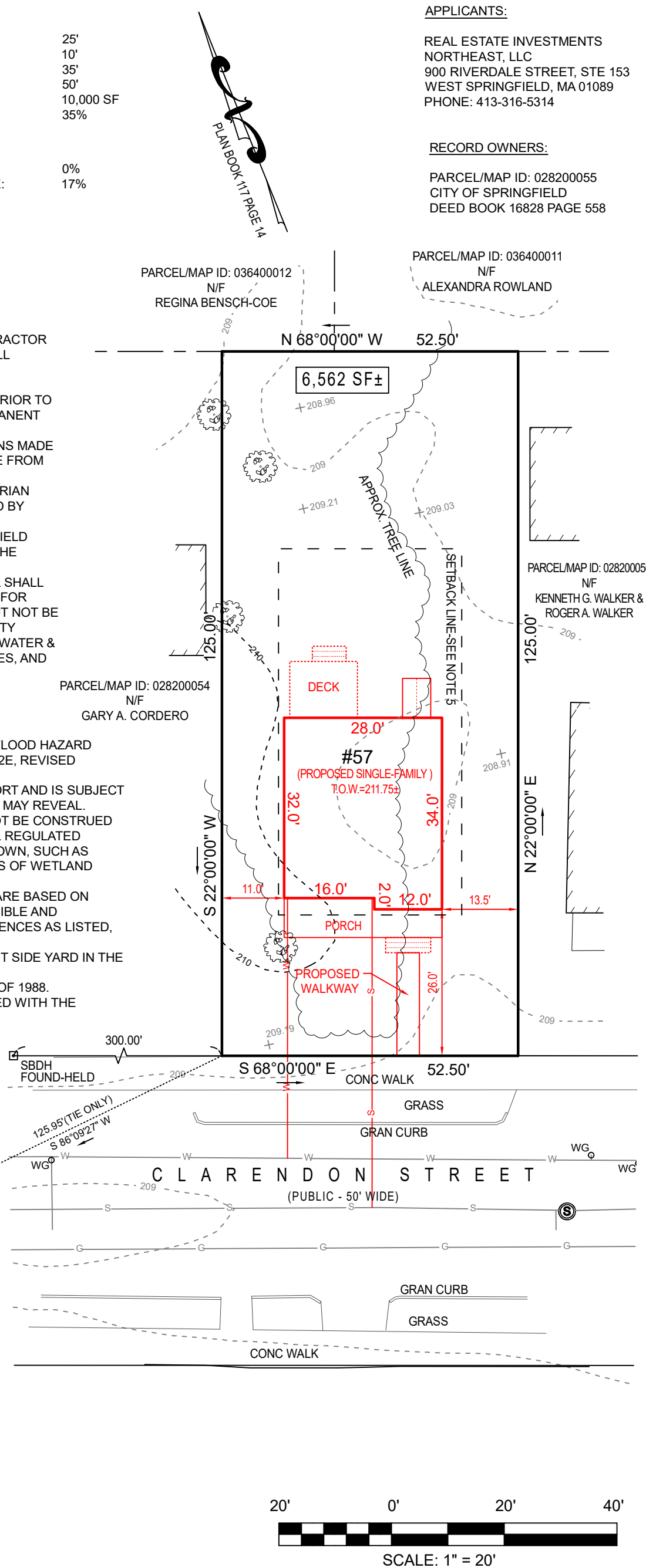
**REFERENCES**

1. PLAN BOOK 177 PAGE 14
2. PLAN BOOK M PAGE 16
3. ARCHITECTURAL DESIGN SET ENTITLED "DRAWINGS PREPARED FOR REAL ESTATE INVESTMENTS NORTHEAST, LLC," DRAWN BY "LAURA'S HOME DRAFTING AND DESIGN," DATED 04/29/2026, PROVIDED BY CLIENT.

**LEGEND**

- SBDH STONE BOUND/DRILL HOLE (FOUND)
- IRON PIPE IRON PIPE (FOUND)
- FENCE
- APPROX. UNDERGROUND WATER LINE
- APPROX. UNDERGROUND GAS LINE
- APPROX. UNDERGROUND SEWER LINE
- APPROX. OVERHEAD WIRES
- APPROX. UNDERGROUND ELECTRIC LINE
- UTILITY POLE
- GAS GATE
- WATER GATE
- TBM-A TEMPORARY BENCHMARK
- HYDRANT
- CATCH BASIN
- SEWER MANHOLE
- TREE

- TBM-A STONE BOUND WITH DRILL HOLE
- TBM-C SPIKE SET IN BASE OF TREE



**PROGRESS PRINT**  
(FOR REVIEW ONLY)

I CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LOCATION OF THE BUILDING AND DIMENSIONS AS SHOWN.

DATE: May 7, 2026

**CERTIFIED PLOT PLAN**  
OF LAND AT  
57 CLARENDON STREET  
CITY OF SPRINGFIELD, HAMPDEN COUNTY  
COMMONWEALTH OF MASSACHUSETTS  
PREPARED FOR APPLICANT: REAL ESTATE INVESTMENTS NORTHEAST, LLC

SCALE: 1" = 20'    DRAFT: DLM    FIELD: JP/GP    FILE: 26FS16-PC



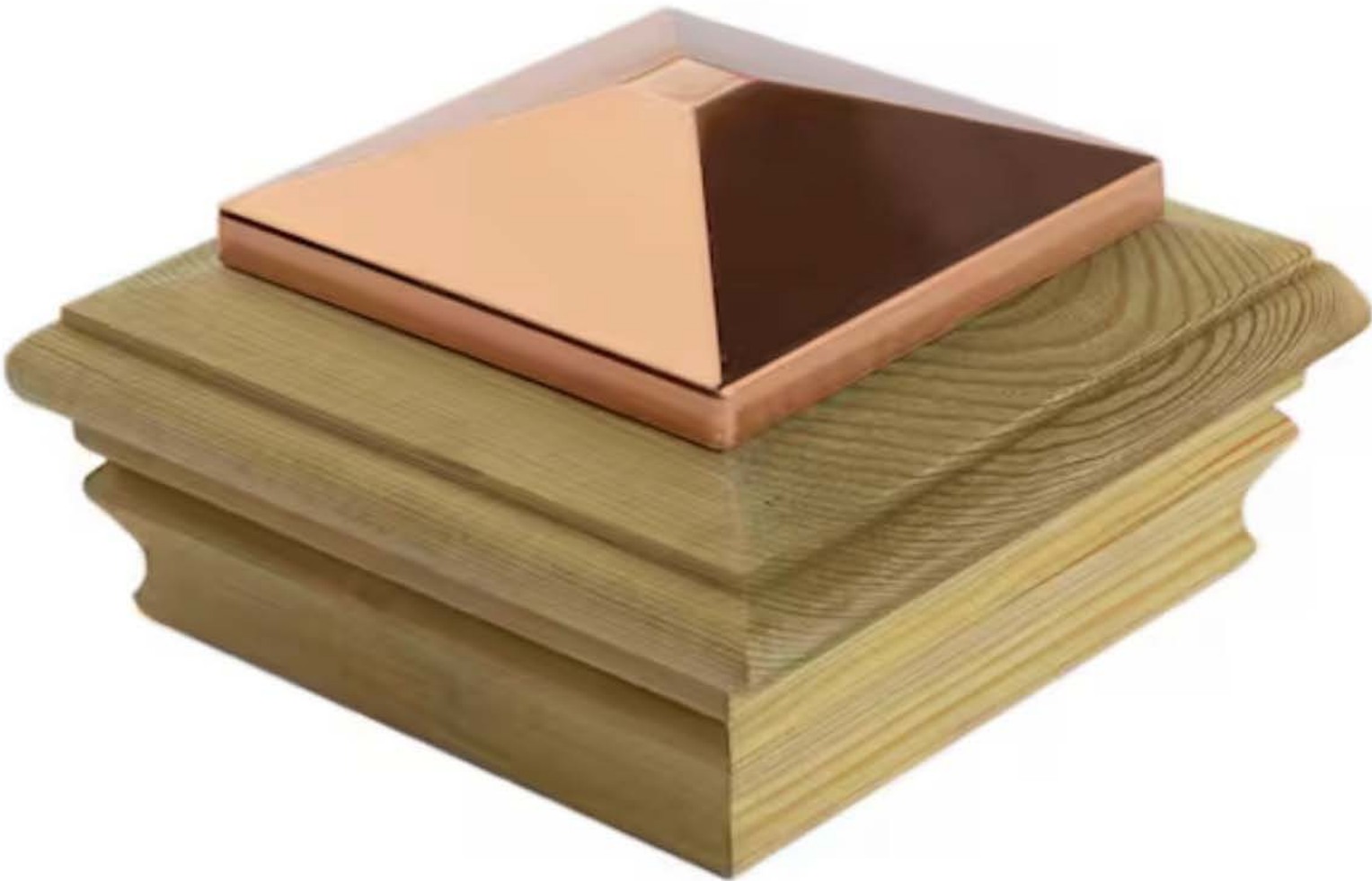
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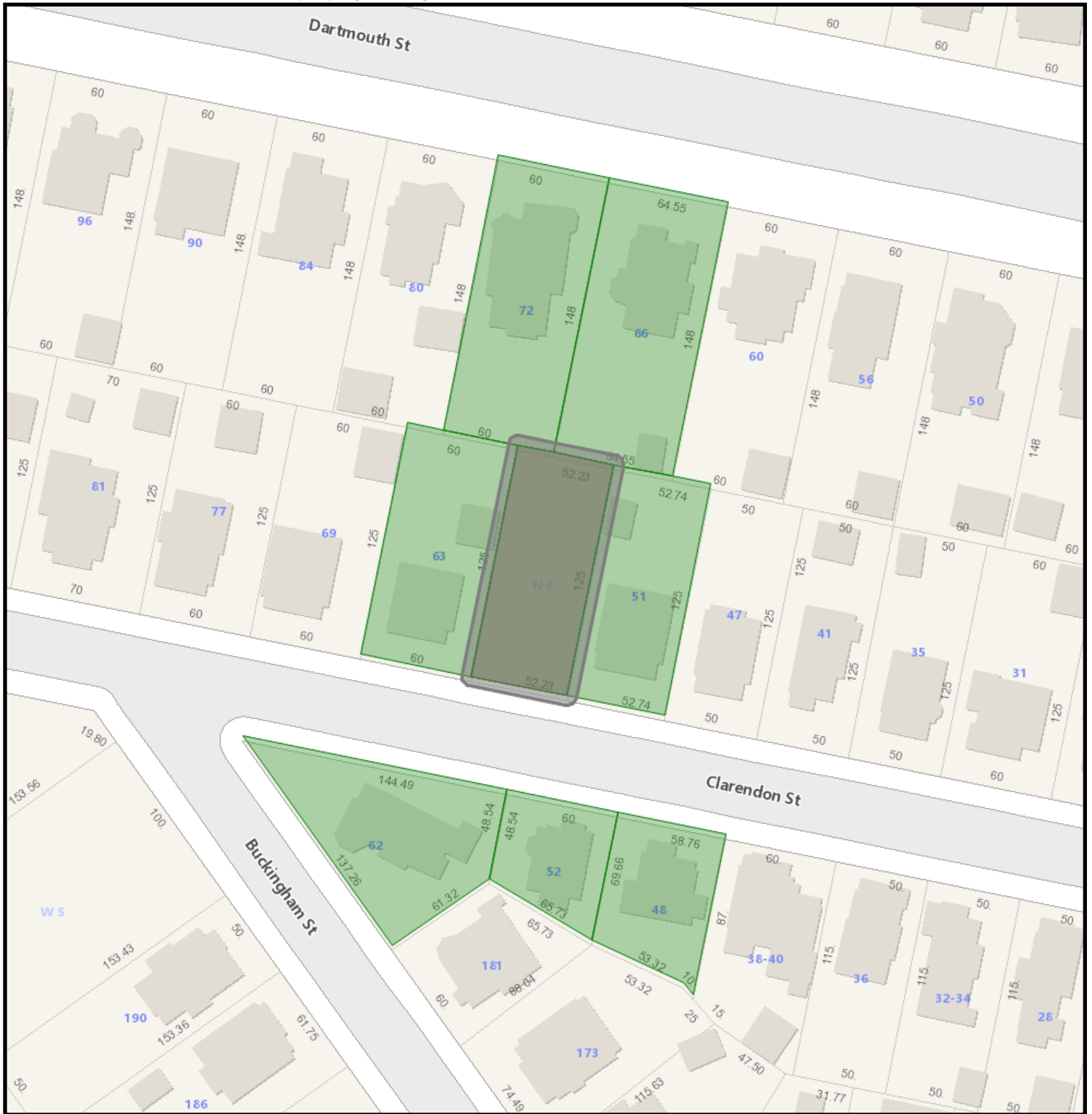


# 1 in. x 4 in. x 8 ft. Clear Vertical Grain Douglas Fir Flooring Board



★★★★☆ (19)  Questions & Answers (16)



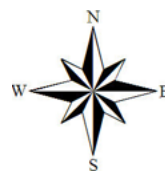


### NS Clarendon Street (02820-

5/6/2026 11:32:17 AM

Scale: 1"=75'

Scale is approximate



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028200008  
BURRELL STEPHEN  
48 CLARENDON ST  
SPRINGFIELD, MA 01109

036400012  
COE REGINA BENSCH-  
72 DARTMOUTH ST  
SPRINGFIELD, MA 01109

028200054  
CORDERO GARY A  
63 CLARENDON ST  
SPRINGFIELD, MA 01109

028200009  
HOBERT LAURA  
52 CLARENDON ST  
SPRINGFIELD, MA 01109

036400011  
ROWLAND ALEXANDRA  
66 DARTMOUTH ST  
SPRINGFIELD, MA 01109

028200055  
SPRINGFIELD CITY OF  
36 COURT ST  
SPRINGFIELD, MA 01103

028200056  
WALKER KENNETH G &  
51 CLARENDON ST  
SPRINGFIELD, MA 01109

028200012  
WORLD MARBIE & LAMONT C  
62 CLARENDON ST  
SPRINGFIELD, MA 01109



# Springfield Historical Commission



70 Tapley Street  
Springfield, MA 01104  
(413) 787-6020 (office)  
(413) 787-6524 (fax)

## APPLICATION CHECKLIST

**PROPERTY ADDRESS:** Parcel ID 02042-0022 Buckingham St Springfield MA 01109

Incomplete application will **NOT** be accepted and scheduled. A complete and valid application **MUST** contain the following information:

- 1) The type of Certificate the petitioner is seeking must be indicated (see Page 1);
- 2) The property owner's signature must appear on the application;
- 3) Relevant and applicable PHOTOGRAPHS, MATERIALS and PLANS specified on the Application

**CHECKLIST**



**APPLICATION**

Please complete the attached application and **PROVIDE ADDITIONAL PAGES IF NEEDED.**



**PICTURES OF EXISTING CONDITIONS**

Please provide color photographs of the project area's current condition. For example, should the project pertain to replacing windows, provide a photograph of what the current windows looks like.



**RENDERING OF PROPOSED PROJECT UPON COMPLETION**

Please provide a rendering of what the project will look like upon completion. For some products, such as siding, windows, doors, solar powered panels, HVAC systems (including heat pumps), this may include product details from the manufacturer and/or store or a brochure. For paint color-related projects, a sample of the color may suffice. For new construction, renderings from an architect are required.



**PRODUCT SPECIFICATIONS**

Please provide specifications for any products (e.g. doors, windows, siding, solar powered panels, HVAC systems, etc.) to be utilized during the project. Project details from the manufacturer and/or store, or a brochure, will suffice. *If available, please bring physical samples of the product to the meeting date.*



**LETTER OF AUTHORIZATION**

If the landowner is unable to attend the hearing, correspondence shall be submitted that authorizes a representative to speak on their behalf about the application.

For more information, visit the City's website: [www.springfield-ma.gov/planning/historic-comm](http://www.springfield-ma.gov/planning/historic-comm) or call the Office: (413) 787-6020.

OFFICE USE ONLY	
<b>LOCAL HISTORIC DISTRICT:</b> <span style="font-size: 1.2em; color: blue;">McKnight</span>	<b>DECISION:</b>
<b>DATE RECEIVED:</b> <span style="font-size: 1.2em; color: blue;">May 1, 2026</span>	<b>DECISION DATE:</b>
<b>HEARING DATE:</b> <span style="font-size: 1.2em; color: blue;">May 21, 2026</span>	<b>DATE DISCUSSED (NO HEARING):</b>
<b>DATE NOTICE POSTED:</b> <span style="font-size: 1.2em; color: blue;">May 7, 2026</span>	<b>WAIVED BY COMMISSION:</b>
<b>DATE NOTICE MAILED:</b> <span style="font-size: 1.2em; color: blue;">May 7, 2026</span>	<b>WAIVED BY ABUTTERS:</b>



# Springfield Historical Commission



70 Tapley Street  
Springfield, MA 01104  
(413) 787-6020 (office)  
(413) 787-6524 (fax)

## APPLICATION TYPE

**PROPERTY ADDRESS:** Parcel ID 02042-0022 Buckingham St Springfield MA 01109

### APPLICATION TYPE Certificate of Appropriateness



#### **CERTIFICATE OF APPROPRIATENESS**

Select this type of application for those changes that are in conformance with the guidelines and/or acceptable for the particular Local Historic District.



#### **CERTIFICATE OF HARDSHIP**

Select this type of application for those changes that are not appropriate with the underlying District guidelines, but which are necessary due to economic, physical, social, or other special conditions that apply to the individual property, but do not apply to the overall underlying District.



#### **CERTIFICATE OF NON-APPLICABILITY**

Select this type of application for those changes that affect features not controlled by the Commission (e.g. work that involves no change in materials, design or dimensions).



#### **ENVIRONMENTAL REVIEW (I.E. REVIEW OF A STRUCTURE IN A NATIONAL REGISTER DISTRICT/INDIVIDUAL BUILDING)**

Select this type of application for those changes that affect a structure in a National Register District, or a structure that is listed as a National Register Individual Building, that utilizes public funding (local, State, or federal). If the structure is both within a National Register District/Individual Building and a Local Historic District, select one of the application types above (Appropriateness, Hardship, Non-Applicability). If the structure contains a Preservation Restriction and is located within a National Register District/Individual Building, select the Preservation Agreement application type below.



#### **PRESERVATION AGREEMENT**

Selection this type of application if the structure contains a Preservation Restriction.



#### **PRESERVATION OF HISTORICALLY SIGNIFICANT BUILDINGS (DEMO DELAY)**

Select this type of application if the structure is more than 75 years old and are requesting that the nine (9) month demo delay restriction be lifted in order to commence demolition immediately.



#### **MUNICIPAL PROTOCOL**

Select this type of application if the structure relates to a municipally (City of Springfield) owned property, and the project will be facilitated by the municipality (City of Springfield).



#### **SECTION 106 REVIEW**

Select this type of application if the project is being submitted in accordance with Section 106.

**Recourse:** If a petitioner disagrees with a ruling by the Commission, he or she may, within twenty (20) days after filing the notice of such ruling with the City Clerk, appeal to the Superior Court or Housing Court, if applicable. On the other hand, the Historical Commission may, through Superior Court (or Housing Court), seek an injunction against any violation with a historic district's guidelines/standards. The Court may order the removal of any such violation, or the restoration of any building or feature altered or demolition in violation of a historic district's standards. Persons found guilty of any violations may be fined not less than ten dollars (\$10.00) or no more than five hundred dollars (\$500.00)



# Springfield Historical Commission



70 Tapley Street  
Springfield, MA 01104  
(413) 787-6020 (office)  
(413) 787-6524 (fax)

## APPLICATION FOR CERTIFICATE

<b>PROPERTY ADDRESS:</b> Parcel ID 02042-0022 Buckingham St Springfield MA 01109		<b>CHECK BOX IF THE PETITIONER REQUIRES AN INTERPRETER</b> <input type="checkbox"/>
<b>PROPERTY OWNER:</b> Real Estate Investments Northeast, LLC		
<b>OWNER ADDRESS:</b> <input type="checkbox"/> Check box if same as property address <b>900 Riverdale St Ste 153 West. Spr. MA 01089</b>		
<b>OWNER PHONE NUMBER:</b> 413-316-5314	<b>REPRESENTATIVE/CONTRACTOR NAME:</b>	
<b>OWNER EMAIL ADDRESS:</b> reinortheast@outlook.com	<b>REPRESENTATIVE/CONTRACTOR PHONE NUMBER:</b>	
<b>PROPERTY CODE:</b> 02042-0022	<b>REPRESENTATIVE/CONTRACTOR EMAIL ADDRESS:</b>	
<b>PROJECT DESCRIPTION (USE SEPARATE PAGE IF NEEDED):</b> New construction of a single family house, no garage. Please see house floor plans.		<b>PROPOSED MODIFICATIONS</b> (Please check all that apply)  <input type="checkbox"/> Windows (see Page 3) <input type="checkbox"/> Doors (see Page 4) <input type="checkbox"/> Siding (see Page 5) <input type="checkbox"/> Roofing (see Page 6) <input type="checkbox"/> Solar (see Page 6) <input type="checkbox"/> Signs (see Page 7) <input type="checkbox"/> Heat Pumps (see page 7) <input type="checkbox"/> Paint (see Page 8) <input type="checkbox"/> Renovations (e.g. Porches) (see Page 8) <input checked="" type="checkbox"/> New Construction (all of the above) <input type="checkbox"/> Other Projects (see Page 9):
<b>JUSTIFICATION FOR CERTIFICATE OF HARDSHIP (IF APPLICABLE) (USE SEPARATE PAGE IF NEEDED):</b>		

Check box if property owner will be in attendance at the hearing. If not, correspondence from the property owner authorizing a representative to present the application is required.

PROPERTY OWNER'S SIGNATURE

5/1/2026

DATE

## WINDOWS

Check box indicating that you are submitting an order sheet with renderings/brochure of the proposed windows.

Check box indicating that you are submitting photographs of the existing windows.

Check box indicating that you are aware of the City's Window Guidelines (click [here](#)).

Will the Dimensions of the Windows Change:  Yes (Please Provide Details Below Under Additional Information)  No

**PLEASE PROVIDE DETAILS ABOUT THE CONDITIONS OF THE CURRENT WINDOWS:**

**PLEASE PROVIDE THE REASON FOR WANTING TO REPLACE THE WINDOWS:**

**NUMBER OF WINDOWS TO BE REPLACED/ADDED:**

**NEW WINDOW MANUFACTURER:**

**MODEL NUMBER(S):**

**EXISTING**

**PROPOSED**

**MATERIAL** (e.g. wood, vinyl, aluminum, etc):

**EXTERNAL COLOR(S)** (e.g. black, white, etc):

**GRID PLACEMENT** (Interior or Exterior):

**GRID PATTERN** (e.g. two-over-two; six-over-one, etc):

**WINDOW STYLE(S)** (e.g. double-hung, etc):

**GLASS TYPE(S)** (e.g. single-pane, double-pane, etc):

**ADDITIONAL INFOMRATION:**



**NO PRICE COPY**  
**QUOTATION #3585918**

Date Entered: 5/1/2026  
Date Printed: 5/1/2026  
Printed By: Bill Bonini

**SOLD TO:**  
Dmitriy Dyachuk

**SHIP TO:**  
Dmitriy Dyachuk

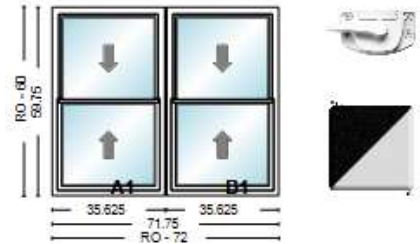
Kelly-Fradet Lumber #1  
587 North Main St  
East Longmeadow, MA 01028  
(413) 785-1558

Phone:  
Fax:

Phone:  
Fax:

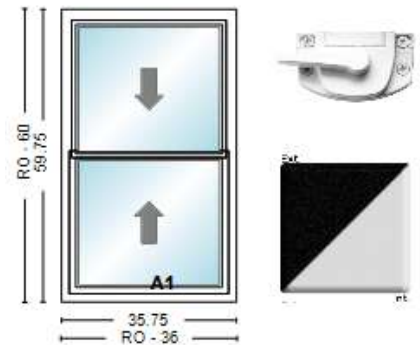
PO NUMBER	QUOTE NAME	PROJECT NAME
	clarendon 5500	Dmitriy Dyachuk

LineItem #	Qty.	Description
100-1	1	5500 Reflections Double Hung Twin 71.75" X 59.75" Operation = Operating / Operating, Operation = Operating, Frame = Integral J with Fin, Ext. Color = Black (Laminate), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 3/4"IGU, Glass Thickness = 3/32 in - 3/32 out SS, Upper = Annealed, Lower = Annealed, Locks = 2, White, Cam, Air Latches = 2, Screen Coverage = Full, Fiberglass, Extruded, U-Factor = 0.29, SHGC = 0.26, VT = 0.5, STC = 0, CPD Number = SBP-A-44-104020-00001, Meets Energy Star Zones = None, DP = 50, AAMA, TDI = WIN-1308, Florida Approval Code = 5167 , Factory, 1/2 in H-Mullion (Vertical)



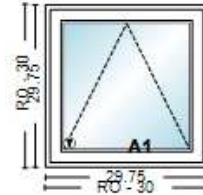
Initials: \_\_\_\_\_

LineItem #	Qty.	Description
200-1	2	5500 Reflections Double Hung 35.75" X 59.75" Operation = Operating, Frame = Integral J with Fin, Ext. Color = Black (Laminate), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 3/4"IGU, Glass Thickness = 3/32 in - 3/32 out SS, Upper = Annealed, Lower = Annealed, Locks = 2, White, Cam, Air Latches = 2, Screen Coverage = Full, Fiberglass, Extruded, U-Factor = 0.29, SHGC = 0.26, VT = 0.5, STC = 0, CPD Number = SBP-A-44-104020-00001, Meets Energy Star Zones = None, DP = 50, AAMA, TDI = WIN-1308, Florida Approval Code = 5167



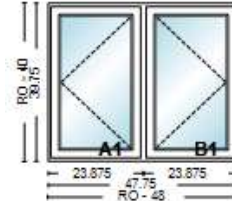
Initials: \_\_\_\_\_

LineItem #	Qty.	Description
300-1	1	5500 Reflections Awning 29.75" X 29.75"
RO:		Operation = Operating, Frame = Integral J with Fin,
30 x 30		Ext. Color = Black (Laminate), Int. Color = White,
Room ID:		Glass Package = Standard Glass Options, ProSolar
Custom		Low E, Argon, Intercept, 3/4"IGU, Glass Thickness
W01 TEMP		= 1/8 in - 1/8 out DS, Tempered, White, Flush Mount
		Crank, Coastal Hardware, Screen Coverage = Full,
		Fiberglass, Extruded, U-Factor = 0.27, SHGC =
		0.25, VT = 0.44, STC = 0, CPD Number = SBP-A-
		62-23291-00001, Meets Energy Star Zones = None,
		DP = 50, AAMA, TDI = WIN-1199, Florida
		Approval Code = 5185



Initials: \_\_\_\_\_

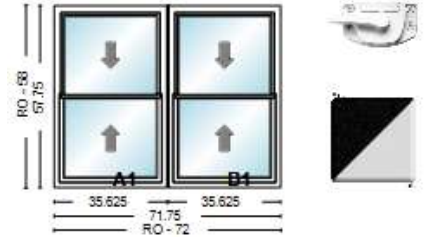
LineItem #	Qty.	Description
400-1	1	5500 Reflections Double Casement 47.75" X 39.75"
RO:		Operation = Left / Right, Unit 1: Operation = Left,
48 x 40		Unit 2: Operation = Right, Frame = Integral J with
Room ID:		Fin, Ext. Color = Black (Laminate), Int. Color =
Kitchen		White, Glass Package = Standard Glass Options,
		ProSolar Low E, Argon, Intercept, 3/4"IGU, Glass
		Thickness = 3/32 in - 3/32 out SS, Annealed, White,
		Flush Mount Crank, Coastal Hardware, Screen
		Coverage = Full, Fiberglass, Extruded, U-Factor =
		0.27, SHGC = 0.25, VT = 0.44, STC = 0, CPD
		Number = SBP-A-61-23288-00001, Meets Energy
		Star Zones = None, DP = 50, AAMA, TDI = WIN-
		1309, Florida Approval Code = 107 , Common
		Frame, T-Mullion (Vertical)



Initials: \_\_\_\_\_

LineItem #	Qty.	Description
500-1	2	5500 Reflections Double Hung Twin 71.75" X 57.75" Operation = Operating / Operating, Operation = Operating, Frame = Integral J with Fin, Ext. Color = Black (Laminate), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 3/4"IGU, Glass Thickness = 3/32 in - 3/32 out SS, Upper = Annealed, Lower = Annealed, Locks = 2, White, Cam, Air Latches = 2, Screen Coverage = Full, Fiberglass, Extruded, U-Factor = 0.29, SHGC = 0.26, VT = 0.5, STC = 0, CPD Number = SBP-A-44-104020-00001, Meets Energy Star Zones = None, DP = 50, AAMA, TDI = WIN-1308, Florida Approval Code = 5167 , Factory, 1/2 in H-Mullion (Vertical)

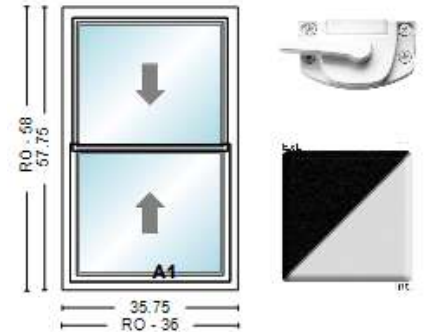
RO:  
72 x 58  
Room ID:  
Custom  
W03



Initials: \_\_\_\_\_

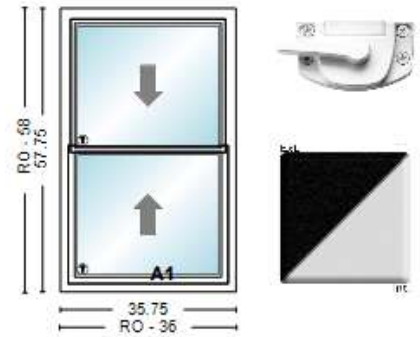
LineItem #	Qty.	Description
600-1	2	5500 Reflections Double Hung 35.75" X 57.75" Operation = Operating, Frame = Integral J with Fin, Ext. Color = Black (Laminate), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 3/4"IGU, Glass Thickness = 3/32 in - 3/32 out SS, Upper = Annealed, Lower = Annealed, Locks = 2, White, Cam, Air Latches = 2, Screen Coverage = Full, Fiberglass, Extruded, U-Factor = 0.29, SHGC = 0.26, VT = 0.5, STC = 0, CPD Number = SBP-A-44-104020-00001, Meets Energy Star Zones = None, DP = 50, AAMA, TDI = WIN-1308, Florida Approval Code = 5167

RO:  
36 x 58  
Room ID:  
Custom  
W03



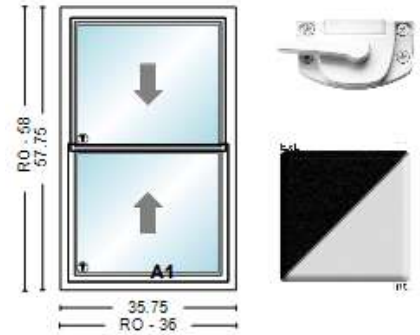
Initials: \_\_\_\_\_

LineItem #	Qty.	Description
700-1	1	5500 Reflections Double Hung 35.75" X 57.75"
RO:		Operation = Operating, Frame = Integral J with Fin,
36 x 58		Ext. Color = Black (Laminate), Int. Color = White,
Room ID:		Glass Package = Standard Glass Options, ProSolar
Custom		Low E, Argon, Intercept, 3/4"IGU, Glass Thickness
W06 TEMP		= 1/8 in - 1/8 out DS, Upper = Tempered, Lower =
		Tempered, Locks = 2, White, Cam, Air Latches = 2,
		Screen Coverage = Full, Fiberglass, Extruded, U-
		Factor = 0.29, SHGC = 0.26, VT = 0.49, STC = 30,
		CPD Number = SBP-A-44-104024-00001, Meets
		Energy Star Zones = None, DP = 50, AAMA, TDI =
		WIN-1308, Florida Approval Code = 5167



Initials: \_\_\_\_\_

LineItem #	Qty.	Description
800-1	1	5500 Reflections Double Hung 35.75" X 57.75"
RO:		Operation = Operating, Frame = Integral J with Fin,
36 x 58		Ext. Color = Black (Laminate), Int. Color = White,
Room ID:		Glass Package = Standard Glass Options, ProSolar
Hall/Stairwell		Low E, Argon, Intercept, 3/4"IGU, Glass Thickness
		= 1/8 in - 1/8 out DS, Upper = Tempered, Lower =
		Tempered, Locks = 2, White, Cam, Air Latches = 2,
		Screen Coverage = Full, Fiberglass, Extruded, U-
		Factor = 0.29, SHGC = 0.26, VT = 0.49, STC = 30,
		CPD Number = SBP-A-44-104024-00001, Meets
		Energy Star Zones = None, DP = 50, AAMA, TDI =
		WIN-1308, Florida Approval Code = 5167



Initials: \_\_\_\_\_

LineItem #	Qty.	Description
900-1	1	5500 Reflections Picture 35.75" X 13.75" Operation = Fixed, Frame = Integral J with Fin, Ext. Color = Black (Laminate), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 3/4"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Tempered, Screen Coverage = None, U-Factor = 0.27, SHGC = 0.28, VT = 0.54, STC = 0, CPD Number = SBP-A-43-51118-00001, Meets Energy Star Zones = None, DP = 65, AAMA, TDI = WIN-1270, Florida Approval Code = 5177

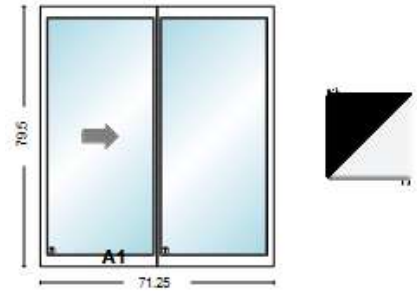
RO:  
36 x 14  
Room ID:  
Custom  
W07 TEMP



Initials: \_\_\_\_\_

LineItem #	Qty.	Description
1000-1	1	Narrow Frame Patio Door (2-Lite) 71.25" X 79.5" 6068 Operation = Left Opening (XO), Frame = Integral Brickmould w/Nail Fin, Ship Doors Assembled, Ext. Color = Black (Painted), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 3/4"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Tempered, Brushed Nickel, Keyed Locks, Door Handle = Standard, Rollers = Corrosion Resistant Roller/Glide, Screen Coverage = Half, Fiberglass, Extruded, Wrap Screens Separate, U-Factor = 0.28, SHGC = 0.31, VT = 0.57, CPD Number = SBP-A-39-22033-00001, Meets Energy Star Zones = None, DP = 35, AAMA, TDI = DR-138, Florida Approval Code = 7612

RO:  
72 x 80  
Room ID:



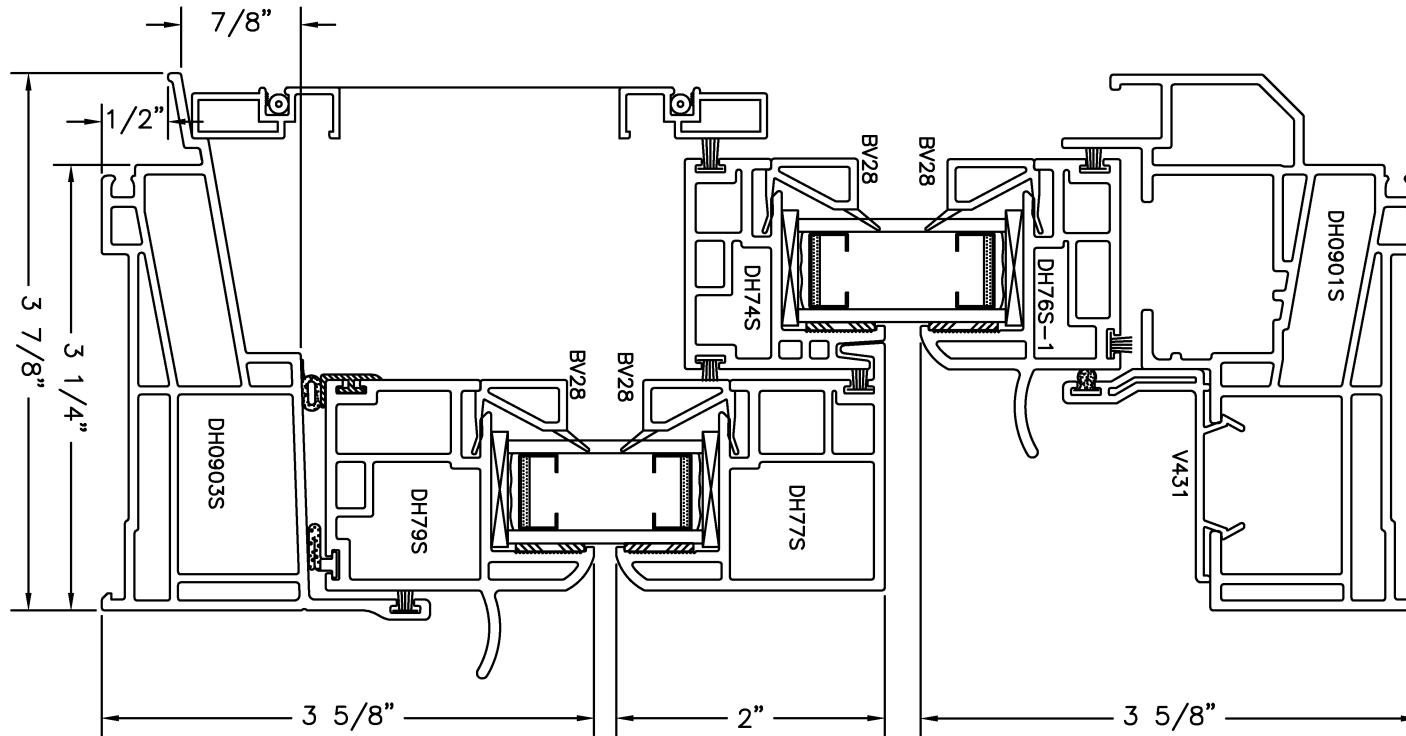
Initials: \_\_\_\_\_

13 Total Qty Units

Comment:

Submitted by: \_\_\_\_\_ Accepted by: \_\_\_\_\_ Date \_\_\_\_\_

REV. #	REVISIONS:	REVISED BY:	DATE:
14	ADDED STORMBREAKER TO TITLE BLOCK.	GLS	03/20/07
15	REPLACED RE0044 ALUMINUM WITH 56110.	T.D.D.	06/29/07
16	UPDATED PROFILE BV28.	T.D.D.	04/01/08
17	CHANGED H9 LOCK RAIL REINFORCEMENT FROM 60911 TO 51185.	T.D.D.	03/06/09
18	REMOVED STORMBREAKER 100VL FROM THE SERIES IN THE TITLE BLOCK.	T.D.D.	09/22/10



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FILE: 0248

**MATERIAL:**

RMS FINISH:	EXCEPT AS NOTED
ALLOY & TEMPER:	
WEIGHT:	VOLUME:
SURFACE AREA:	PERIMETER:
FINISH TREATMENT:	

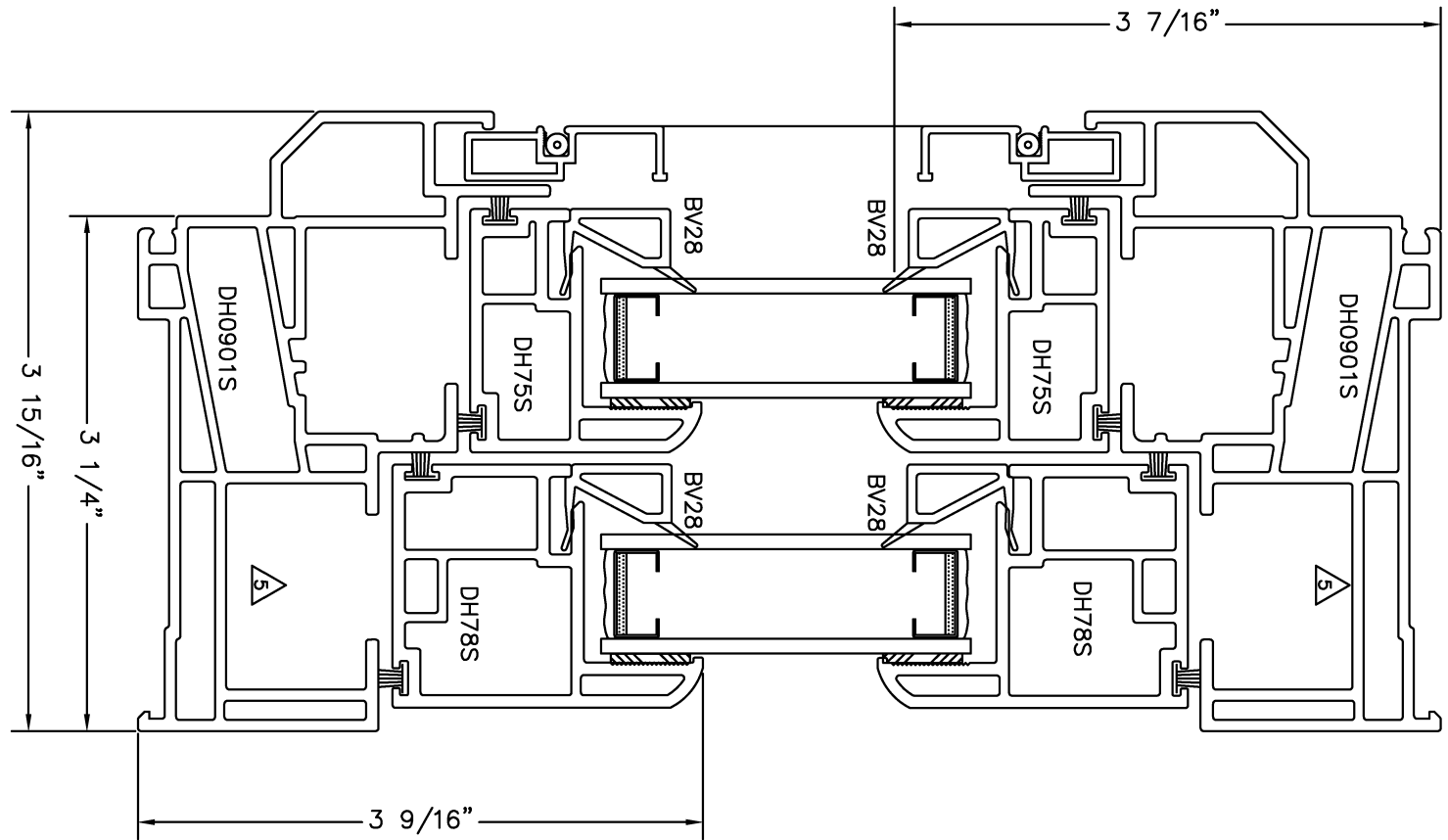
**Dimensional Tolerances Unless Otherwise Specified**

Decimals	Angles
.X ± .03	
.XX ± .01	0° ± 30 min.
.XXX ± .005	

1 Cochrane Avenue  
Pennsboro, WV 26415

SIZE: A	DRAWING NO.: 0248	REV.: 18
DRAWN BY: R.T.W.	DATE: 10/16/96	
CHECKED BY:	DATE:	
APPRVD BY:	DATE:	
SHEET: 1 of 1	SERIES: 5500 DOUBLE HUNG	
TITLE: VERTICAL ASSEMBLY DRAWING		

REV. #	REVISIONS:	REVISED BY:	DATE:
5	CHANGED DH71S TO DH0901S, CARIBOU TO HOOK-A-BOU	RTW	05/01/02
6	ADDED "/79" TO FLAG ON STEEL REINF.	P.A.T.	01/16/04
7	ADDED STORMBREAKER TO TITLE BLOCK.	GLS	3/21/07
8	UPDATED BV28 GLAZING BEAD PROFILE.	T.D.D.	04/01/08
9	REMOVED STORMBREAKER 100VL FROM THE SERIES IN THE TITLE BLOCK.	T.D.D.	09/22/10



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FILE: 0249

**MATERIAL:**

RMS FINISH:	
ALLOY & TEMPER:	EXCEPT AS NOTED
WEIGHT:	VOLUME:
SURFACE AREA:	PERIMETER:
FINISH TREATMENT:	

**Dimensional Tolerances Unless Otherwise Specified**

Decimals	Angles
.X ± .03	
.XX ± .01	0° 30 min.
.XXX ± .005	



SIZE: A	DRAWING NO.: 0249	REV.: 9
DRAWN BY: RTW	DATE: 10/16/96	
CHECKED BY:	DATE:	
APPRVD BY:	DATE:	
SERIES: 5500 DOUBLE HUNG		
TITLE: HORIZONTAL ASSEMBLY DRAWING		

## DOORS

Check box indicating that you are submitting an order sheet with renderings/brochure of the proposed door(s).

Check box indicating that you are submitting photographs of the existing door(s).

Will the Dimensions of the Door(s) Change:     Yes (Please Provide Details Below Under Additional Information)     No

**PLEASE PROVIDE DETAILS ABOUT THE CONDITIONS OF THE CURRENT DOOR(S):**

**PLEASE PROVIDE THE REASON FOR WANTING TO REPLACE THE DOOR(S):**

**NUMBER OF DOOR(S) TO BE REPLACED/ADDED:**

**NEW DOOR MANUFACTURER:**

**MODEL NUMBER(S):**

**EXISTING**

**PROPOSED**

**MATERIAL** (e.g. steel, fiberglass, etc):

**EXTERNAL COLOR(S)** (e.g. black, white, etc):

**DOOR STYLE(S)** (e.g. colonial, etc):

**PANEL PATTERN** (e.g. single; two panel, etc):

**GLASS PLACEMENT:**

**GLASS TYPE(S)** (e.g. single-pane, double-pane, etc):

**ADDITIONAL INFOMRATION:**

Take a look at these fresh spring savings. Shop Now >



What can we help you find?



Shop All HomeCare+ *New* Appliances Bathroom Building Supplies Doors & Windows Lawn & Garden Outdoor Tools Plumbing Flooring Lightin

E. Springfield Lowe... 10 PM ▾ 27284 ▾

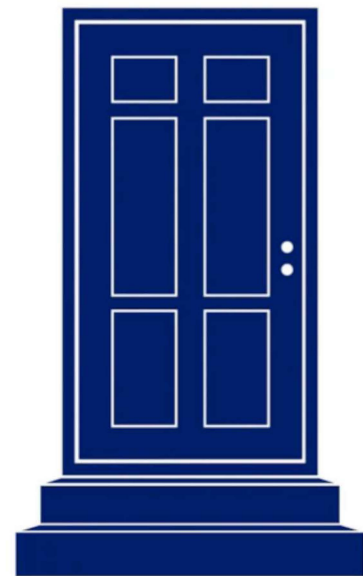


Prices, Promotions, styles, and availability may vary. Our local stores do not honor online pricing. Prices and availability of products and ser are subject to change without notice. Errors will be corrected where discovered, and Lowe's reserves the right to revoke any stated offer and correct any errors, inaccuracies or omissions including after an order has been submitted.

[Windows & Doors](#) / [Exterior Doors](#) / [Front Doors](#)

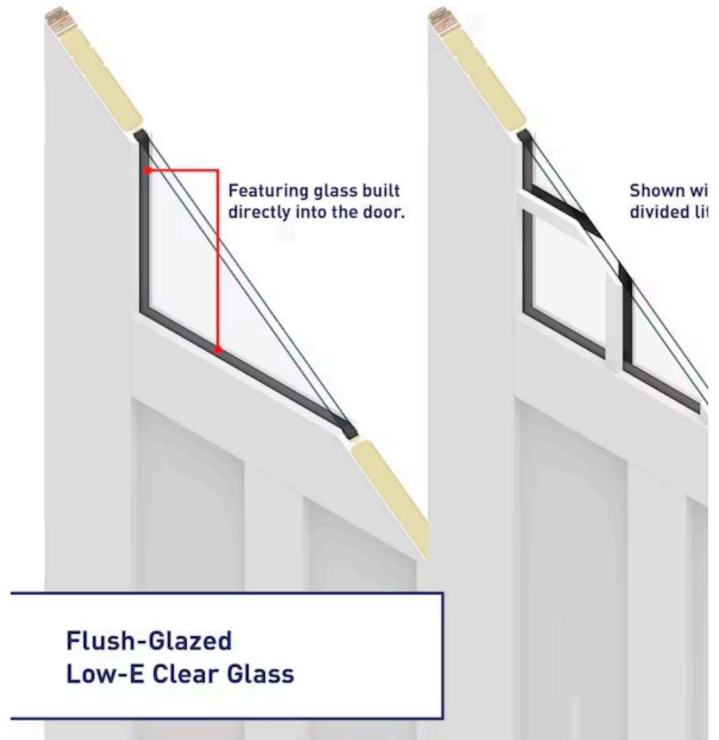


Prehung Front Door - Left Hand Inswing





THERMA-TRU DOORS



[View All Images](#)

**What's Included**



Jamb Width: 4-9/16-in



Lockset Bore: Double



Adjustable Sill



Weatherstripping

[See More](#)

**At a Glance**



Finish: Painted



Material: Fiberglass



Privacy Rating: 1



Handing: Left-hand inswing

[View More](#)

**Trending Now**

80+ bought last week

Therma-Tru Entry Door 36-in x 80-in x 4-9/16-in Fiberglass Left-hand inswing Black Painted Prehung Residential Insulating core Front Door  
Item #5459131 | Model #TT648793

[Shop Therma-Tru](#)

★ ☆ 4.2 128

**\$924<sup>.00</sup>**



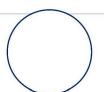
\$877.80 When you choose 5% savings on eligible purchases every day.

[Learn How](#)

OR

\$154/mo Suggested payments with 6 month special financing.

[Learn How](#)



**LOWE'S** Buy Now, Pay Later  
**Pay** As low as 0% APR for \$79.10/mo [Learn How](#)

**a** As low as \$58/mo or 0% APR with **affirm**. [See If You Qualify](#)

Manufacturer Color/Finish: Black



Jamb Width Measurement: 4-9/16-in

4-9/16-in

6-9/16-in

Handing: Left-hand inswing

Left-hand inswing

Right-hand inswing

Brickmould Included: Yes

No

Yes

Get It Installed

Pickup

within 3 hrs  
1 available  
**FREE**



Delivery

Tomorrow  
2 available

FREE Pickup at E. Springfield Lowe's  
[Check Other Stores](#)

View on map [Aisle 47 | Bay 7](#)

— 1 +

Add to Cart

**e** Members save more. [Sign in or join for FREE](#)

Here are some similar items ...



**RELIABILT** 36-in x 80-in x 4-9/16-in  
Steel Right-hand inswing...

★★★★☆ 39

\$486<sup>50</sup>

+ Add to Cart



**Therma-Tru** 36-in x 80-in x 4-9/16-in  
Fiberglass Left-hand inswing...

★★★★☆ 129

\$674<sup>00</sup>

+ Add to Cart



**RELIABILT** 36-in x 80-in x 4-9/16-in  
Steel Left-hand inswing Prehun...

★★★★☆ 62

\$347<sup>00</sup>

+ Add to Cart



**Therma-Tru** 36-in x 80-in x 4-9/16-in  
Fiberglass Right-hand inswin...

★★★★☆ 128

\$674<sup>00</sup>

+ Add to Cart

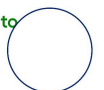


**Therma-Tru** Entry Door  
80-in x 4-9/16-in Fiberglass

★★★★☆ 51

\$848<sup>00</sup>

+ Add to Cart



## SIDING



Check box indicating that you are submitting an order sheet with renderings of the proposed siding.



Check box indicating that you are submitting photographs of the existing siding.

<b>NEW SIDING MANUFACTURER:</b>	Everlast
<b>MODEL NUMBER(S):</b>	NA
<b>BUILDING SIDE(S) FOR PROPOSED SIDING:</b>	Entire dwelling

	EXISTING	PROPOSED
<b>MATERIAL</b> (e.g. wood, stucco, brick, non-wood shingle):	NA	Everlast composite siding
<b>SIDING PATTERN</b> (e.g. clapboard, bevel etc):	NA	see house plans for details
<b>WINDOW CASING DIMENSIONS:</b>	NA	
<b>DOOR CASING DIMENSIONS:</b>	NA	
<b>CORNER BOARD DIMENSIONS:</b>	NA	
<b>CORNICES DIMENSIONS:</b>	NA	
<b>FRIEZE BOARD DIMENSIONS:</b>	NA	
<b>SHUTTER DIMENSIONS:</b>	NA	NA

**PLEASE PROVIDE DETAILS ABOUT THE CONDITIONS OF THE EXISTING SIDING:**

NA

**PLEASE PROVIDE THE REASON FOR WANTING TO REPLACE THE SIDING:**

New construction.

**ADDITIONAL INFORMATION:**

New Everlast Composite siding, brochure attached.

Make A  
Lasting Impression

  
**EVERLAST®**  
*Advanced Composite Siding*



[www.EverlastSiding.com](http://www.EverlastSiding.com)

Everlast® Call Center Support Line  
1-844-494-7920

Everlast® Advanced Composite Siding is a premium product proudly manufactured by Chelsea Building Products in the USA. Founded in 1975 and headquartered in Oakmont, Pennsylvania, Chelsea Building Products is a leading US manufacturer of exterior building products and components incorporating advanced composite materials.



Everlast® Lap Siding  
Everlast® Board & Batten Siding  
Flagstone

Everlast®, C CORE®, and CedarTouch® are registered trademarks of Chelsea Building Products. All rights reserved. Chelsea Building Products reserves the right to alter, modify, or discontinue items from time to time without notice.  
All products made in the USA.



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CBPEV-7-2021-HB

**Building Code Compliance**  
CCRR (Code Compliance Report) # CCRR-0201  
ASTM E84  
ASTM D635 (Class CC1)  
ASTM D-1929  
DBPR (Florida Building Code) #FL22980  
TDI (Texas Department of Insurance) #EC-107

  
**EVERLAST®**  
*Advanced Composite Siding*

## Time to Love Your Home...for Life

Nothing on the market compares to Everlast siding or the value it provides homeowners. Imagine your home beautifully clad in upscale natural cedar, but with none of the hassles and maintenance costs associated with real wood, engineered wood, or fiber cement. Envision never having to paint your home again. Visualize your siding decades from now, remaining as pristine as the day it was installed. Imagine ultimate peace-of-mind with the industry's best transferable limited lifetime warranty, including fade protection.

What you imagine is Everlast — the only siding that lets you love your home...for life.











### Material Science Meets Unparalleled Artistry

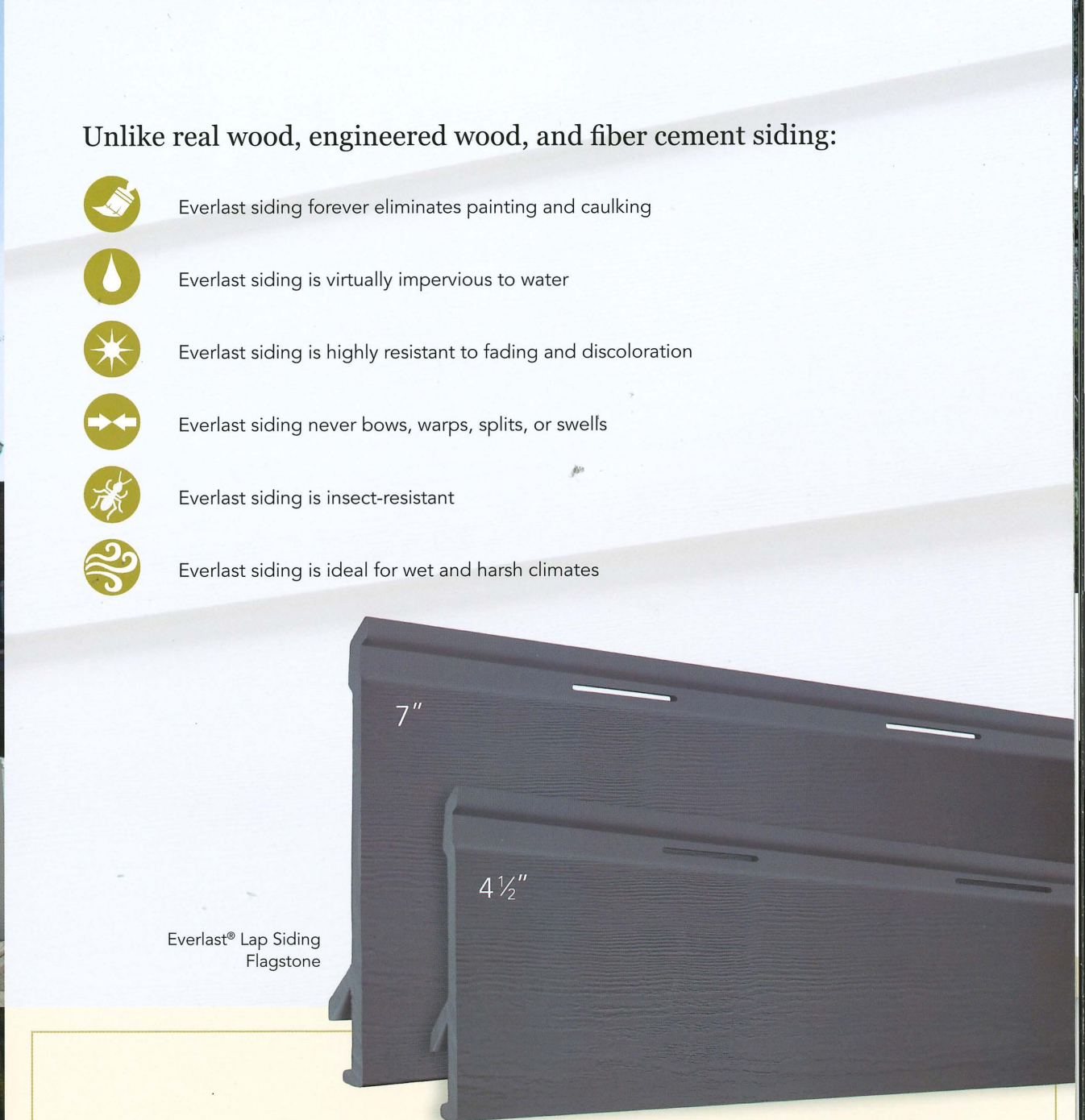
A technological breakthrough in material science, Everlast siding features C CORE® mineral-enriched composite substrate that is virtually impervious to siding's #1 enemy – water. To this remarkable substrate, an advanced UV-resistant acrylic capstock is molecularly fused and then embossed with the actual grain pattern of rough-sawn top-grade cedar, producing Everlast's **CedarTouch®** finish, the most authentic on the market.



Everlast® Lap Siding  
Sand Dune

### Unlike real wood, engineered wood, and fiber cement siding:

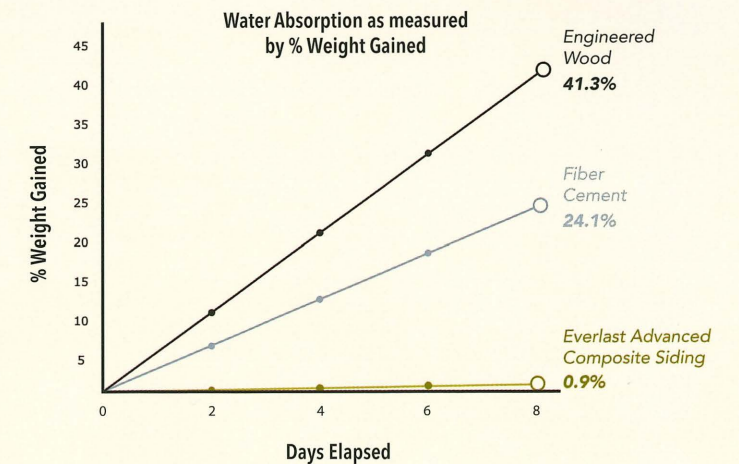
-  Everlast siding forever eliminates painting and caulking
-  Everlast siding is virtually impervious to water
-  Everlast siding is highly resistant to fading and discoloration
-  Everlast siding never bows, warps, splits, or swells
-  Everlast siding is insect-resistant
-  Everlast siding is ideal for wet and harsh climates



Everlast® Lap Siding  
Flagstone

### Siding's #1 Enemy is Simply No Match For Everlast

Testing to compare Everlast siding's water absorption rate compared to engineered wood and fiber cement reveals a dramatic difference. Everlast's absorption rate is negligible, while engineered wood and fiber cement require diligent maintenance to achieve effective moisture protection.



Everlast® Lap Siding  
Everlast® Board & Batten Siding  
Saddle Wood

COLORS

Harbor Blue

Blue Spruce

Willow

Spanish Moss

Antique Ivory

Sand Dune

Misty Taupe

Chestnut

Saddle Wood

Seaside Grey

Slate

Flagstone

Storm Grey

Cabernet Red

Natural White

# EVERLAST LAP SIDING

## Timeless Clapboard-Style Appeal

Traditional clapboard siding has never gone out of style. Available in two reveals to accommodate regional and personal preferences, your home will reflect classic style, luxury, and comfort decade after decade. Choose Everlast Lap Siding exclusively, or with Everlast Board & Batten.

### Color Palette

The Everlast Lap Siding palette\* – including deep, rich hues – has been thoughtfully curated by color consultants to complement any style of home, regional preference, as well as both current and classic color trends.

NOTE: Colors may not be exactly as shown due to printing limitations.

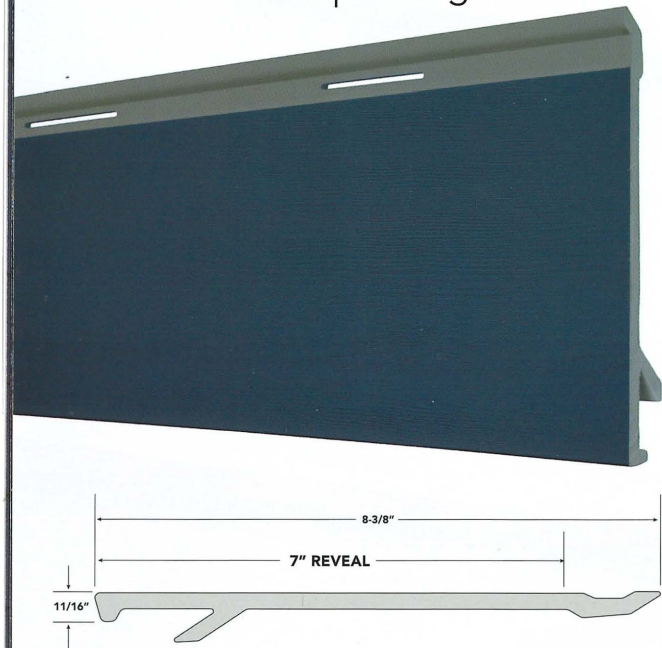
Consult a product sample before final selection.

\* Please contact your Everlast dealer for product availability.

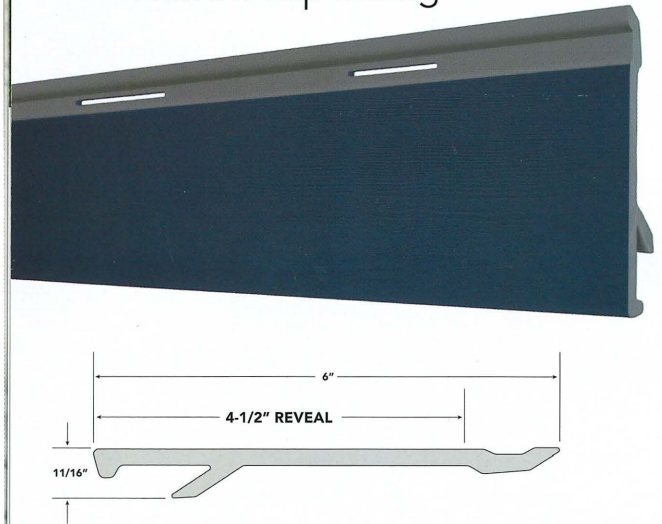
# LAP SIDING

TWO REVEALS AVAILABLE FOR YOUR IDEAL HOME

Standard Lap Siding



Narrow Lap Siding

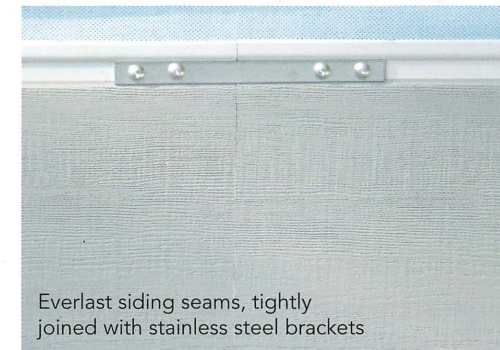


## Engineered to Withstand High Winds and to Help Ensure Ease of Installation



Everlast Lap Siding's EZStack interlocking joinery prevents siding from rattling in high wind conditions, while enhancing the siding's ability to withstand high wind forces, ensuring that your siding remains firmly affixed. EZStack joinery also assists installers by helping to ensure that your siding is perfectly level and spaced for optimal aesthetics.

## Enjoy the Tightest, Most Discreet Seams on the Market

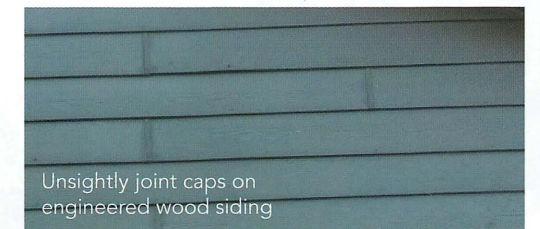


Each Everlast Lap Siding plank-to-plank seam is reinforced with a stainless steel bracket to produce the strongest, longest lasting, and best looking seams on the market. Even better, no caulking or flashing at seams is ever required.

With fiber cement and engineered wood, thermal expansion and contraction causes siding seams to open and close throughout the year. Caulking these seams only provides a temporary fix. And unsightly joint caps are no solution.



Failed caulked seams on fiber cement siding



Unsightly joint caps on engineered wood siding

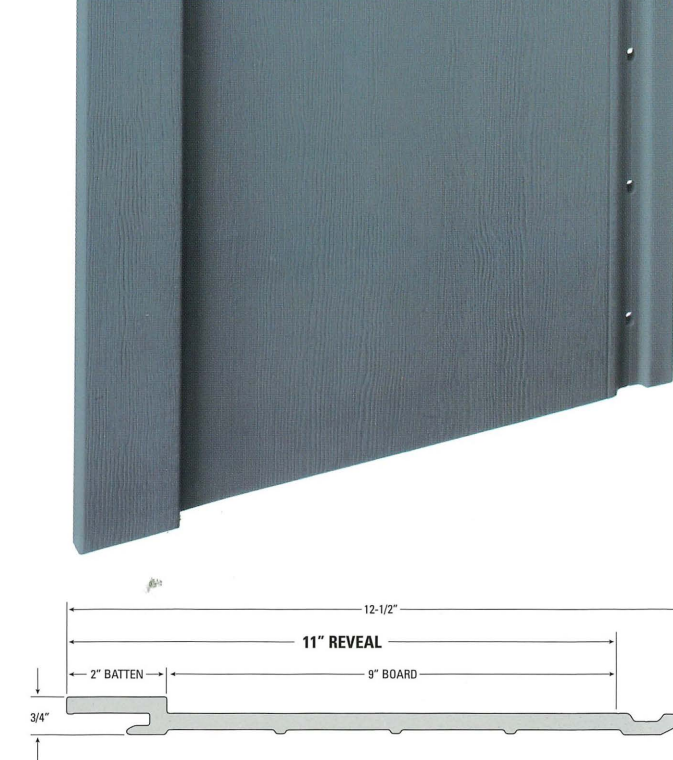
Everlast® Board & Batten Siding  
Everlast® Lap Siding  
Chestnut



# EVERLAST BOARD & BATTEN SIDING

## Contemporary Rustic Charm

Choose Everlast Board & Batten to give your home rustic, yet highly contemporary, appearance.  
Use Everlast Board & Batten exclusively, or combine with Everlast Lap Siding.



## Efficient One-Piece Design

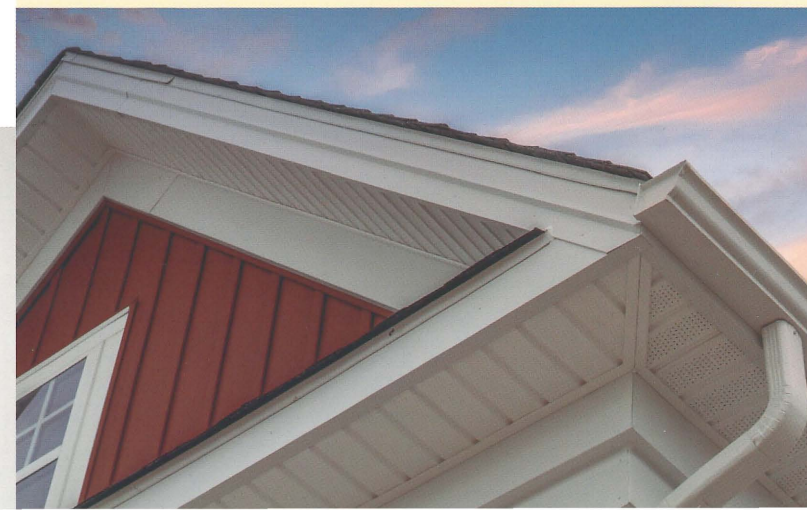
Unlike other board and batten siding products that require two pieces – both a board and a batten – Everlast Board & Batten combines these two pieces into one, to eliminate unsightly fasteners and to help ensure top quality installation.

## Color Palette

The Everlast Board & Batten palette\* features many of the same hues as Everlast Lap Siding and complements any style of home, regional preference, as well as both current and classic color trends.

NOTE: Colors may not be exactly as shown due to printing limitations.  
Consult a product sample before final selection.

\* Please contact your Everlast dealer for product availability.

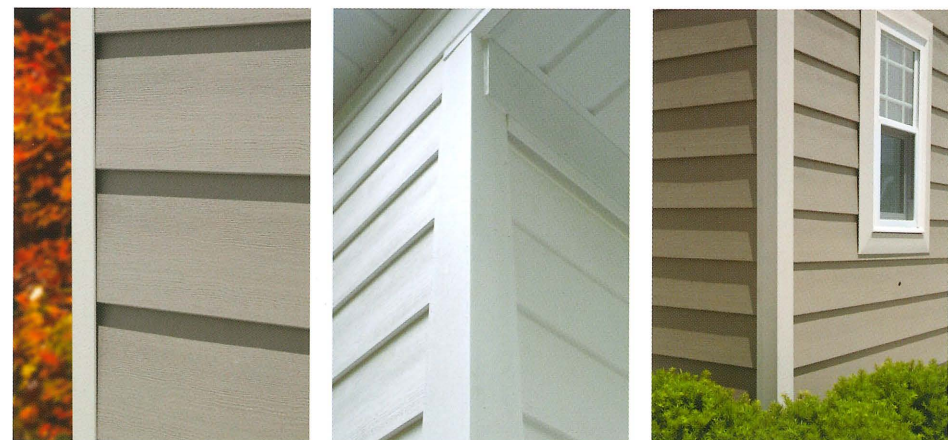


# PREMIUM COLOR-MATCHED TRIM

Everlast® Lap Siding  
Premium Color-Matched Trim  
Blue Spruce

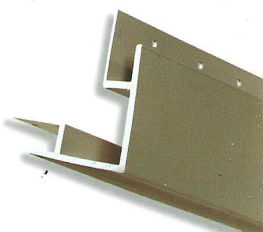
## The Finest Trim for the Finest Siding

Nothing matches the beauty and durability of Everlast Premium Color-Matched Trim. Made from the very same advanced material as Everlast siding, even your home's trim will last a lifetime, without the hassle and cost of recurring maintenance.

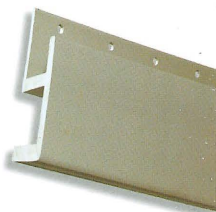


NOTE: An optional all-white cellular PVC trim package, fully compatible with Everlast siding, is also available. See [www.EverlastSiding.com](http://www.EverlastSiding.com) for more details.

3 1/2" Outside  
Corner Post



3 1/2" Lineal



1 1/2" J-Channel



Perimeter 1 1/2" Trim  
with Trim Receiver



### RIGID PVC ACCESSORY

Starter Strip  
(Grey only)



## Color Palette

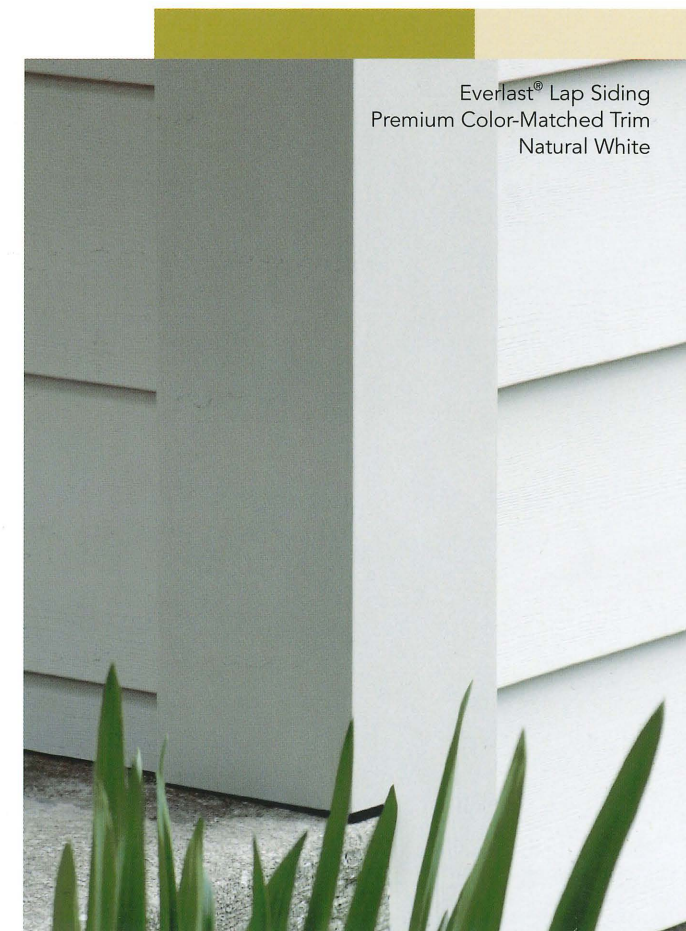
Everlast Premium Color-Matched Trim is available in all Everlast siding colors.\* Explore beautiful shades to match or contrast with your Everlast siding.

NOTE: Colors may not be exactly as shown due to printing limitations. Consult a product sample before final selection.

\* Please contact your Everlast dealer for product availability.

Harbor Blue	Blue Spruce	Willow	Spanish Moss
Antique Ivory	Sand Dune	Misty Taupe	Chestnut
Saddle Wood	Seaside Grey	Slate	Flagstone
Storm Grey	Cabernet Red	Natural White	

Everlast® Lap Siding  
Premium Color-Matched Trim  
Natural White



Explore these popular color strategies for both siding and trim.

**Complimentary Colors**

Two complimentary Everlast colors, Blue Spruce and Seaside Grey, combine beautifully with Everlast Color-Matched Trim in Natural White.



**Shade Variation**

Dark brown Everlast Saddle Wood is tastefully paired with lighter Chestnut, while Everlast Color-Matched Trim in Misty Taupe completes the effect.



**Single Accent**

Everlast Color-Matched Trim in Antique Ivory provides the perfect accent to Everlast siding in Cabernet Red.



**Monochromatic**

Sand Dune in both Everlast siding and Color-Matched Trim produces a modern aesthetic and allows other architectural features to be accentuated.



**Enjoy the Ultimate Peace of Mind and More**

With a siding system as superior as Everlast, it's easy to understand why it's backed by the industry's best, most comprehensive residential siding warranty. With Everlast, you get peace of mind from a limited lifetime manufacturer's warranty, courtesy of Chelsea Building Products. This comprehensive warranty also provides fade protection. Plus, should you sell your home, your Everlast warranty is transferable to the new owner, further enhancing resale value.



Visit [www.EverlastSiding.com](http://www.EverlastSiding.com) for complete warranty details.



Everlast® Board & Batten Siding  
Everlast® Lap Siding  
Misty Taupe

**The Environmentally Responsible Choice**

Environmentally conscious homeowners should know that Everlast siding is manufactured with vastly lower energy consumption compared to other siding options such as fiber cement. And wood and engineered wood siding contribute to the depletion of vital forestry resources. Plus, Everlast siding permanently eliminates the need for paints, stains, caulking, and solvents which contain harmful VOCs. And, at the end of its extremely long service life, Everlast siding and trim are fully recyclable. Clearly Everlast siding is a far more sensible choice for the planet.

## ROOFING

Check box indicating that you are submitting an order sheet with renderings of the proposed roofing.

Check box indicating that you are submitting photographs of the existing roofing.

	EXISTING	PROPOSED
<b>ROOF STYLE</b> (e.g. gable, hip, mansard, etc):		
<b>MATERIAL</b> (e.g. asphalt shingle, slate, clay tile, etc):		
<b>PLEASE PROVIDE DETAILS ABOUT THE CONDITIONS OF THE EXISTING ROOFING:</b>		
<b>PLEASE PROVIDE THE REASON FOR WANTING TO REPLACE THE ROOFING:</b>		
<b>ADDITIONAL INFORMATION:</b>		

## SOLAR

**WILL THE MATERIAL OF THE ROOF BE CHANGING AS PART OF THIS PROJECT?**

- YES (PLEASE PROVIDE MORE INFO ABOVE)  
 No

Check box indicating that you are submitting plans of the proposed solar project.

Check box indicating that you are submitting photographs of the existing roofing.

<b>ROOF MATERIAL</b> (e.g. asphalt shingle, slate, clay tile, etc):	
<b>NUMBER OF SOLAR POWERED PANELS:</b>	
<b>SOLAR MANUFACTURER:</b>	
<b>LOCATION OF SOLAR POWERED PANELS</b> (e.g. north side of roof):	
<b>LOCATION OF MAIN SERVICE PANEL &amp; METER</b> (e.g. rear of building):	
<b>LOCATION OF OTHER ELECTRICAL COMPONENTS</b> (e.g. rear of building):	
<b>LOCATION OF CONDUIT</b> (e.g. side of building, inside the house):	
<b>PROPOSED COLOR OF CONDUIT</b> (e.g. silver, same as house):	



West Springfield 10PM 01107



West Springfield 10PM 01107

Menu Quotes Lists

... / Building Materials / Roofing / Roof Shingles / GAF Roof Shingles

Internet # 100658149 Model # 0601180 UPC Code # 073590400697 Store SKU # 775276



Top Rated



### GAF Timberline Natural Shadow Charcoal Algae Resistant Architectural Shingles (33.33 sq. ft. per Bundle)

★★★★★ (1536) Questions & Answers (420)

**PREFERRED PRICING**

Covers 33.33 sq.ft.

**BULK PRICE ELIGIBLE** **\$41.36** (\$1.24 /sq.ft.) Was ~~\$44.47~~ Save **\$3.11 (7%)**

Buy 36 or more \$40.02

Pay \$16.36 after \$25 OFF your total qualifying purchase upon opening a new card. [Apply for a Pro Xtra Credit Card](#)

- Stylish architectural roof shingle with a natural shadow effect
- Budget-friendly roofing shingle with a Lifetime Ltd. Warranty
- Algae protection helps ensure the curb appeal of your home's roof
- [View More Details](#)

### West Springfield Store

✓ 251 in stock Aisle 20, Bay 022

Color/Finish: Charcoal



Pickup at

[West Springfield](#)

Delivering to [01107](#)

<b>Pickup</b> Today 251 in stock <b>FREE</b>	<b>Delivery</b> Today 1,956 available
---	---

[Check Nearby Stores](#)

[Delivery Details](#)

**Get it delivered as soon as today.** Schedule your delivery in checkout.

### How much will you need?

Please note: calculations are estimates only

Calculate by:

- Length x Width
- Square Footage

#### Area

Length:

ft.

Width:

ft.

+ Add Area

**Calculate**

—  +

**Add to Cart**

**Add to List**

**Add to Quote**

**Add to Project**



Nothing protects quite like a roof. That's why millions of Americans live, work, and play under quality products from North America's largest roofing manufacturer - GAF.



Timberline® Natural Shadow® Architecturally stylish and practically priced, Timberline NS shingles can improve your home's curb appeal and resale value at a price you can afford.



**Build a Durable Roof System a Layer at a Time**  
Building a roof to last means installing a series of protective layers, all designed to work together to create a durable roof system.



**Classic Appearance**  
The classic shadow effect creates a subtle, upscale, even-toned, architectural look with the warmth of wood.



**StainGuard® Algae Protection**  
Helps ensure the beauty of your roof against unsightly blue-green algae.<sup>1</sup> (Applies only to shingles with StainGuard®-labeled packaging)



**Stays In Place**  
Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles warranted to withstand winds up to 130 mph.<sup>2</sup>



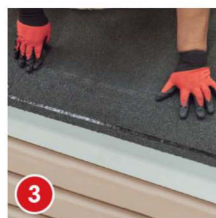
**Peace of Mind**  
Lifetime limited transferable warranty with Smart Choice® Protection (non-prorated material and installation labor coverage) for the first ten years.<sup>3</sup>



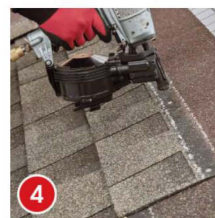
**1. Install Leak Barrier**  
Protect vulnerable areas against leaks caused by wind-driven rain, ice dams, and extreme weather.



**2. Protect the Roof Deck**  
Resist moisture with a layer of synthetic deck protection between deck and the shingles.



**3. Install Starter Shingles**  
Saves time, reduces waste, & features a self-seal adhesive to help reduce the risk of shingle blow-off.



**4. Install Shingles**  
Beautify and protect your home. Choose from over 100 styles/colors. Always read installation instructions.



**5. Ventilate and Protect**  
Proper ventilation helps promote energy efficiency & reduces damaging heat & moisture that can cause roof damage.



**6. Beautify and protect**  
Enhance the home's beauty with matching hip and ridge cap shingle while protecting the highest stress areas.

## About This Product

Installers have long preferred the rugged, dependable performance that only a Timberline roof can offer. That's why Timberline Shingles are the #1-selling shingles in all of North America. The classic shadow effect of Timberline NS Shingles creates a subtle, upscale, even-toned, architectural look

with the warmth of wood. They'll improve your home's curb appeal and resale value at a price you can afford.

## Highlights

- Don't know how much to order? A GAF QuickMeasure report provides all of the measurement data you need when planning your material orders. A complete bill of materials, with Home Depot product SKUs, is provided with each single-family report delivered in under 1 hour. Learn more here. [gaf.com [gaf.com]]
- Home Depot supplies full roofing jobs - Get your complete project checklist here.
- Architectural style that's practically priced
- Features a classic shadow effect that lends any home a subtle, even-tone with the warm look of wood in an asphalt shingle
- Highest roofing fire rating: UL class A, listed to ANSI/UL 790
- Advanced protection shingles technology reduces the use of natural resources while providing excellent protection for your home
- Dura grip adhesive seals each shingle tightly to roof reducing the risk of shingle blow-off, shingles warranted to withstand winds up to 130 MPH (wind speed coverage requires special installation, see GAF shingle and accessory ltd. warranty for details)
- Lifetime ltd transferable warranty with smart choice protection (non-prorated material and installation labor coverage) for the first 10-years, see GAF shingle and accessory ltd. warranty for complete coverage and restrictions
- Request a quote for installation.
- For design inspiration, Click here for exterior front of home trend ideas
- Don't know how much to order? A GAF QuickMeasure report provides all of the measurement data you need when planning your material orders. A complete bill of materials, with Home Depot product SKUs, is provided with each single-family report delivered in under 1 hour. Learn more here. [gaf.com [gaf.com]]
- Shop all GAF Shingles here
- [Return Policy](#)
- California residents [see Prop 65 WARNINGS](#)

## Product Information

Internet # 100658149

Model # 0601180

UPC Code # 073590400697

Store SKU # 775276

### Additional Resources

[Shop All GAF](#)

#### From the Manufacturer

- [Product Brochure](#)
- [Instructions / Assembly](#)
- [Warranty](#)
- [Pre-Delivery/Install Checklist](#)
- [Return Policy](#)

## Specifications





**Roofing Product Type**

**Architectural Shingle**

[See Similar Items](#)

**Warranty**

**Lifetime Limited Warranty**

[See Similar Items](#)

**Features**

**Algae Resistant**

**High Wind Resistant**

**Stainguard Protection**

**Fire Rating (UL 790)**

**Class A**

[See Similar Items](#)

**Number of pieces per bundle**

**21**

[See Similar Items](#)

**Material**

**Asphalt**

[See Similar Items](#)

## Dimensions

Coverage Area (sq. ft.)	33.33 sq ft
Product Length (in.)	39.38 in
Product Thickness (in.)	2.4 in
Product Width (in.)	13.25 in

## Details

Color Family	Black
Color/Finish	Charcoal
Features	Algae Resistant, High Wind Resistant, Stainguard Protection
Fire Rating (UL 790)	Class A
Material	Asphalt
Number of bundles per 100 sq. ft. (Square)	3
Number of pieces per bundle	21
Requirements	Attic Ventilation, Underlayment
Roofing Product Type	Architectural Shingle
Shingle Exposure (in.)	5.625
Shingle Type	Architectural Shingle
Warranty	Lifetime Limited Warranty
Weight Per Bundle (lb.)	70






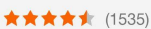




## Questions & Answers

420 Questions

## Customer Reviews

4.7 out of 5  (1,536)

## Pros Buy These Together

<b>CURRENT ITEM</b>					
<input checked="" type="checkbox"/> Select	<input checked="" type="checkbox"/> Select	<input checked="" type="checkbox"/> Select	<input checked="" type="checkbox"/> Select	<input checked="" type="checkbox"/> Select	<input checked="" type="checkbox"/> Select
Top Rated		Best Seller	Top Rated		
+	+	+	+	+	+
					
GAF Timberline Natural Shadow...	GAF Pro-Start 120 lin. ft. Eave and Rake...	Grip-Rite 1-1/4 in. x 0.120-Gauge 15°...	OSB 7/16 Application as 4ft. X 8 ft....	GAF FeltBuster 1000 sq. ft. Synthetic...	
 (1535)	 (232)	 (775)	 (3267)	 (392)	

**BULK PRICE** \$44.47  
 (\$1.33/sq.ft.)  
 Buy 36 or more \$40.02

\$51.12 (85¢/piece)  
 Was \$54.97  
 Save \$3.85 (7%)

**BULK PRICE** \$44.98  
 (62¢/100 units)  
 Was \$49.98  
 Save \$5.00 (10%)  
 Buy 3 or more \$44.98

**BULK PRICE** \$8.19  
 Was \$8.84  
 Save 62¢ (7%)  
 Buy 68 or more \$8.37

\$106.02  
 /roll  
 Was \$114.00  
 Save \$7.98 (7%)

Subtotal: **\$310<sup>55</sup>**

Add 6 Items to Cart

## More from GAF

Best Seller



Top Rated



GAF Timberline HDZ Charcoal Algae Resistant Laminated Hig...

★★★★★ (19805)

**BULK PRICE** \$46.47 (\$1.39/sq.ft.)

Buy 36 or more \$41.82

Add to Cart



GAF Timberline Natural Shadow Pewter Gray Algae Resistant...

★★★★★ (1535)

**BULK PRICE** \$44.47 (\$1.33/sq.ft.)

Buy 36 or more \$40.02

Add to Cart



GAF Royal Sovereign Charcoal Algae Resistant 3-Tab Roofing...

★★★★★ (819)

**BULK PRICE** \$42.47 (\$1.27/sq.ft.)

Buy 48 or more \$38.22

Add to Cart



GAF Pro-Start 120 lin. ft. Eave and Rake Roofing Starter Strip...

★★★★★ (232)

\$54.97 (92¢/piece)

Add to Cart



GAF Seal-A-Ridge Charcoal and Ridge Cap Roofing S...

★★★★★ (380)

\$59.97 (\$2.40/sq.ft.)

Add to Cart

## Customers Also Viewed

Best Seller



GAF Timberline HDZ Charcoal Algae Resistant Laminated Hig...

★★★★★ (19805)

**BULK PRICE** \$46.47 (\$1.39/sq.ft.)

Buy 36 or more \$41.82

Add to Cart



GAF Royal Sovereign Charcoal Algae Resistant 3-Tab Roofing...

★★★★★ (819)

**BULK PRICE** \$42.47 (\$1.27/sq.ft.)

Buy 48 or more \$38.22

Add to Cart



GAF Seal-A-Ridge Charcoal Hip and Ridge Cap Roofing Shingle...

★★★★★ (380)

\$59.97 (\$2.40/sq.ft.)

Add to Cart



GAF Pro-Start 120 lin. ft. Eave and Rake Roofing Starter Strip...

★★★★★ (232)

\$54.97 (92¢/piece)

Add to Cart



GAF QuickStart 33 lin. ft. and Stick Roofing Starter

★★★★★ (390)

\$30.97 /box (94¢/piece)

Add to Cart

## Recently Viewed



GAF Timberline Natural Shadow Charcoal Algae Resistant...

★★★★★ (1535)

**BULK PRICE AVAILABLE** \$44<sup>47</sup> (\$1.33/sq.ft.)

Buy 36 or more \$40.02

Add to Cart



Weber Genesis S-435 4-Burner Liquid Propane Gas Grill with F...

★★★★★ (77)

**SPECIAL BUY** \$1,918<sup>99</sup> Was \$2,018.99

Add to Cart



MP Doors 36 in. x 80 in. 3/4 Lite Right-Hand Inswing 4 Lite SDL...

★☆☆☆☆ (1)

\$1,168<sup>50</sup>

Add to Cart



TENONER 32 in. x 80 in. 5-Panel Frosted Glass Prehung Interior...

★★★★★ (2)

\$388<sup>00</sup> /package

Add to Cart



Daltile Restore Bright White 12 in. x 12 in. Glazed Cerami

★★★★★ (495)

\$29<sup>97</sup>

Add to Cart

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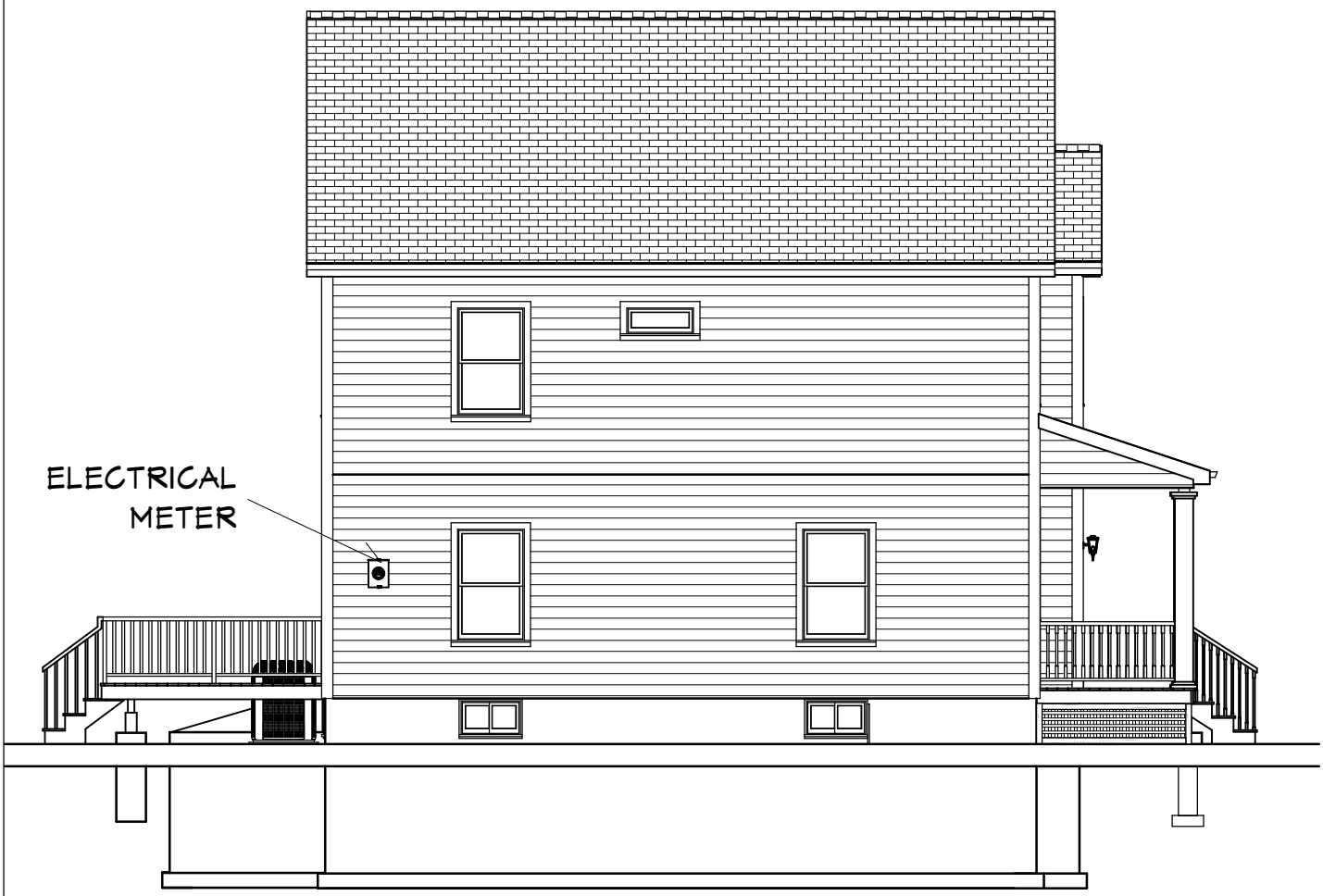
**OTHER PROJECTS**

*EXISTING CONDITIONS/DESCRIPTION*

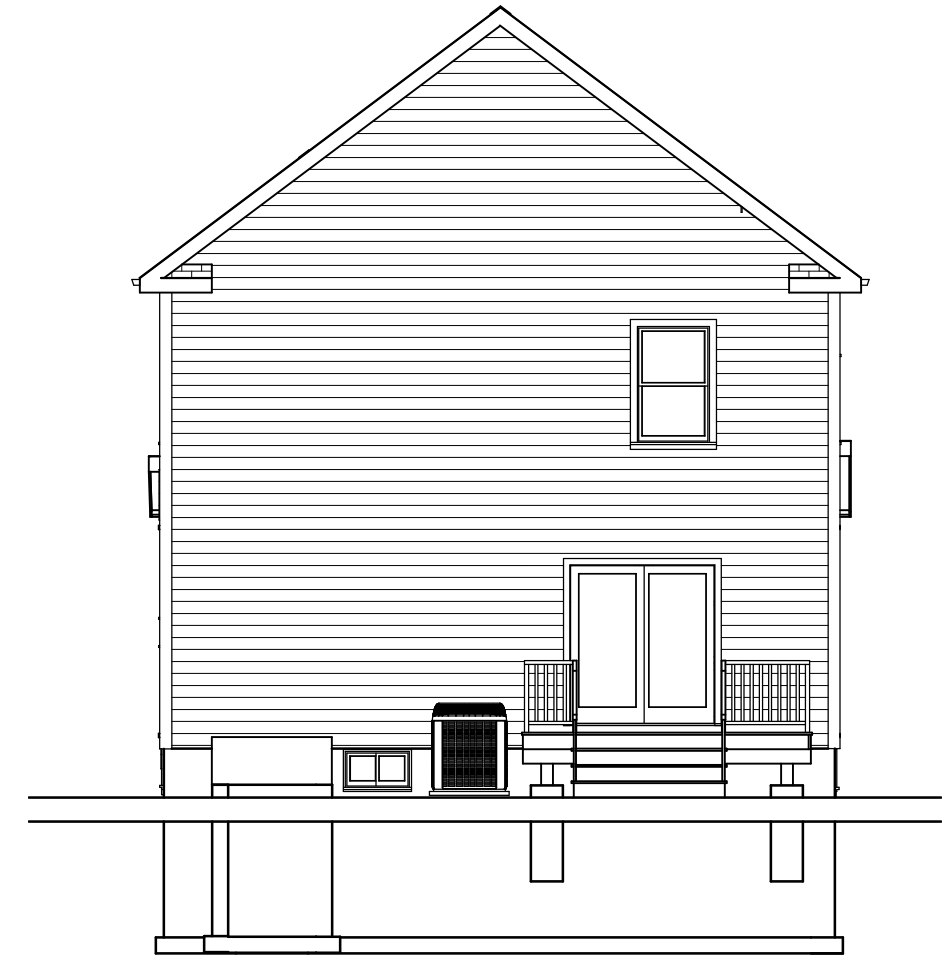
*PROPOSED CONDITIONS/DESCRIPTION*

To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. LAURA'S HOME DRAFTING AND DESIGN is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

DRAWING PREPARED FOR  
 Real estate investments Northeast LLC  
 900 Riverdale St. Suite 153  
 West Springfield MA 01089  
 LOCATION :Clarendon Street.  
 SPRINGFIELD MA



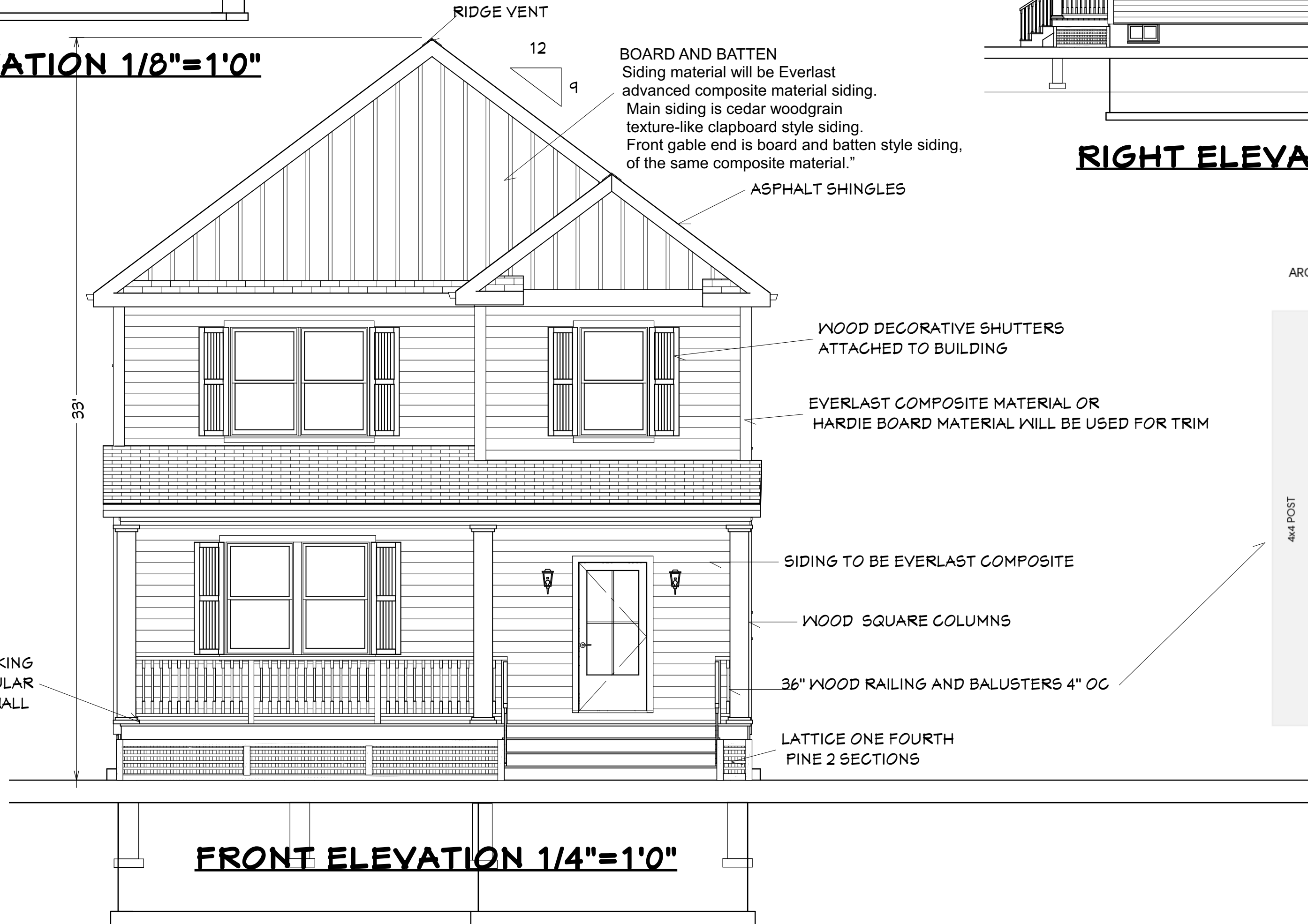
**LEFT ELEVATION 1/8"=1'0"**



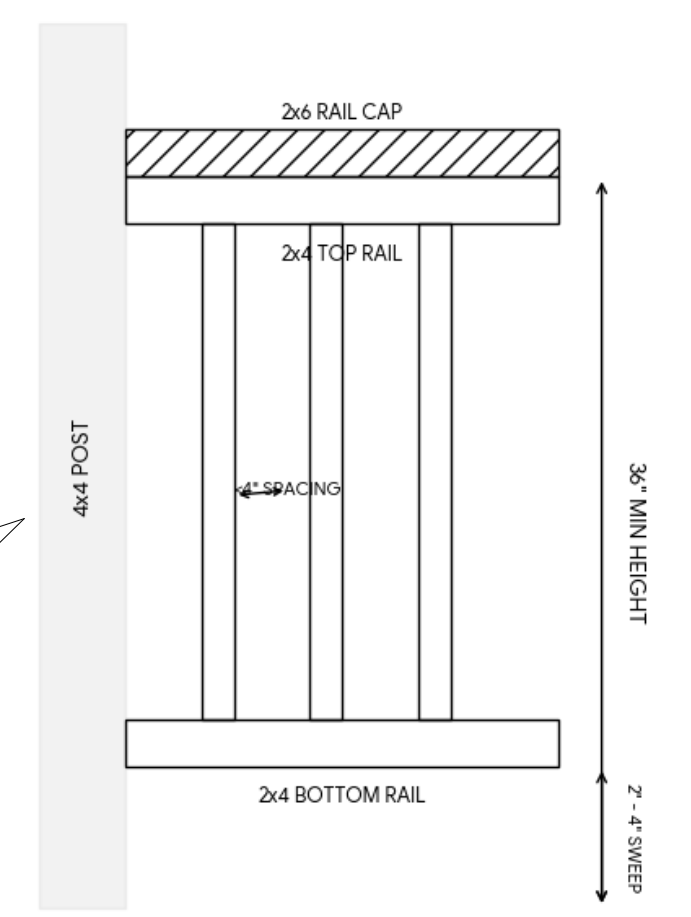
**REAR ELEVATION 1/8"=1'0"**



**RIGHT ELEVATION 1/8"=1'0"**



ARCHITECTURAL RAILING DETAIL - ELEVATION

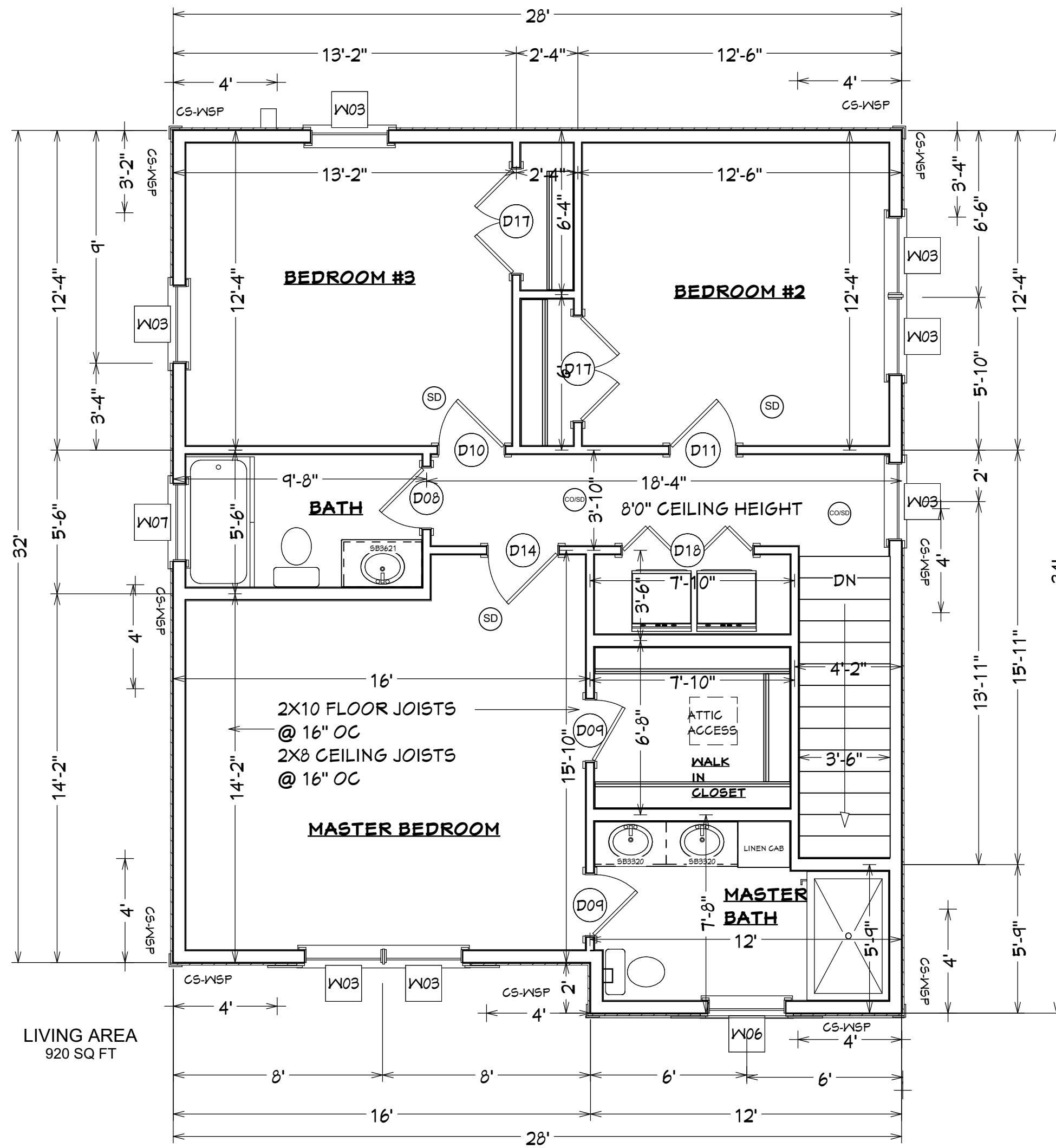


**ELEVATIONS**

DRAWINGS PROVIDED BY  
 LAURA'S HOME DRAFTING AND DESIGN  
 220 TAYLOR ST. GRANBY, MA 01033 413-467-2949  
 BUILDING CODES REFERENCED:  
 TENTH EDITION CMR180  
 2021 INTERNATIONAL RESIDENTIAL CODE

DATE:  
 5/15/2026  
 SCALE:  
 1/4"=1'0"  
 SHEET:  
**P-1**





DRAWING PREPARED FOR  
 Real estate investments Northeast LLC  
 900 Riverdale St. Suite 153  
 West Springfield MA 01089  
 LOCATION : Clarendon Street.  
 SPRINGFIELD MA

# SECOND FLOOR PLAN

DRAWINGS PROVIDED BY  
 LAURA'S HOME DRAFTING AND DESIGN  
 220 TAYLOR ST. GRANBY, MA 01033 413-467-2844  
 BUILDING CODES REFERENCED:  
 TENTH EDITION CMR180  
 2021 INTERNATIONAL RESIDENTIAL CODE

DATE:

5/15/2026

SCALE:

1/4"=1'0"

SHEET:

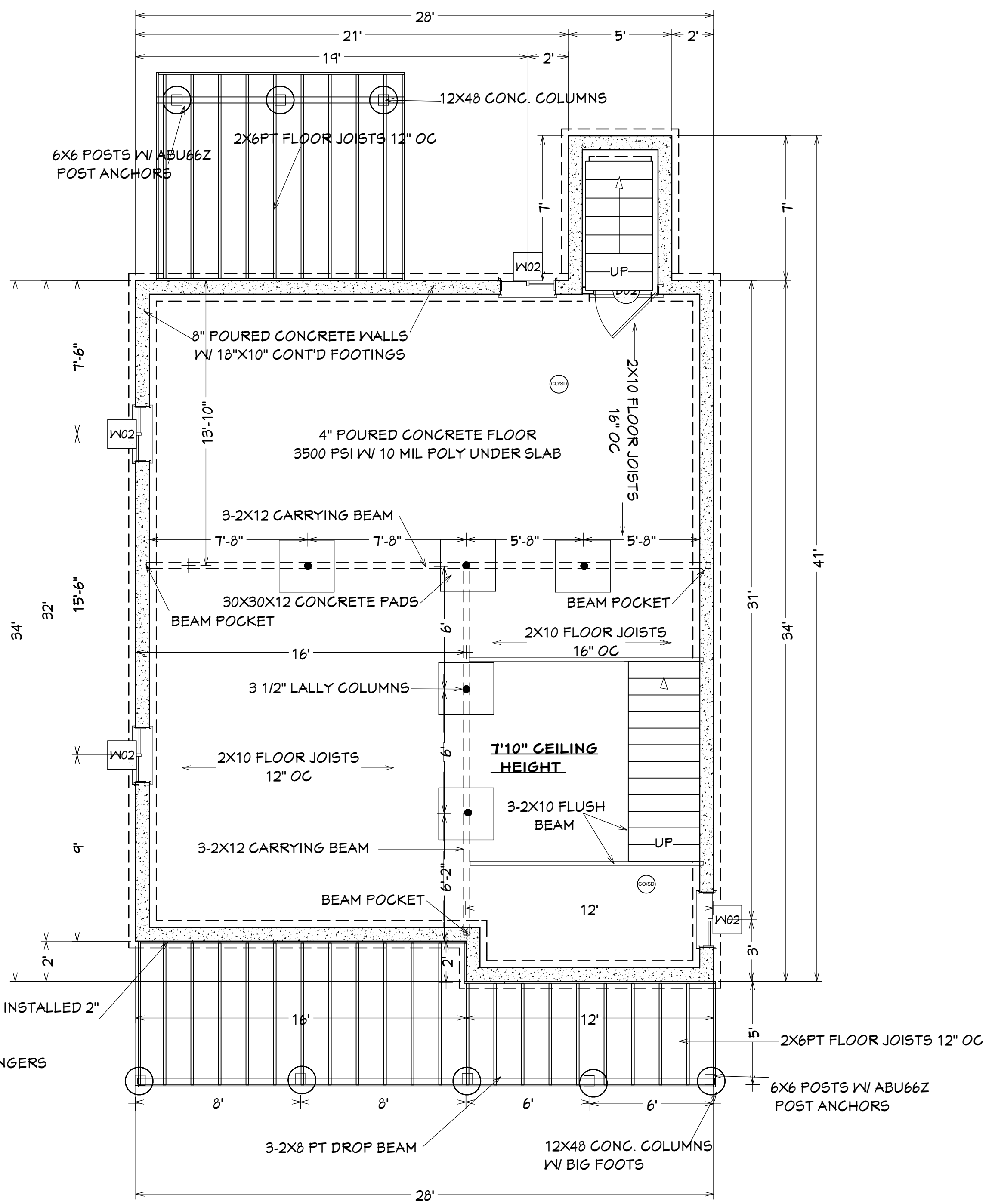
**P-3**

# FOUNDATION PLAN

2X10 PT LEDGER W/ 3 5/8" LEDGERLOKS INSTALLED 2"  
 FROM TOP AND BOTTOM OF LEDGER  
 BETWEEN 2" AND 5" FROM THE ENDS  
 AND STAGGERED @ 12" OC W/ JOIST HANGERS

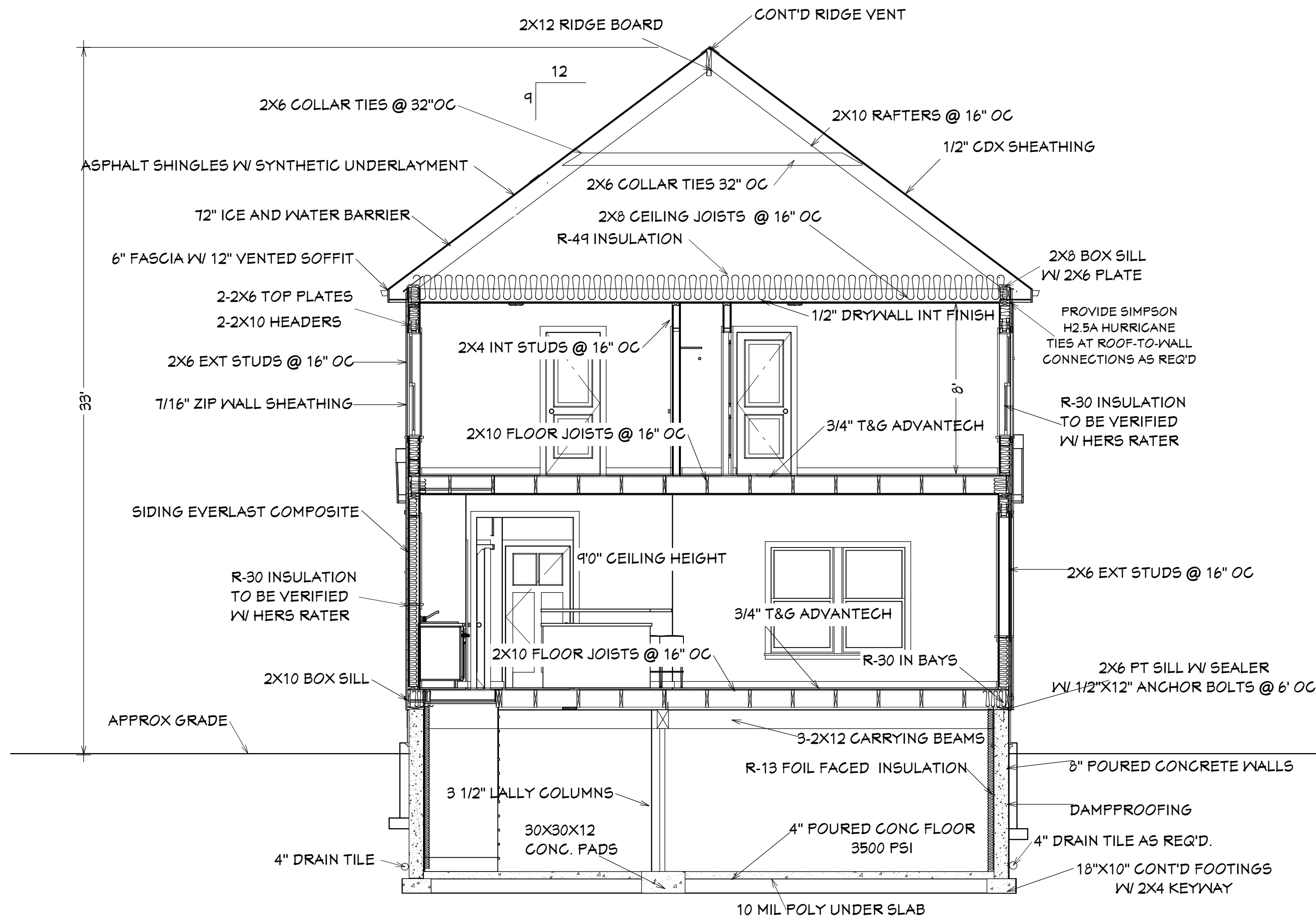
**NOTE : Mechanical Equipment**

- No equipment on the front facade.
- HVAC condensers located rear or minimally visible side elevation.
- Utility meters on side/rear.



**1. Foundation Detail**

*that all footings will extend a minimum of 48 inches below finished grade to comply with Massachusetts frost depth requirements.*



WINDOW SCHEDULE										
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	EGRESS	DESCRIPTION	HEADER
W01	2626AW	1	1	2626AW	30"	30"	32"X32"		SINGLE AWNING	2X10X35" (2)
W02	2816LS	4	0	2816LS	32"	18"	34"X20"		LEFT SLIDING	2X10X34" (2)
W03	30410DH	7	2	30410DH	36"	58"	38"X60"		DOUBLE HUNG	2X10X41" (2)
W05	4034DC	1	1	4034DC	48"	40"	50"X42"		DOUBLE CASEMENT-LHL/RHR	2X10X53" (2)
W06	30410DH TEMP GLASS	1	2	30410DH	36"	58"	38"X60"		DOUBLE HUNG	2X10X41" (2)
W07	3012FX	1	2	3012FX	36"	14"	38"X16"		FIXED GLASS	2X10X41" (2)
W08	3050DH	4	1	3050DH	36"	60"	38"X62"		DOUBLE HUNG	2X10X41" (2)

DOOR SCHEDULE										
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	DESCRIPTION	HEADER	THICKNESS
D01	6068	1	1	6068 R EX	72"	80"	74"X83"	EXT. SLIDER-GLASS PANEL	2X10X77" (2)	1 3/4"
D02	3068	1	0	3068 L IN	36"	80"	38"X82 1/2"	HINGED-DOOR P04	2X10X41" (2)	1 3/8"
D04	2068	1	1	2068 L IN	24"	80"	26"X82 1/2"	HINGED-DOOR P04	2X10X29" (2)	1 3/8"
D05	2268	1	1	2268 R IN	26"	80"	28"X82 1/2"	HINGED-DOOR P04	2X10X31" (2)	1 3/8"
D06	2268	1	1	2268 L IN	26"	80"	28"X82 1/2"	HINGED-DOOR P04	2X10X31" (2)	1 3/8"
D07	2468	1	1	2468 L	28"	80"	57 1/4"X82 1/2"	POCKET-DOOR P04	2X10X60 1/4" (2)	1 3/8"
D08	2468	1	2	2468 R IN	27 5/8"	80"	29 5/8"X82 1/2"	HINGED-DOOR P04	2X10X32 5/8" (2)	1 3/8"
D09	2468	2	2	2468 R IN	28"	80"	30"X82 1/2"	HINGED-DOOR P04	2X10X33" (2)	1 3/8"
D10	2668	1	2	2668 R IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X10X35" (2)	1 3/8"
D11	2668	1	2	2668 L IN	30"	80"	32"X82 1/2"	HINGED-DOOR P04	2X10X35" (2)	1 3/8"
D12	2868	1	1	2868 R IN	32 3/16"	80"	34 3/16"X82 1/2"	HINGED-DOOR P04	2X10X37 3/16" (2)	1 3/8"
D14	2868	1	2	2868 L IN	32"	80"	34"X82 1/2"	HINGED-DOOR P04	2X10X37" (2)	1 3/8"
D16	3068	1	1	3068 R EX	36"	80"	38"X83"	EXT. HINGED-GLASS PANEL	2X10X41" (2)	1 3/4"
D17	4068	2	2	4068 L/R IN	48"	80"	50"X82 1/2"	DOUBLE HINGED-DOOR P04	2X10X53" (2)	1 3/8"
D18	5068	1	2	5068 L/R	60"	80"	62"X82 1/2"	4 DR. BIFOLD-SLAB	2X10X65" (2)	1 3/8"

DRAWING PREPARED FOR  
 Real estate investments Northeast LLC  
 900 Riverdale St. Suite 153  
 West Springfield MA 01089  
 LOCATION :Clarendon Street.  
 SPRINGFIELD MA

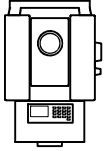
**CROSS SECTION**  
**WIN AND DR SCH**

DRAWINGS PROVIDED BY  
 LAURA'S HOME DRAFTING AND DESIGN  
 220 TAYLOR ST. GRANBY, MA 01033 413-467-2949  
 BUILDING CODES REFERENCED:  
 TENTH EDITION CMR180  
 2021 INTERNATIONAL RESIDENTIAL CODE

DATE:  
 5/15/2026

SCALE:  
 1/4"=1'0"

SHEET:  
**P-5**



**NEW ENGLAND  
LAND SURVEY, INC.**

710 MAIN STREET  
NORTH OXFORD, MA 01537  
PHONE: (508) 987-0025

ZONE: RESIDENTIAL A1

MINIMUM FRONT SETBACK: 25'  
MINIMUM SIDE SETBACK: 10'  
MINIMUM REAR SETBACK: 35'  
MINIMUM FRONTAGE: 50'  
MINIMUM LOT SIZE: 10,000 SF  
MAXIMUM BUILDING COVERAGE: 30%

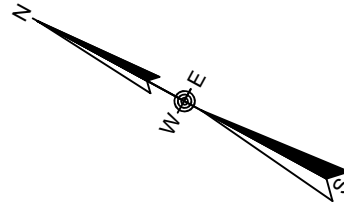
EXISTING BUILDING COVERAGE: 0%  
PROPOSED BUILDING COVERAGE: 13%

APPLICANTS:

REAL ESTATE INVESTMENTS  
NORTHEAST, LLC  
900 RIVERDALE STREET, STE 153  
WEST SPRINGFIELD, MA 01089  
PHONE: 413-316-5314

RECORD OWNERS:

PARCEL/MAP ID: 020420022  
CITY OF SPRINGFIELD  
DEED BOOK 18838 PAGE 308



**CONSTRUCTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AN OCCUPANCY OR EXCAVATION PERMIT FROM THE CITY ENGINEERING DIVISION.
2. ALL WORK PERFORMED IN THE CITY ROW SHALL CONFORM TO CITY STANDARDS AND DETAILS.
3. A PRECONSTRUCTION MEETING SHALL BE ARRANGED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. ATTENDEES AT MINIMUM SHALL INCLUDE THE CONTRACTOR, CITY ENGINEER, AND PROJECT APPLICANT/OWNER.
4. EROSION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED PRIOR TO CONSTRUCTION ACTIVITIES, AND SHALL BE MAINTAINED UNTIL PERMANENT VEGETATION AND SLOPE STABILIZATION IS ESTABLISHED.
5. APPLICANT SHALL NOTIFY THE CITY ENGINEER OF ANY MODIFICATIONS MADE TO THE PLOT PLAN, AND OF ANY SITE WORK CHANGES THAT DEVIATE FROM THE APPROVED DRAWINGS.
6. CONTRACTOR SHALL SAFELY MAINTAIN ALL VEHICULAR AND PEDESTRIAN TRAFFIC FLOW ON THE SITE, AND ON ALL PUBLIC STREETS AFFECTED BY CONSTRUCTION ACTIVITIES.
7. A FINAL INSPECTION MUST BE PERFORMED BY THE CITY OF SPRINGFIELD DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
8. SPRINGFIELD DEPARTMENT OF PUBLIC WORKS SITE PLAN APPROVAL SHALL NOT BE CONSTRUED AS ALL INCLUSIVE. APPLICANT IS RESPONSIBLE FOR CONTACTING OTHER DEPARTMENTS/OFFICES THAT MAY INCLUDE BUT NOT BE LIMITED TO THE PLANNING DEPARTMENT, BUILDING DEPARTMENT, CITY FORESTER, FIRE DEPARTMENT, POLICE DEPARTMENT, SPRINGFIELD WATER & SEWER COMMISSION, DEPARTMENT OF HEALTH AND HUMAN SERVICES, AND CONSERVATION COMMISSION.

**NOTES**

1. WE CERTIFY THAT THE BUILDING(S) ARE NOT WITHIN THE SPECIAL FLOOD HAZARD AREA. SEE FEMA FLOOD INSURANCE RATE MAP NUMBER 25013C0402E, REVISED 07/16/2013.
2. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ALL RESTRICTIONS AND ENCUMBRANCES THAT SUCH A REPORT MAY REVEAL.
3. UNLESS OTHERWISE NOTED HEREON, THIS SURVEY PLAN SHALL NOT BE CONSTRUED AS DEPICTING THE PRESENCE, ABSENCE, OR LIMITS OF ANY OR ALL REGULATED WETLANDS OR FLOODPLAINS. ANY SURFACE WATER FEATURES SHOWN, SUCH AS STREAMS OR PONDS, ARE NOT REPRESENTED AS INDICATING LIMITS OF WETLAND RESOURCE AREAS.
4. LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE IN THE FIELD, AND INFORMATION PROVIDED BY REFERENCES AS LISTED, VERIFY BY CONTRACTOR.
5. SEE SECTION 10.2.50, SIDE YARD EXEMPTIONS, PERMITTING A 5 FEET SIDE YARD IN THE RESIDENTIAL A-1 DISTRICT.
6. ELEVATIONS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988.
7. FOR A DESCRIPTION OF THE SUBJECT PARCEL, SEE DEED RECORDED WITH THE HAMPDEN REGISTRY OF DEEDS IN BOOK 2457 PAGE 409.

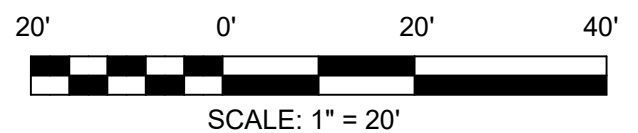
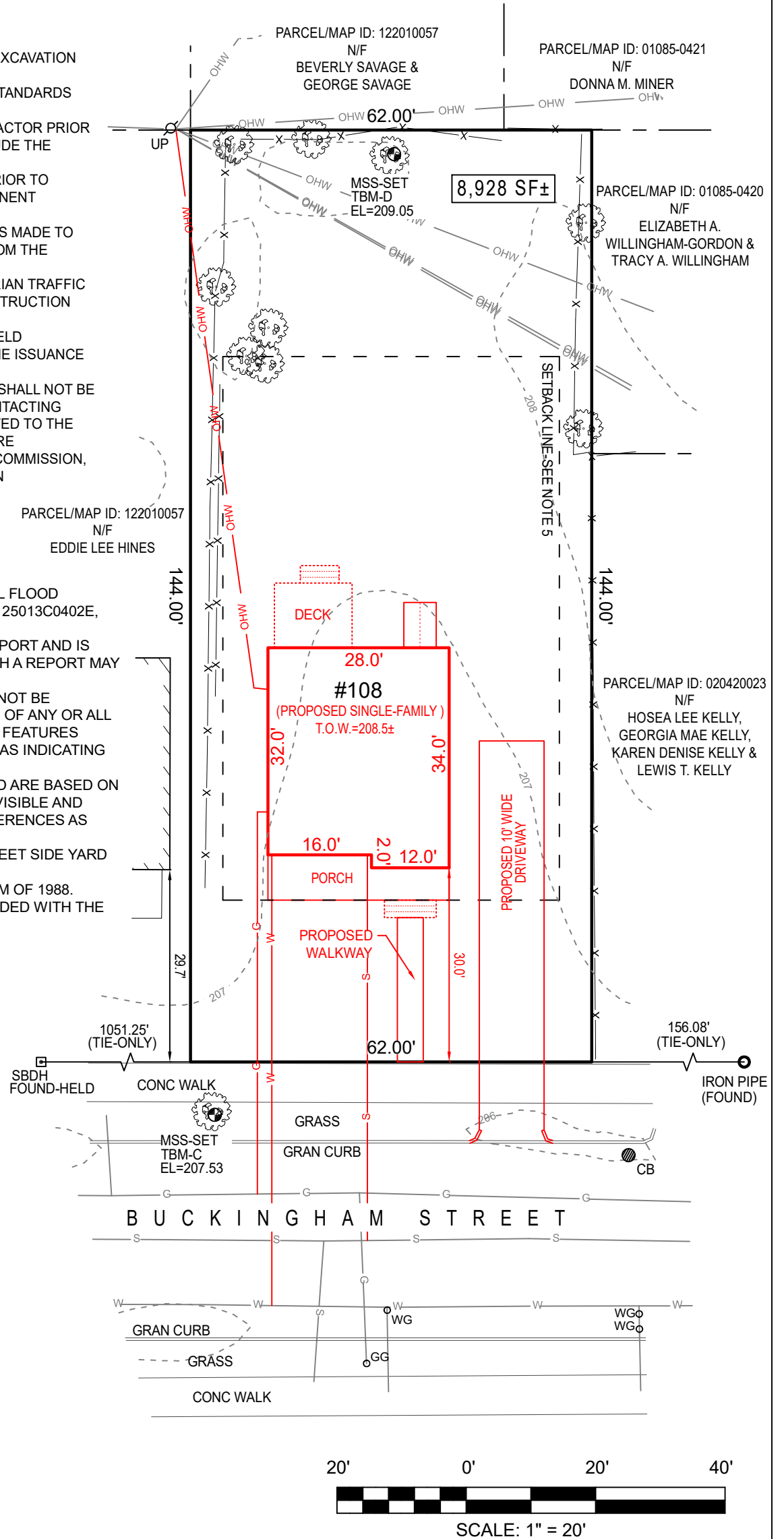
**REFERENCES**

1. PLAN BOOK 177 PAGE 14
2. PLAN BOOK 167 PAGE 127
3. ARCHITECTURAL DESIGN SET ENTITLED "DRAWINGS PREPARED FOR REAL ESTATE INVESTMENTS NORTHEAST, LLC," DRAWN BY "LAURA'S HOME DRAFTING AND DESIGN," DATED 04/29/2026, PROVIDED BY CLIENT.

**LEGEND**

- SBDH STONE BOUND/DRILL HOLE (FOUND)
- IRON PIPE IRON PIPE (FOUND)
- FENCE
- APPROX. UNDERGROUND WATER LINE
- APPROX. UNDERGROUND GAS LINE
- APPROX. UNDERGROUND SEWER LINE
- APPROX. OVERHEAD WIRES
- APPROX. UNDERGROUND ELECTRIC LINE
- UTILITY POLE
- GAS GATE
- WATER GATE
- TEMPORARY BENCHMARK
- HYDRANT
- CATCH BASIN
- SEWER MANHOLE
- TREE

- TBM-C SPIKE SET IN BASE OF TREE
- TBM-D SPIKE SET IN BASE OF TREE



**PROGRESS PRINT**  
(FOR REVIEW ONLY)

I CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LOCATION OF THE BUILDING AND DIMENSIONS AS SHOWN.

DATE: May 11, 2026

**CERTIFIED PLOT PLAN**  
OF LAND AT  
108 BUCKINGHAM STREET  
CITY OF SPRINGFIELD, HAMPDEN COUNTY  
COMMONWEALTH OF MASSACHUSETTS  
PREPARED FOR APPLICANT: REAL ESTATE INVESTMENTS NORTHEAST, LLC

SCALE: 1" = 20'    DRAFT: DLM    FIELD: JP/GP    FILE: 26FS16-PC



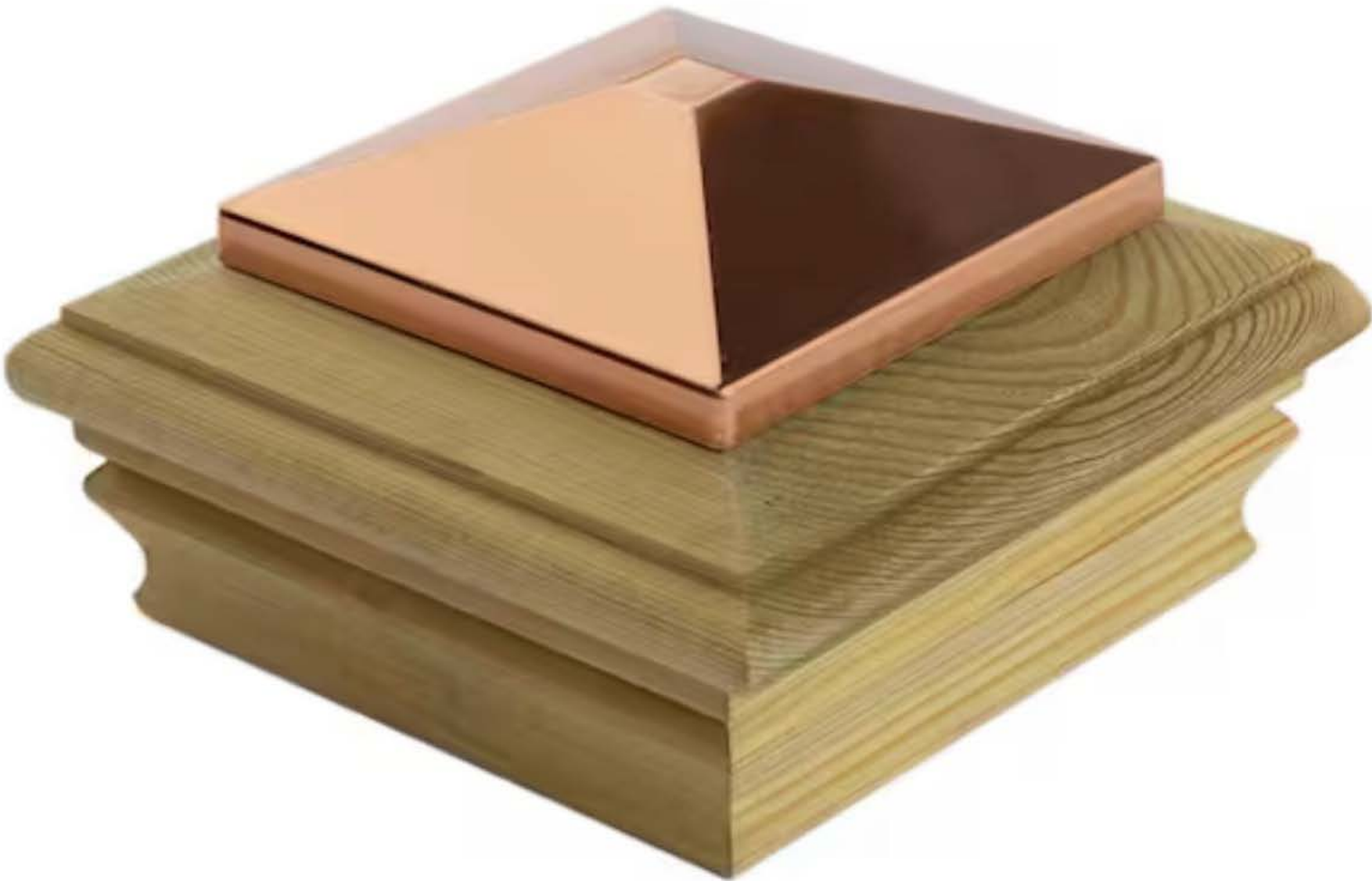
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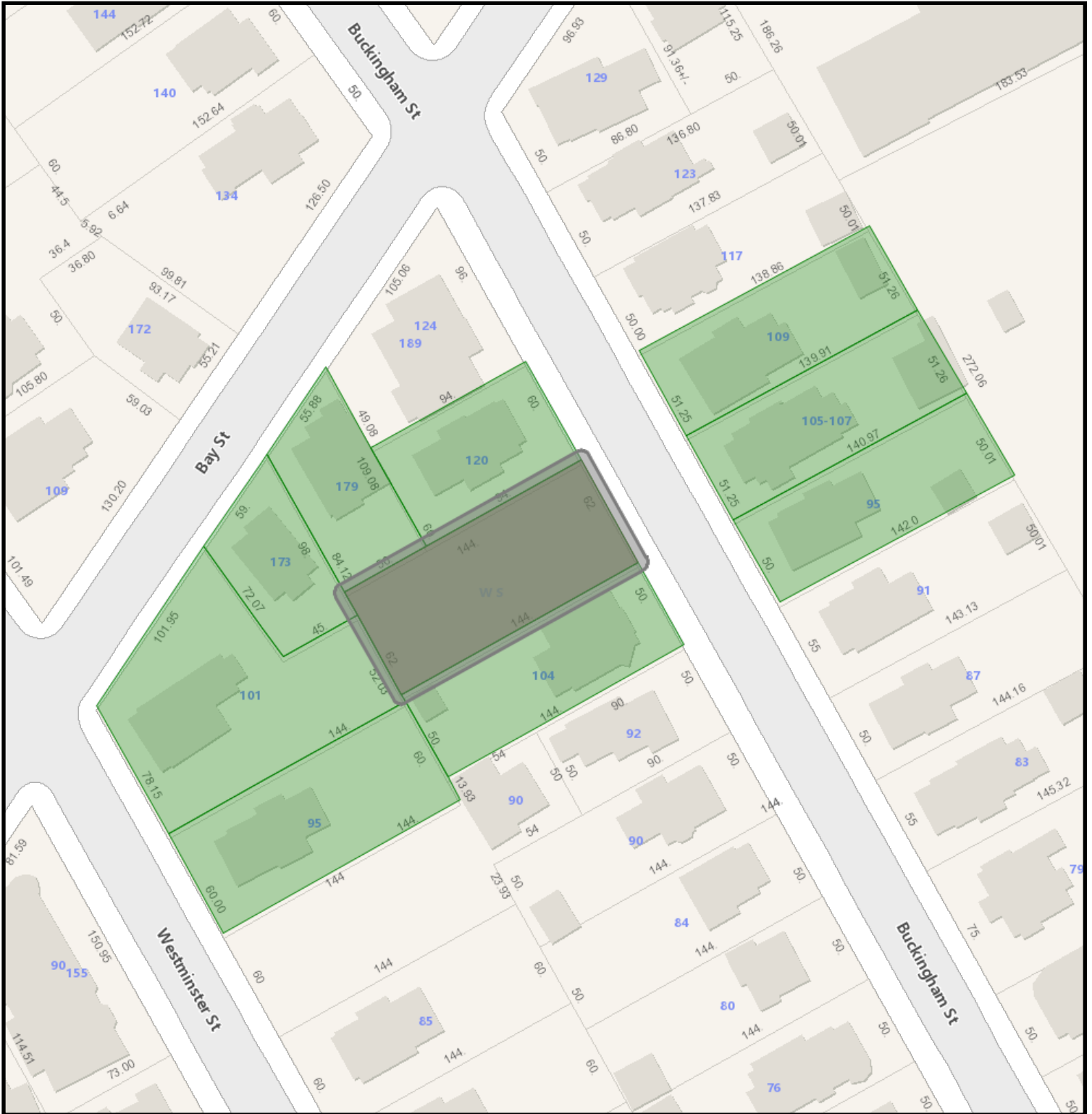


# 1 in. x 4 in. x 8 ft. Clear Vertical Grain Douglas Fir Flooring Board



★★★★☆ (19)  Questions & Answers (16)



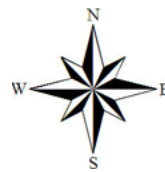


### WS Buckingham Street

5/6/2026 11:38:29 AM

Scale: 1"=75'

Scale is approximate



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020420054  
FIGUEROA YARITZA  
109 BUCKINGHAM ST  
SPRINGFIELD, MA 01109

020420021  
HINES ROBERT III  
104 BUCKINGHAM ST  
SPRINGFIELD, MA 01109

020420023  
KELLY HOSEA  
120 BUCKINGHAM ST  
SPRINGFIELD, MA 01109

010850421  
MINER DONNA M  
173 BAY ST  
SPRINGFIELD, MA 01109

020420056  
ORAM YOLANDA Y MURPHY-  
95 BUCKINGHAM ST  
SPRINGFIELD, MA 01109

020420055  
PARRA ISIDORO RAMOS  
105 BUCKINGHAM ST  
SPRINGFIELD, MA 01109

122010058  
RIVERA MARLLIAN  
95 WESTMINSTER ST  
SPRINGFIELD, MA 01109

122010057  
SAVAGE BEVERLY & GEORGE  
101 WESTMINSTER ST  
SPRINGFIELD, MA 01109

020420022  
SPRINGFIELD CITY OF  
36 COURT ST  
SPRINGFIELD, MA 01103

010850420  
WILLINGHAM-GORDON  
179 BAY ST  
SPRINGFIELD, MA 01109