



CITY COUNCIL

City Clerk's Office 5/13/2020 12:00:00 PM

Hearings Meeting Agenda~

I hereby notify you that the following items of business have been filed with this office and can be acted upon at the meeting of the City Council **Monday May 18, 2020** at 06:30 PM.

City Clerk

COVID-19 Advisory:

In order to enable municipal government to continue its important work during the COVID-19 pandemic, and to ensure that elected officials can satisfy CDC social distancing guidelines to avoid exposure to contagions, the City of Springfield is providing public notice that it will conduct this meeting utilizing remote collaboration technology in accord with Governor Baker's Order concerning the Open Meeting Law. FOCUS Springfield Community TV will continue to broadcast meetings utilizing the technology listed below.

There are three (3) methods for City residents to be present during the meeting or, in the alternative, watch the meeting at a later date:

1. Viewers used to watching "live" or "on-demand" recordings via Livestream will continue to watch meetings using the same link: <https://livestream.com/focusspringfield/citycouncil>
2. Viewers used to watching "live" or recordings played back on Springfield's Comcast Channel 17 will continue to watch meetings on the same channel, and it is repeatedly aired several times a week until the next meeting
3. At any point, City Council meetings can be viewed at the FOCUS Springfield website <http://focusspringfield.com/>

Hearings

6:30 PM Meeting called to order on May 18, 2020. THIS MEETING WILL BE HELD VIA ZOOM (remote collaboration technology).

Moment of Silence - Pledge of Allegiance

Special Permits

- (1.) For a Special Permit to Operate a Drive-Up Service Window at the Properties Known as 705 Liberty Street (07770-0525), SS Liberty Street (07770-0526), 695-697 Liberty Street (07770-0527) and NS Passageway (09547-0004), as Allowed by M.G.L. and the Springfield Zoning Ordinance, Article 4, Table 4-4, Section 19.1(2).

Request:	See Above
Owner:	Salmar Realty, LLC
By:	Peter Martins

Petitioner: Salmar Realty, LLC
By: Peter Martins

ATTACHMENTS:

- Liberty_St_705_Tax_Formal (PDF)
- Liberty_St_705_2020 (PDF)

- (2.) For a Special Permit Motor Vehicle Sales, as an Accessory Use, at the Property Known as 1103-1107 State Street (11110-0429)(Book#21733/Page#251), as Allowed by M.G.L. and the Springfield Zoning Ordinance, Article 4, Table 4-4, Section 19.5.

Request: See Above
Owner: Amjad Hussain
By: Amjad Hussain
Petitioner: Amjad Hussain
By: Amjad Hussain

ATTACHMENTS:

- State_St_1103_Tax_Formal (PDF)
- State_St_1103_1107_2020 (PDF)

Zone Changes



City Council
36 Court Street
Springfield, MA 01103

SCHEDULED

PETITION (ID # 5553)

Meeting: 05/18/20 06:30 PM
Department: Economic Development
Category: Special Permit
Prepared By: Phil Dromey
Initiator: Phil Dromey
Sponsors:
DOC ID: 5553

For a Special Permit to Operate a Drive-Up Service Window at the Properties Known as 705 Liberty Street (07770-0525), SS Liberty Street (07770-0526), 695-697 Liberty Street (07770-0527) and NS Passageway (09547-0004), as Allowed by M.G.L. and the Springfield Zoning Ordinance, Article 4, Table 4-4, Section 19.1(2).

Request:	See Above
Owner:	Salmar Realty, LLC
By:	Peter Martins
Petitioner:	Salmar Realty, LLC
By:	Peter Martins

To The City Council of the City of Springfield:
The undersigned respectfully petition your honorable body

for a special permit to operate a drive-up service window at the properties known as 705 Liberty Street (07770-0525), SS Liberty Street (07770-0526), 695-697 Liberty Street (07770-0527) and NS Passageway (09547-0004), as allowed by M.G.L. and the Springfield Zoning Ordinance, Article 4, Table 4-4, Section 19.1(2).

Mailing Address:

350 Cottage Street
Springfield, MA 01104

Owner & Petitioner:

Salmar Realty, LLC.

I hereby certify that I am the owner and petitioner or acting on behalf of the owner and petitioner.

By: 

Peter Martins

Attachment: Liberty_St_705_Tax_Formal (5553 : 705 Liberty Street, Et.Al.)



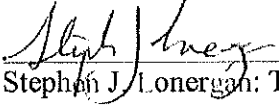
THE CITY OF
SPRINGFIELD, MASSACHUSETTS

02/18/2020

Special Permit Tax Certification

I certify that all identifiable real estate, personal property and excise taxes have been paid by the petitioner and/or landlord associated with the special permit request shown below:

Special Permit : 705 Liberty Street, SS Liberty Street, & 695-697 Liberty Street
Petitioner : Salmar Realty , LLC
LandLord : Salmar Realty , LLC


Stephen J. Lonergan: Treasurer/Collector

**OFFICE OF PLANNING & ECONOMIC DEVELOPMENT
ANALYSIS FOR A SPECIAL PERMIT**

**705 LIBERTY STREET (07770-0525), SS LIBERTY STREET (07770-0526), 695-697
LIBERTY STREET (07770-0527) AND NS PASSAGEWAY (09547-0004)
DRIVE-UP SERVICE WINDOW**

General Information

Petitioner:	Salmar Realty, LLC
Request:	Drive-up service window
Proposed use of the property:	Dunkin Donuts
Parcel Size:	21,117 s.f.
Compatibility with current planning documents:	The Liberty Heights Neighborhood Plan shows no changes to this area.
Neighborhood council notification:	Hungry Hill Civic Association: 3-9-20
Tax Status:	SEE ATTACHED
Site Visit:	3-4-20
City Council Hearing:	3-30-20

Staff Analysis

Neighborhood characteristics:

The property is currently zoned Business A and is located in an area that has a mix of commercial and residential uses. The surrounding land uses include:

- To the north is an automotive repair/sales operation zoned Business A.
- To the south is a commercial shopping plaza zoned Business A.
- To the east is a two-family house zoned Residence B.
- To the west is a funeral home zoned Business A.

Site plan review:

The petitioner has requested a special permit to operate a drive-up service window at the properties known as 705 Liberty Street, 695-697 Liberty Street, NS Liberty Street and NS Passageway. This site previously contained a vacant motor vehicle repair shop and a two (2) family house. Both structures have been demolished. The petitioner now intends to construct a new 2,280 square foot Dunkin Donuts, with a drive-up service window. It should be noted that this special permit was originally approved back in 2018; however, since the project was not started within two (2) years, a new special permit is required.

After reviewing the proposed plans and visiting the site, the staff does not object to the proposed request,

however, the staff does have the following comments.

First, in reviewing the proposed plans, the staff is very pleased to see that the proposed building will be located up to the street line with direct pedestrian access to the building. Many times in new designs, a pedestrian is required to either walk through a parking lot or across the drive-up lane. This will not be the case at this location. Pedestrians entering/exiting that site will have direct access to Liberty Street.



As shown on the attached plans, there will be two (2) curb cuts onto the property. One (1) curb cut would be located to the south of the new building and would be used to access the parking and the drive-up service window. The proposed drive-up service lane is located to the rear of the property and will wrap around the new building. This curb cut is proposed to allow both entering and exiting traffic. The second curb cut would be located to the north of the building and would allow for exiting traffic only. This curb cut would be primarily used for the drive-up service window; however, vehicles parking in the south parking lot could also use this to exit the site as well. It should be noted that there currently is a large curb cut along Phoenix Street, however, this curb cut will be closed and there will be no vehicle access to or from Phoenix Street. Lastly, the staff has also spoken to the Department of Public Works and confirmed that there are no issues with the proposed curb cuts and/or traffic at this location.

With regards to the proposed building design, the only other comment that the staff would have is the consideration of the petitioner to adding an outdoor seating area. This has been done to a number of other Dunkin Donuts locations throughout the City and the staff firmly believes that these add a significant amenity to these developments and are used frequently by the customers.

In addition to the site plans, a full landscaping plan was also submitted. The staff has reviewed the proposed plans and is pleased with what is being proposed.

Lastly, as noted above, this proposed use will directly abut a two (2) family home. As such, the staff wants to ensure that this residential structure is properly buffered. The plans indicate that there will be an arborvitae hedge installed along the rear property line. In addition to this hedge, the plans submitted indicate that an eight (8) foot stockade fence will be installed between this new use and the existing two (2) family home.

Recommendation

Approve, with conditions.

Recommended Conditions

1. This special permit is granted to this petitioner only.
2. This special permit is granted solely to operate a drive-up service window at the properties known as 705 Liberty Street (07770-0252), NS Liberty Street (07770-0526), 695-697 Liberty Street (07770-0527) and NS

Passageway (09547-0004).

3. The use shall be developed as per the attached site plans and elevations, dated December 7, 2017/revised February 18, 2020, with the addition of conditions #4 and #20.
4. All landscaped areas shall be installed as per the attached plans. This landscaping, as well as the entire site, shall be maintained and kept free of all overgrown vegetation, weeds, litter and/or debris.
5. In addition to the proposed arborvitae hedge, an eight (8) foot solid fence shall be installed along the rear property line, as shown on the attached plans. The "finished side" of the fencing shall face the residential abutter.
6. The public sidewalk(s) and tree belt(s) along Liberty Street and Phoenix Street shall be maintained, including snow removal.
7. All landscaped areas shall be irrigated.
8. Any and all un-used curb cuts shall be removed, as per DPW specifications, and the tree belt, if any, re-established.
9. All sidewalks shall remain at grade and shall not be depressed to accommodate the driveways.
10. All signs shall be properly permitted prior to installation.
11. There shall be no banners, streamers or pennants located on the property, with the exception of a grand opening event. Any and all temporary signage shall be properly permitted.
12. No signs or banners shall be attached to the light poles or any utility poles.
13. Any and all dumpsters shall be completely enclosed.
14. Loitering to be addressed at all times.
15. The building shall be maintained graffiti free.
16. There shall be no outdoor storage of materials.
17. The drive-up service ordering board/operation shall not be audible from the residential abutter.
18. All lighting shall be shielded from the residential abutter.
19. In addition to the special permit approval, a full review by the Department of Public Works, as per the provisions of City Ordinance, Chapter 27, Article VIII, § 27-58 through 27-63, will be required for the proposed paving.
20. An Approval Not Required Plan (ANR) plan shall be submitted to the Planning Board for approval and shall be recorded at the Hampden County Registry of Deeds combining all the existing parcels.
21. Compliance with these conditions, as well as any and all zoning regulations, is required. Failure to comply may result in denial of the issuance of a Building Permit and/or Occupancy Permit, revocation of any permits issued and/or enforcement by the Code Enforcement Department punishable by fines of up to \$200 per day for each day a violation exists.



THE CITY OF
SPRINGFIELD, MASSACHUSETTS

02/18/2020

Special Permit Tax Certification

I certify that all identifiable real estate, personal property and excise taxes have been paid by the petitioner and/or landlord associated with the special permit request shown below:

Special Permit : 705 Liberty Street, SS Liberty Street, & 695-697 Liberty Street
Petitioner : Salmar Realty , LLC
LandLord : Salmar Realty , LLC

A handwritten signature in black ink, appearing to read "Stephen J. Lonergan", is written over a horizontal line.

Stephen J. Lonergan: Treasurer/Collector

Site Plans

Proposed Drive-Thru Restaurant

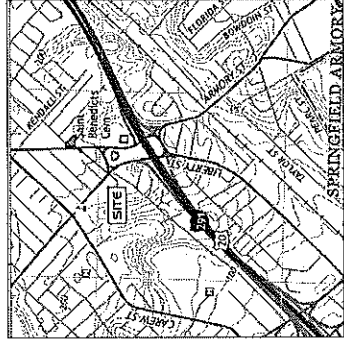
Assessors Parcels: 077700525, 077700526, 07770527 & 095470004
695, 697 & 705 Liberty Street
Springfield, MA

OWNED BY
Salmar Realty, LLC
4 Harding Ave
Ludlow, MA

AS PREPARED FOR
Mr. Peter Martins
350 Cottage Street
Springfield, MA 01105

ZONING REVIEW - Business A (BA)			
TYPE (MINIMUM)	REQUIRED	PROPOSED	
AREA	NO REQUIREMENT	21,117 SF	
DEVELOPMENT	NO REQUIREMENT	13,117 SF	
FRONT YARD	10 FT	11 FT	
REAR YARD	10 FT	11 FT	
REAR YARD	10 FT	11 FT	
PARKING-DECK	5 FT TO 10 FT	4 FT TO 10 FT	
HEIGHT (MAX)	40 FT (8 STOREY)	30 FT	
TOTAL BUILDING & IMPAVED LAND 1/4	75%	75%	
CONTRACT	UP TO 9	9	
SIZE (FT)	8.5 FT X 18 FT	8.5 FT X 18 FT	

*AUTOMATICALLY REVIEWED BY THE DISTRICT OFFICE



December 7, 2017
Revised: February 18, 2020



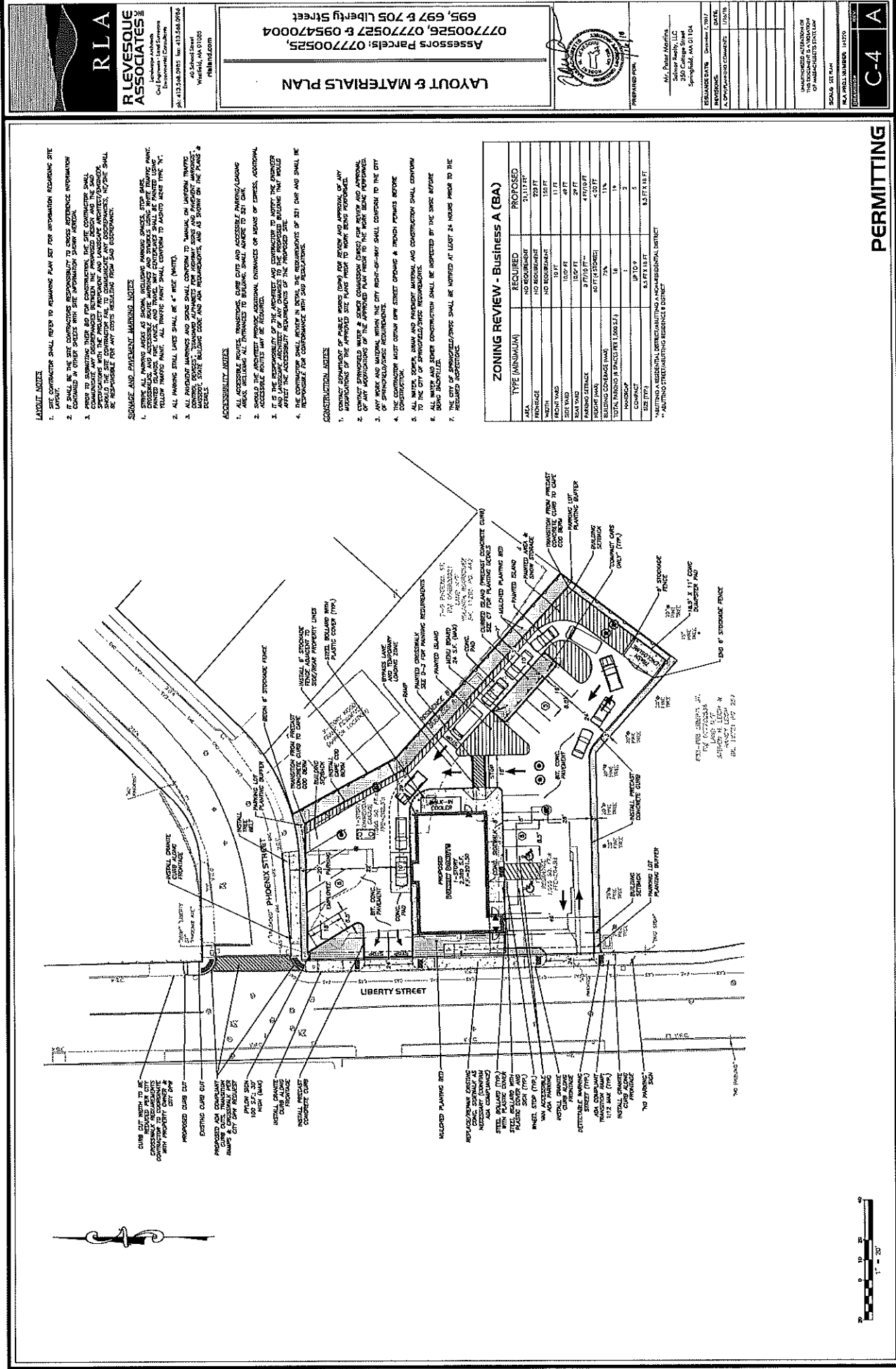
BY
R. LEVESQUE ASSOCIATES, INC.
A LAND PLANNING SERVICES COMPANY

40 School Street - Westfield, MA - 01085
ph 413.568.0985 - fax 413.568.0986
www.rland.com

RLA Project Number: 161220

PERMITTING

SHEET NO.	TITLE SHEET	SHEET NAME	DATE	PROPOSED DATE
1-1			12/7/17	1/16/18
EX-1	EXISTING CONDITIONS PLAN		12/7/17	
C-1	MOBILE SERVICE & LINE LOCUS AND AMENDMENTS		12/7/17	
C-2	CONSTRUCTION NOTES		12/7/17	
C-3	DOCKWORK & BRIDGE CONTROL PLAN		12/7/17	1/16/18
C-4	LOUSEY & MATERIALS PLAN		12/7/17	1/16/18
C-5	GRADING, EROSION & SEDIMENTATION CONTROL PLAN		12/7/17	1/16/18
C-6	DRAINAGE & UTILITIES PLAN		12/7/17	1/16/18
C-7	SITE LANSCHING PLAN		12/7/17	1/16/18
C-8	SITE LANSCHING PLAN		12/7/17	1/16/18
D-1	DETAILS		12/7/17	1/16/18
D-2	DETAILS		12/7/17	1/16/18
D-3	DETAILS		12/7/17	1/16/18
D-4	DETAILS		12/7/17	1/16/18
D-5	DETAILS		12/7/17	1/16/18



[illegible]

Assessors Parcels: 077700525,
077700526, 07770527 & 095470004
695, 697 & 705 Liberty Street

Landscape Architects
 Civil Engineers • Land Surveyors
 Environmental Consultants
 ph: 413.568.0985 fax: 413.568.0986
 40 School Street
 Westfield, MA 01085
mlajland.com



ISSUANCE DATE	DATE
December 7, 2017	

UNLAWFUL AND ALTERNATION OF
THIS DOCUMENT IS A VIOLATION
OF MASSACHUSETTS STATE LAW

SCALE: 1/2 INCH

PLA. PROJ. NUMBER: 161720

EX

[illegible]

UNAUTHORIZED ALTERATION OF THIS DOCUMENT IS A VIOLATION OF HALL-SCHUBERTS SEAL LAW	SCALE: SEE PLAN	DRAWINGS	C-3	NO. 2
	PLA. PROJ. NUMBER: 161720			A

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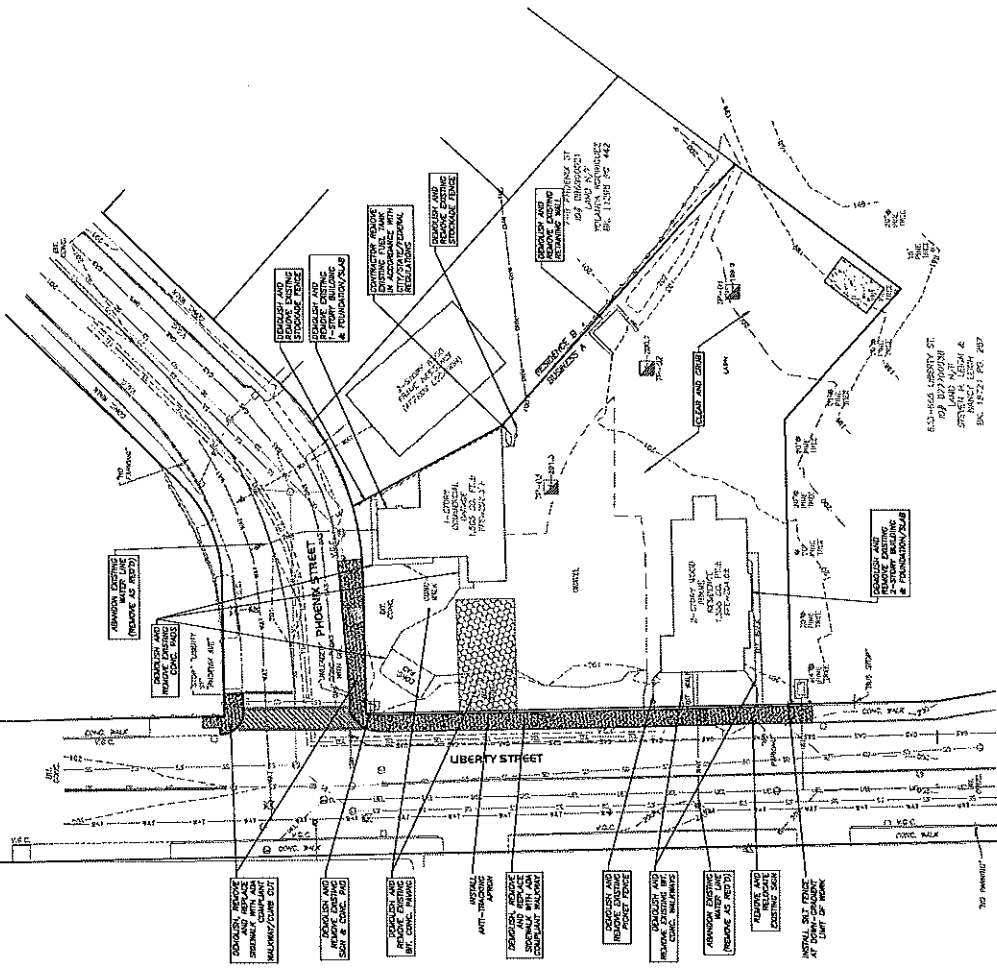
Mr. Peter Martins
Solmar Realty, LLC
350 Cottage Street
Springfield, MA 01104

PREPARED FOR:

DEMOLITION & EROSION CONTROL PLAN

R LEVESQUE ASSOCIATES
Landscape Architects
Civil Engineers • Local Surveys
Environmental Consultants
ph: 410.368.0985 fax: 410.528.0984
40 School Street
Westfield, MA 01085
rland.com

RLA

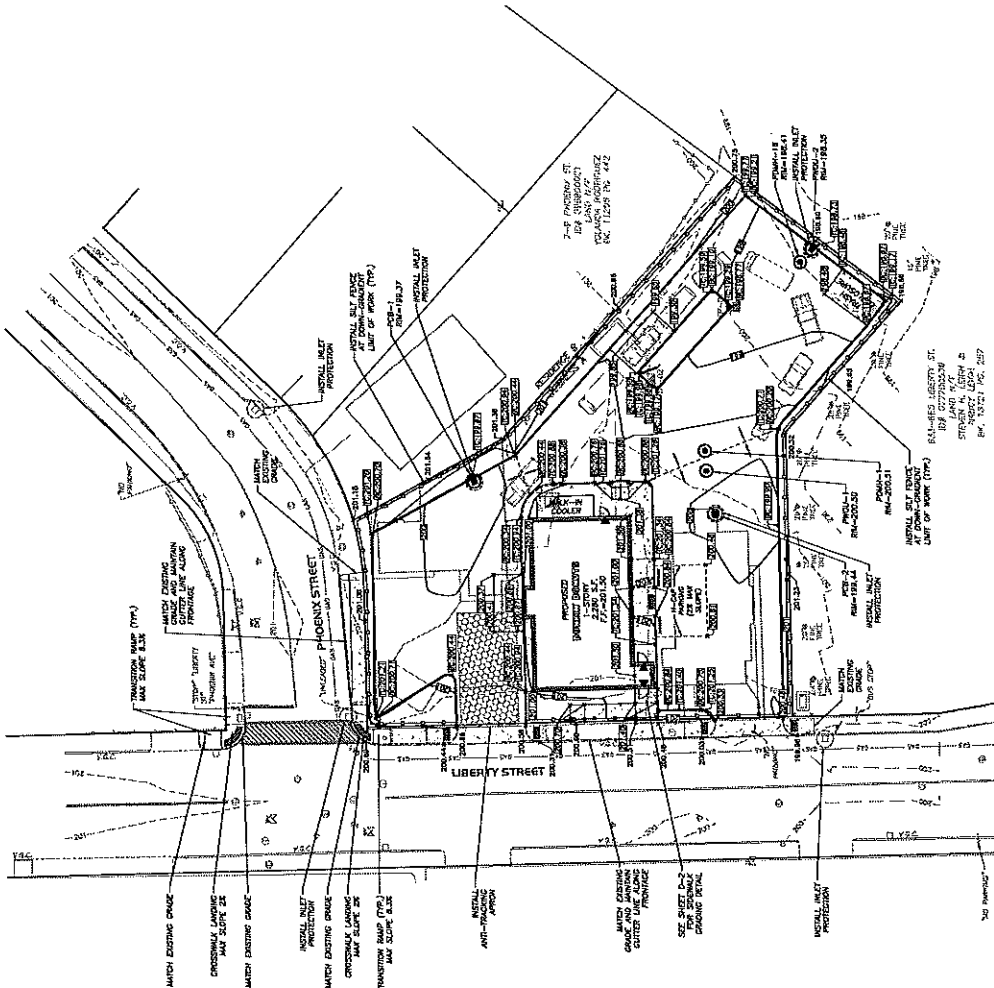


SECTION NOTES

1. THE INFORMATION SHOWN HEREON IS NOT INTENDED TO BE AN EXHAUSTIVE SURVEY OF THE CITY OF CHICAGO'S RECORDS. THE CITY OF CHICAGO'S RECORDS MAY CONTAIN ADDITIONAL INFORMATION THAT MAY BE NECESSARY TO COMPLETE THE UNDERSTANDING OF THE PROJECT. THE CITY OF CHICAGO'S RECORDS MAY BE USED IN A FAIR AND REASONABLE MANNER FOR THE PROJECT.
2. CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION SURVEY TO IDENTIFY ANY AND ALL EXISTING UTILITIES AND STRUCTURES THAT MAY BE AFFECTED BY THE PROJECT. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO AND THE CHICAGO DEPARTMENT OF PUBLIC WORKS BEFORE BEGINNING ANY CONSTRUCTION. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES IN PLACE AND IN GOOD CONDITION THROUGHOUT THE PROJECT.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION, REPAIRS, OR REPLACEMENTS OF EXISTING UTILITIES AND STRUCTURES THAT ARE AFFECTED BY THE PROJECT. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES IN PLACE AND IN GOOD CONDITION THROUGHOUT THE PROJECT.
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7. ALL UTILITY DEMOLITION SHALL BE APPROVED BY THE SATISFACTION OF THE CHICAGO DEPARTMENT OF PUBLIC WORKS. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES IN PLACE AND IN GOOD CONDITION THROUGHOUT THE PROJECT.
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CONSTRUCTION SEQUENCE

1. CONDUCT A VISUAL INSPECTION OF THE EXISTING STRUCTURE TO DETERMINE THE EXTENT OF DAMAGE AND THE NEED FOR REPAIRS.
2. OBTAIN A PROFESSIONAL ENGINEERING DESIGN FOR THE REPAIRS AND REINFORCEMENT OF THE STRUCTURE.
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GRADING & DRAINAGE NOTES

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SHORT-TERM FROSTION CONTROL MAINTENANCE

1. THE COMPLETION OF RECONSTRUCTION SHALL BE RESPONSIBLE FOR IMPLEMENTING SUCH CONTROL WORKS ON THE SUBSTITUTION CONTROL CONTROL PLAN.
2. ALL INVOICES FOR RECONSTRUCTION WORKS, INCLUDING THE COSTS OF THE SUBSTITUTION CONTROL WORKS, SHALL BE SUBMITTED TO THE CONTRACTOR'S SUPERVISOR AND ALL ESTIMATED WORKS MUST BE SUBMITTED TO THE CONTRACTOR'S SUPERVISOR FOR APPROVAL. THE CONTRACTOR'S SUPERVISOR SHALL BE RESPONSIBLE FOR THE SUBSTITUTION CONTROL WORKS AND SHALL BE RESPONSIBLE FOR THE SUBSTITUTION CONTROL WORKS.
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ACCESSIBILITY NOTES

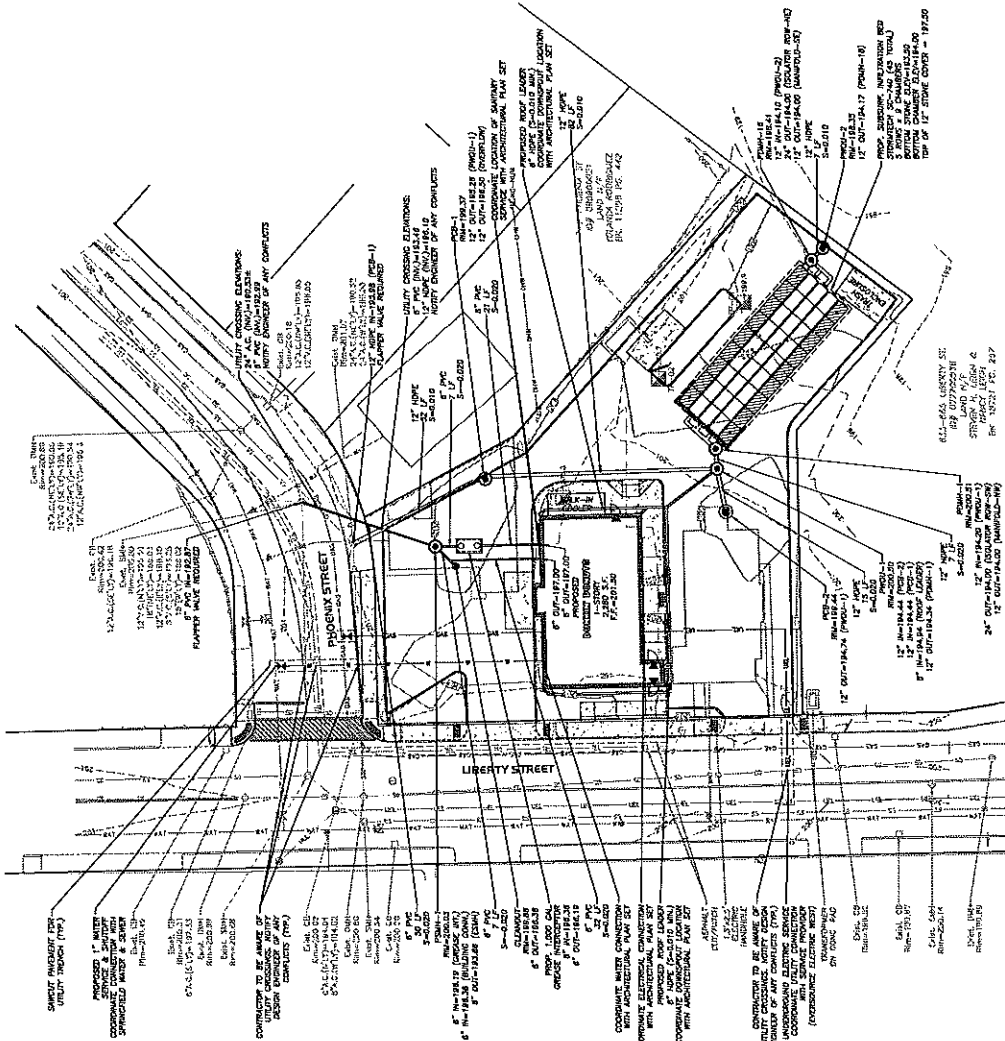
1. ALL ACCESSIBLE ROUTES, TRANSITIONS, CURB CUTS AND ACCESSIBLE PARKING/LOADING AREAS, INCLUDING ALL ENTRANCES TO BUILDING, SHALL ADHERE TO SET CAN.
2. SHOULD THE ARCHITECT PROVIDE ADDITIONAL ENHANCEMENTS ON MEANS OF EGRESS, ADDITIONAL ACCESSIBLE ROUTES MAY BE REQUIRED.
3. IT IS THE RESPONSIBILITY OF THE ARCHITECT AND CONTRACTOR TO NOTIFY THE DISSEMINATED AND LANDSCAPE ARCHITECT OF ANY CHANGES TO THE PROPOSED BUILDING THAT WOULD AFFECT THE ACCESSIBILITY REQUIREMENTS OF THE PROPOSED SITE.
4. THE CONTRACTOR SHALL REVIEW IN DETAIL THE REQUIREMENTS OF 2010 ADA AND SHALL BE RESPONSIBLE FOR ENFORCEMENT WITH ALL REGULATIONS.

CONSTRUCTION NOTES

- [illegible]

PERMITTING

	RLA R L VESQUE ASSOCIATES Civil Engineers • Land Surveyors Landscape Architects 45 School Street, Suite 113 Weymouth, MA 01978 Tel: 781.946.8900 Fax: 781.946.8906 www.rlaonline.com	GRADING, EROSION & SEDIMENTATION CONTROL PLAN Assessors Parcels: 077700525, 077700526, 07770527 & 095470004 695, 697 & 705 Liberty Street	
PREPARED FOR:			
Mr. Peter Marfisi City Engineer, LLC 245 College Street Springfield, MA 01104			
REVISIONS:	DATE:	(RELEASE DATE: December 7, 2017)	
A. OWNER/ARCHITECT COMMENTS:	DATE:	SCALE: SEE PLAN	
MANUFACTURED BY: RYAN HALL THIS DOCUMENT IS A NOTIFICATION OF ASSOCIATION'S EXISTENCE			
RLA WILL NUMBER: 01770			
C-5		A	



SEKON™ ADJUSTABLES NOT CONSTRUCTION NOTES

1. CONTAINT SPECIFICATIONS OF APPLIED PAPER (DPM) FOR REVIEW AND APPROVAL OF ANY CONTRACT SPECIFICATIONS.
2. CONTRACT SPECIFICATIONS MUST BE APPROVED PRIOR TO THE START DATE OF THE PROJECT. CONTRACT SPECIFICATIONS MUST BE APPROVED PRIOR TO THE START DATE OF THE PROJECT.
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10. CONTRACT SPECIFICATIONS MUST BE APPROVED PRIOR TO THE START DATE OF THE PROJECT.

Self

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GRADING & DRAINAGE NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN A PLAN SET FOR INFORMATION REGARDING DESIGN AND DRAINAGE.
2. IF SHALL BE THE JOINT CONTRACTORS RESPONSIBILITY TO OBTAIN EXISTENCE INFORMATION AND CONVEYANCE THEREOF TO THE OWNER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE SET CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE PROJECT DESIGN AND THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COSTS RESULTING FROM SUCH DISCREPANCIES.
4. CONTRACTOR SHALL NOTIFY DESIGNER OF ANY UNEXPECTED CONDITIONS THAT MAY BE ENCOUNTERED DURING THE CONSTRUCTION OF THE PROJECT.
5. ONCE DRAINAGE SPECIAL IS PREPARED AND SUBMITTED, THE OWNER/STATE CONTRACTOR SHALL CONSIDER THE SPECIAL ASSIGNED, AND SHALL TO MAINTAIN A RECORD OF THE SPECIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SPECIAL TO EXTEND THE PERMANENTITY OF THE INSTALLED DRAINAGE SYSTEM DURING THE LIFE OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADJUSTMENTS TO THE DRAINAGE SYSTEM TO BE MAINTAINED BY THE OWNER/STATE CONTRACTOR.
6. THE JOINT CONTRACTORS SHALL COMPLY TO THEIR RESPECTIVE CITY SPECIFICATIONS.

UTILITY NOTES

1. CONTRACTOR TO VERIFY ALL UTILITY CONNECTIONS AND INSERT FROM EXISTING/PROPOSED BUILDING TO SERVICES IN THE FIELD. THE RESPONSIBILITIES FOR THE IDENTIFICATION OF THE UTILITY CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE UTILITY PROVIDER. THE IDENTIFYING UTILITY PROVIDER SHALL BE RESPONSIBLE FOR THE FINAL DESIGN OF THE RESIDENTIAL UTILITY.
2. SEE ARCHITECTURAL PLANS FOR BUILDING CONNECTIONS OF ALL UTILITIES.
3. UTILITY CONNECTIONS (NATURAL GAS, ELECTRICAL, TELECOMMUNICATIONS, ETC.) SHALL BE IDENTIFIED AND LOCATED PRIOR TO CONSTRUCTION OF SUB UTILITIES TO THE SUBJECT BUILDING. THE IDENTIFYING UTILITY PROVIDER SHALL BE RESPONSIBLE FOR THE FINAL DESIGN OF THE RESIDENTIAL UTILITY.

SUBSURFACE INFILTRATION BASIN CONSTRUCTION NOTE

- AT A MINIMUM, ENGINEER SHALL INSPECT THE CONSTRUCTION OF THE SURROUNDING BASIN AT THE FOLLOWING MILESTONES:
1. COMPLETION OF THE INFILTRATION AREA
 2. INSTALLATION OF THE STONE & CHANNELS PRIOR TO BACKFILL
 3. INSTALL OF INFILTRATION SYSTEM PRIOR TO COVERING WITH FILL

PERMITTING



RLA

R LEVESQUE ASSOCIATES

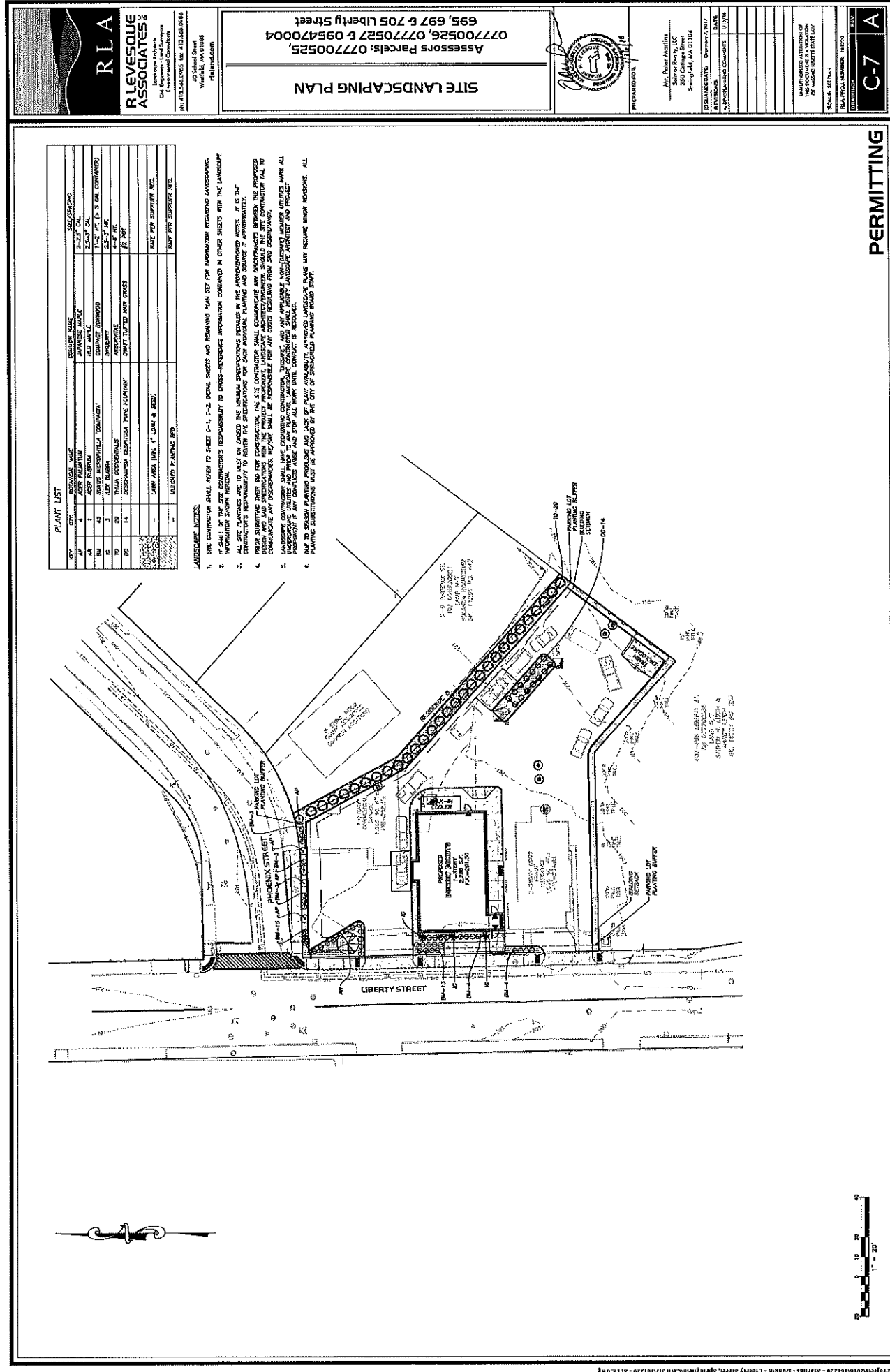
Landscape Architects
Civil Engineers • Land Consultants
Site Planning • Environmental Consultants

ph: 413.568.0985 fax: 413.568.0986

40 School Street
Wendell, MA 01085
rland.com

DRAINAGE & UTILITIES PLAN

[illegible]



RLA
R L VESQUE
ASSOCIATES

City Engineer - Landscaping
Environmental Consultants
PH: 413-548-0965 Fax: 413-548-0966

ASSESSORS' PARCELS: 07700525, 07700526, 0770527 & 095470004

SITE LANDSCAPING PLAN

695, 697 & 705 Liberty Street

PERMITTED FOR:

Mr. Peter Manning
Solstice Realty, LLC
350 College Street
Springfield, MA 01104

DATE: December 7, 2017

REVISIONS:

NO.	DESCRIPTION	DATE
1	2-DIMENSIONAL CONCEPT	11/27/17

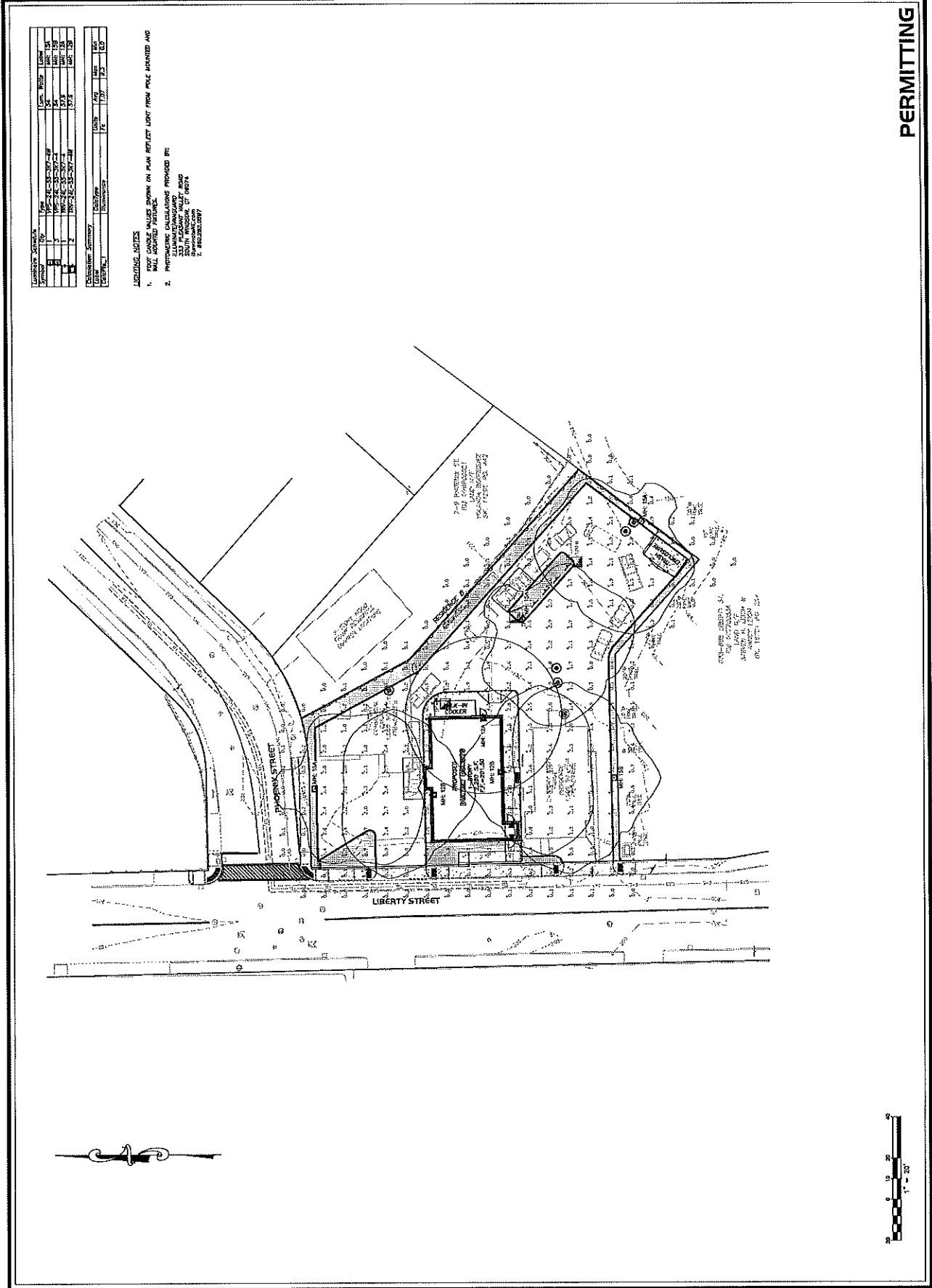
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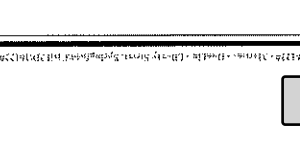
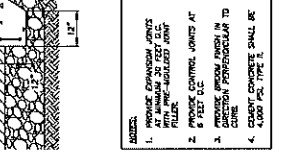
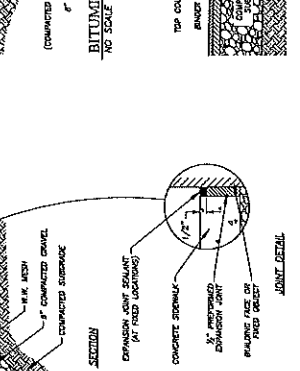
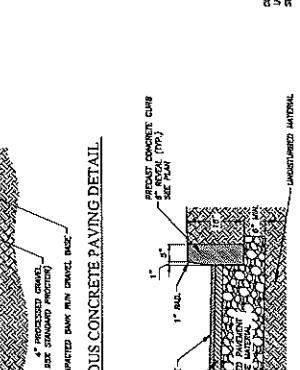
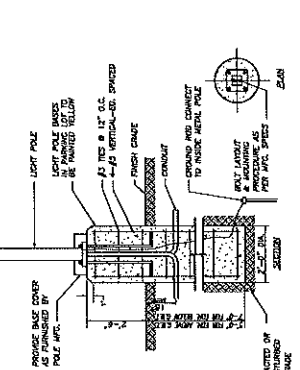
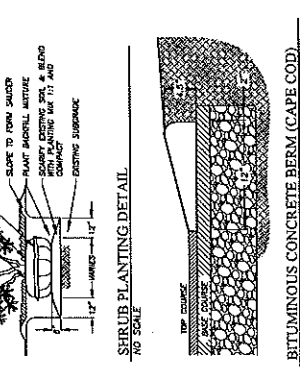
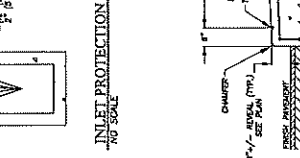
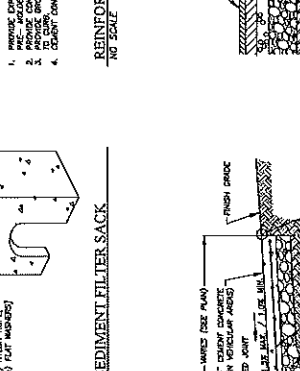
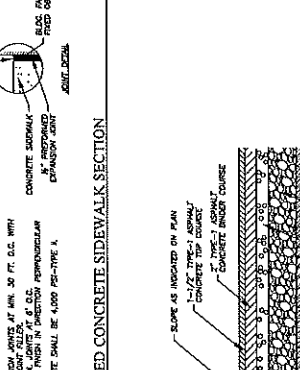
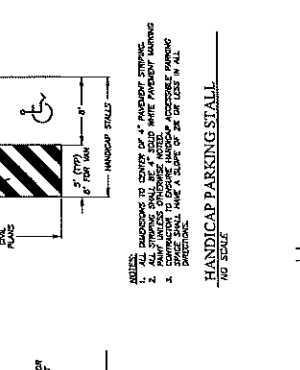
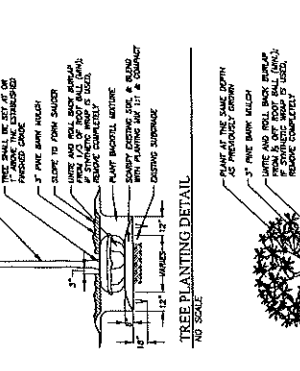
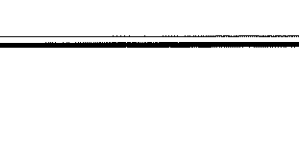
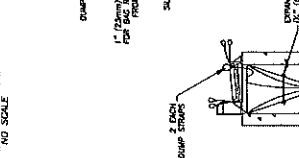
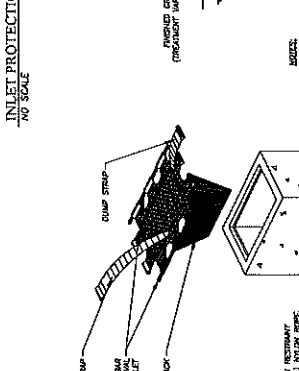
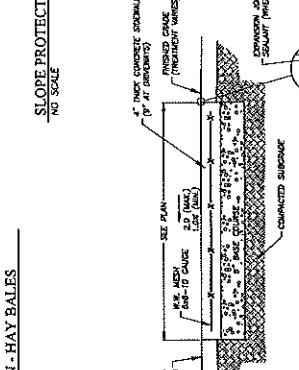
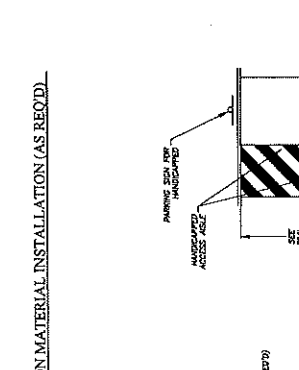
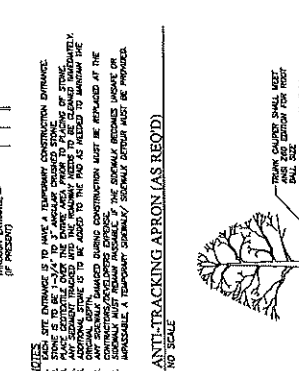
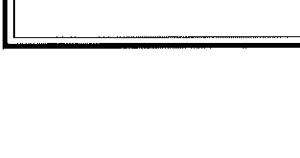
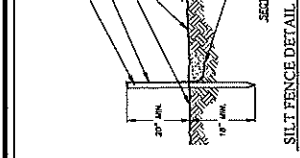
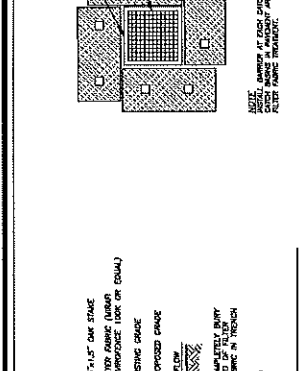
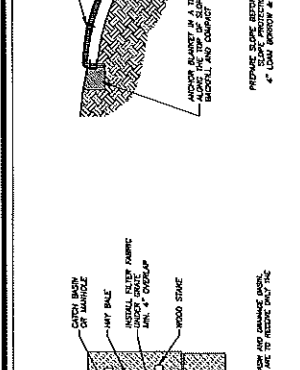
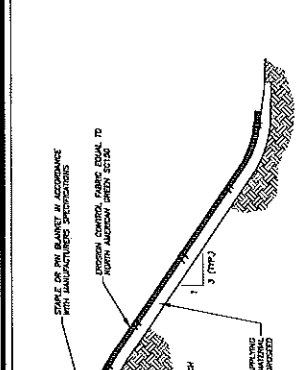
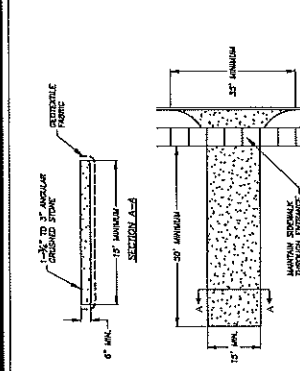
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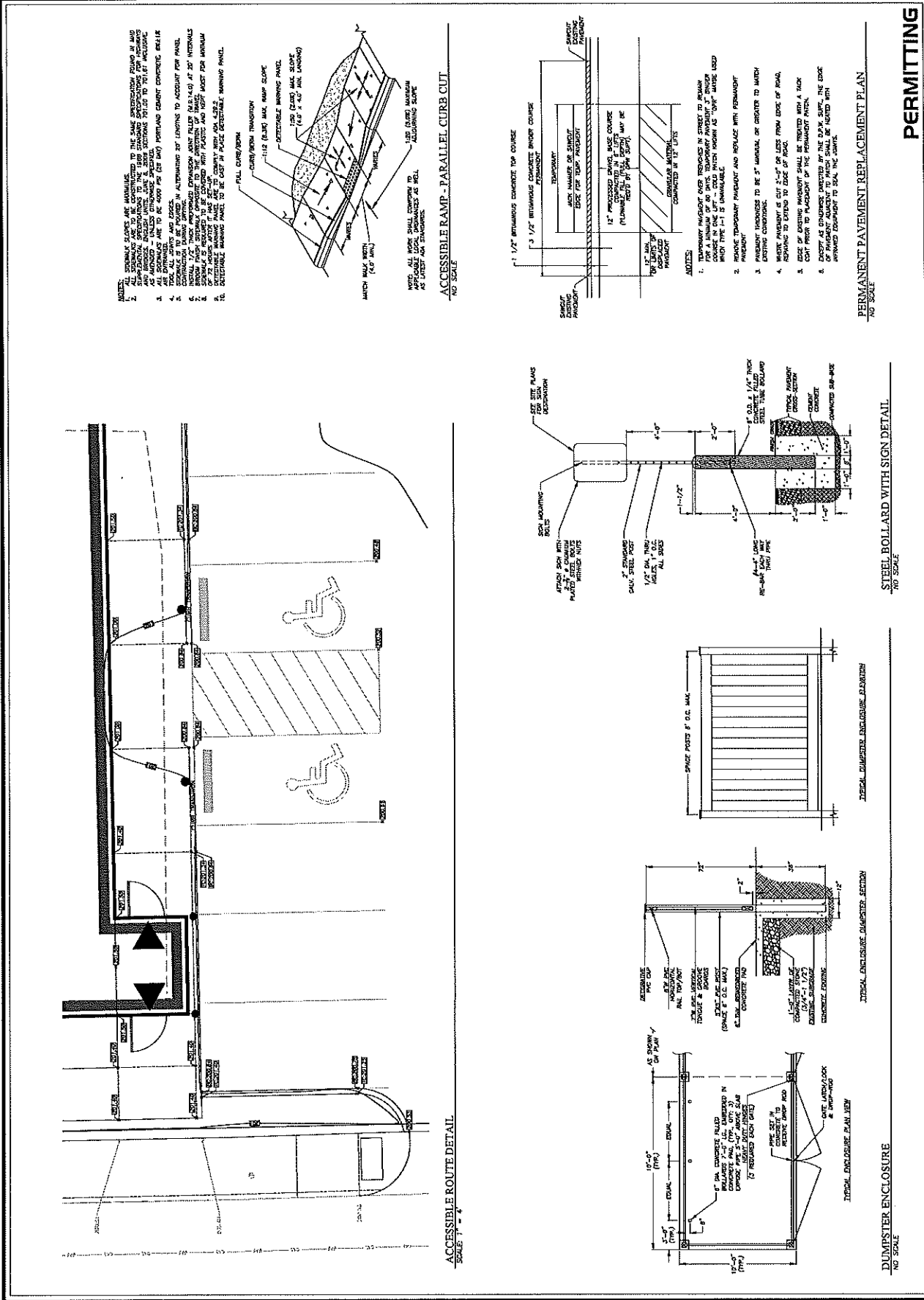
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C-7 A

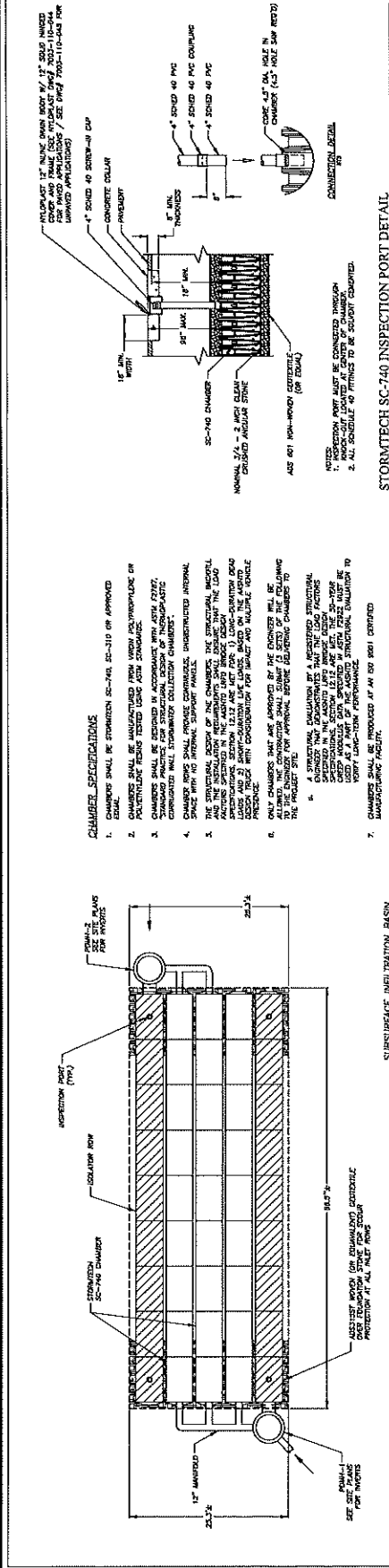




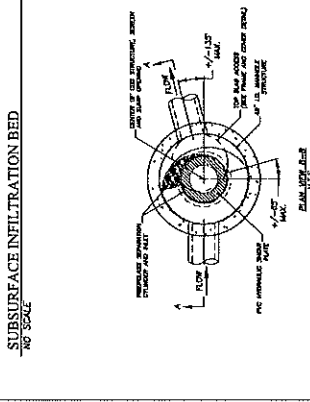
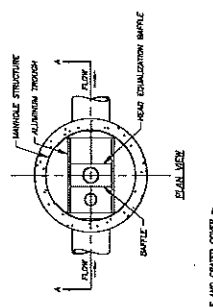




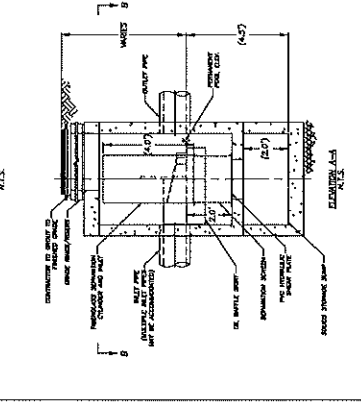
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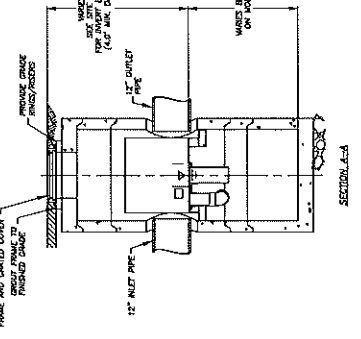
SUBSURFACE INFILTRATION BASIN
40 - STORMTECH SC-740 CHAMBERS
10 - STORMTECH SC-740 END CAPS
BOTTOM OF 6" STONE BASE = 183.50
BOTTOM OF STORMTECH CHAMBER = 194.00
TOP OF 12" STONE COVER = 197.50

SUBSURFACE INFILTRATION BED
NO SCALE

6752913-4-C-DESIGN 110793



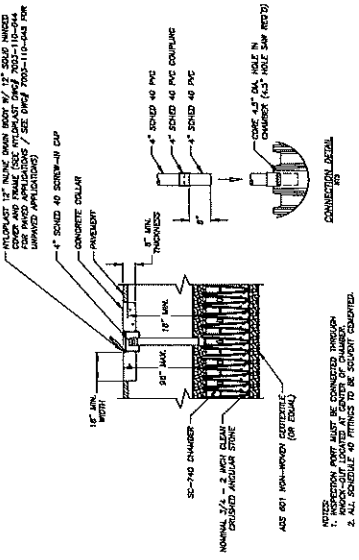
CDS2015-4-C - CDS IN-LINE STANDARD DETAIL (PWQU-1)
NO SCALE



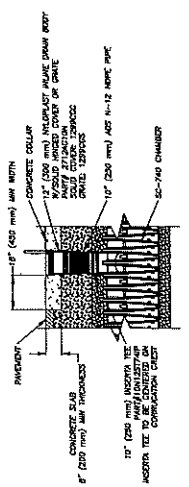
VORTSENTRY HS FRAME & COVER DETAIL - MODEL HS36 (PWQU-2)
NO SCALE

- # CHAMBERS SPECIFICATIONS
1. CHAMBERS SHALL BE PROVIDED IN 24-36, 32-310 OR APPROVED EQUAL.
 2. CHAMBERS SHALL BE MANUFACTURED FROM STEEL UNPOLLISHED OR POLISHED TO A FINISH OF 100 RMS.
 3. CHAMBERS SHALL BE PROVIDED IN COMPLIANCE WITH ALL DRYD, STANDARD PRACTICES FOR STRUCTURAL DESIGN OF NONPRESSURIZED CORRUGATED METAL STRUCTURE COLLECTION CHAMBERS.
 4. CHAMBERS SHALL BE PROVIDED WITH UNDEFORMED INTERNAL STIFFENING WITH TWO LONGITUDINAL STIFFENERS EACH.
 5. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL ANALYSIS AND THE ESTIMATION OF WEIGHT AND SPACE OCCUPIED BY THE CHAMBERS SHALL BE IN ACCORDANCE WITH THE LOAD AND DISTRIBUTION SPECIFICATIONS 12.1.7 ARE NOT FOR 1) LONG-DURATION EXPOSURE TO WIND AND 2) SHORT-DURATION EXPOSURE TO WIND AND MULTIPLE HORIZONTAL COLLISION WITH COMBINATION FOR WIND AND MULTIPLE HORIZONTAL COLLISION.
 6. ONLY CHAMBERS THAT ARE APPROVED BY THE CHARTERED WILL BE ALLOWED. THE CHARTERED SHALL ELABORATE 15 SETS OF THE FOLLOWING INFORMATION TO BE PROVIDED TO THE CHARTERED FOR THE PROJECT SITE:
 - a. A STRUCTURAL EVALUATION BY A REGISTERED STRUCTURAL ENGINEER OF THE CHAMBERS TO BE PROVIDED TO THE CHARTERED. THE EVALUATION SHALL BE IN ACCORDANCE WITH THE CHARTERED'S LATEST DESIGN PRACTICES.
 7. CHAMBERS SHALL BE PROVIDED AT AN END BOLT CONNECTED MANUFACTURING FACILITY.
 8. ALL LOAD SPECIFICATIONS FOR CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S PRACTICES.
 9. CHAMBERS SHALL BE PROVIDED IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.

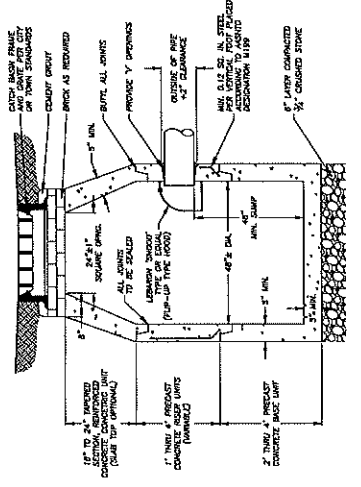
- [illegible]



STORMTECH SC-740 INSPECTION PORT DETAIL
NO SCALE



SC-740 ISOLATOR ROW INSPECTION PORT DETAIL
NO SCALE



STANDARD PRECAST CONCRETE CATCH BASIN
NO SCALE

PERMITTING

	Mr. Peter Melillo CITICORP 210 California Street Springfield, MA 01104		DATE _____	FILE # _____	THIS DOCUMENT CONTAINS NEITHER RECOMMENDATIONS NOR CONCLUSIONS OF THE FBI. IT IS THE PROPERTY OF THE FBI AND IS LOANED TO YOUR AGENCY; IT AND ITS CONTENTS ARE NOT TO BE DISTRIBUTED OUTSIDE YOUR AGENCY.
	INVESTIGATIONS		BY _____	_____	
	A. DISSEMINATING COUNCILS		_____	_____	
			_____	_____	
			_____	_____	
			_____	_____	
	ISSUANCE DATE - December 7, 1987		_____	_____	
PREPARED FOR:			SCALE: SEE PAGE	FBI FILE NUMBER: 44-700	ALBANY
			STANDARDIZATION	D-4	A

UTILITY CROSSING DETAIL (S-03.0)
 NO SCALE

NOTES:
 1. SEE DETAIL S-03.0 FOR UTILITY CROSSING DETAIL.
 2. SEE DETAIL S-03.0 FOR UTILITY CROSSING DETAIL.
 3. SEE DETAIL S-03.0 FOR UTILITY CROSSING DETAIL.
 4. SEE DETAIL S-03.0 FOR UTILITY CROSSING DETAIL.

CLEAN OUT WITH SWEEP (S-04.2)
 NO SCALE

NOTES:
 1. SEE DETAIL S-04.2 FOR CLEAN OUT WITH SWEEP DETAIL.
 2. SEE DETAIL S-04.2 FOR CLEAN OUT WITH SWEEP DETAIL.
 3. SEE DETAIL S-04.2 FOR CLEAN OUT WITH SWEEP DETAIL.
 4. SEE DETAIL S-04.2 FOR CLEAN OUT WITH SWEEP DETAIL.

NEW WATER SERVICE (W-11.0)
 NO SCALE

NOTES:
 1. SEE DETAIL W-11.0 FOR NEW WATER SERVICE DETAIL.
 2. SEE DETAIL W-11.0 FOR NEW WATER SERVICE DETAIL.
 3. SEE DETAIL W-11.0 FOR NEW WATER SERVICE DETAIL.
 4. SEE DETAIL W-11.0 FOR NEW WATER SERVICE DETAIL.

EXTERNAL OREASE INTERCEPTOR (S-08.0)
 NO SCALE

NOTES:
 1. SEE DETAIL S-08.0 FOR EXTERNAL OREASE INTERCEPTOR DETAIL.
 2. SEE DETAIL S-08.0 FOR EXTERNAL OREASE INTERCEPTOR DETAIL.
 3. SEE DETAIL S-08.0 FOR EXTERNAL OREASE INTERCEPTOR DETAIL.
 4. SEE DETAIL S-08.0 FOR EXTERNAL OREASE INTERCEPTOR DETAIL.

TYPICAL STANDARD SECTION FOR SIDEWALK CONSTRUCTION (CONCRETE)
 NO SCALE

NOTES:
 - STANDARD SIDEWALK SLOPE IS 3/16 PER FT.
 - MINIMUM CONCRETE STRENGTH WILL BE 4,000 PSI CLASS D

STANDARD SIDEWALK CONSTRUCTION AT COMMERCIAL DRIVEWAYS
 NO SCALE

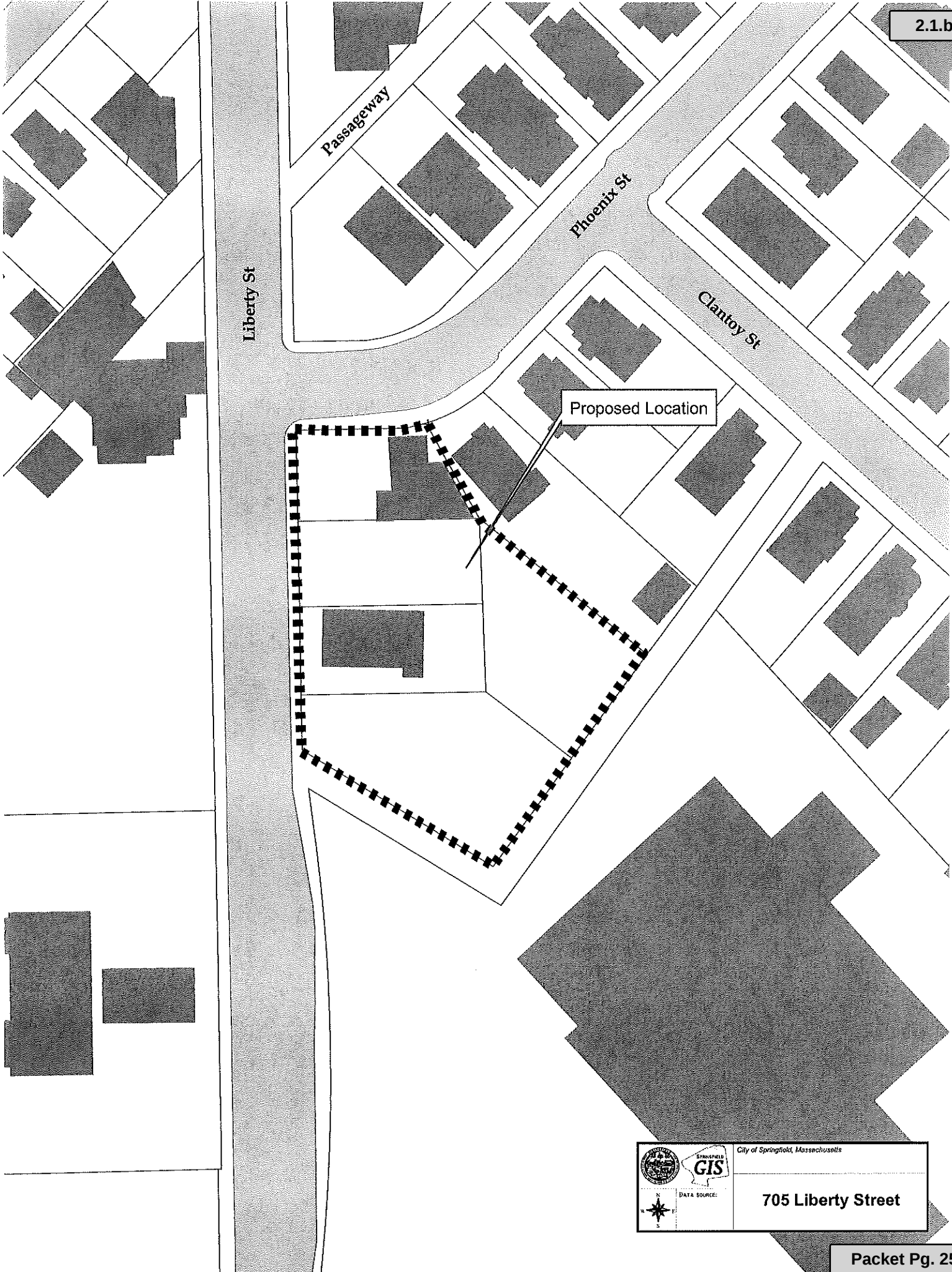
NOTES:
 - 5" CONCRETE MAY BE REPLACED BY 6" ASPHALT IF APPROVED
 - 5" CONCRETE SHALL BE 4,000 PSI CLASS D
 - MAXIMUM DRIVEWAY WIDTH IS 40' WITH TWO 2" CURB RETURNS (NO OPENING)
 - 4" REINFORCING BARS SHALL BE PLACED 12" O.C. 3" FROM GRAVEL BASE
 - MINIMUM CONCRETE STRENGTH WILL BE 4,000 PSI CLASS D

TRENCH REPAIR SPECIFICATION ARTERIAL STREET
 NO SCALE

NOTES:
 1. SEE DETAIL S-08.0 FOR TRENCH REPAIR SPECIFICATION DETAIL.
 2. SEE DETAIL S-08.0 FOR TRENCH REPAIR SPECIFICATION DETAIL.
 3. SEE DETAIL S-08.0 FOR TRENCH REPAIR SPECIFICATION DETAIL.
 4. SEE DETAIL S-08.0 FOR TRENCH REPAIR SPECIFICATION DETAIL.

PERMITTING
 TRENCH REPAIR SPECIFICATION - ARTERIAL STREET
 NO SCALE

SPRINGFIELD, MA DPW 2-27-2006



Attachment: Liberty_St_705_2020 (5553 : 705 Liberty Street, Et.Al.)

 	 City of Springfield, Massachusetts
	705 Liberty Street



City Council
36 Court Street
Springfield, MA 01103

Meeting: 05/18/20 06:30 PM
Department: Economic Development
Category: Special Permit
Prepared By: Phil Dromey
Initiator: Phil Dromey
Sponsors:

DOC ID: 5558

SCHEDULED

PETITION (ID # 5558)

For a Special Permit Motor Vehicle Sales, as an Accessory Use, at the Property Known as 1103-1107 State Street (11110-0429)(Book#21733/Page#251), as Allowed by M.G.L. and the Springfield Zoning Ordinance, Article 4, Table 4-4, Section 19.5.

Request:	See Above
Owner:	Amjad Hussain
By:	Amjad Hussain
Petitioner:	Amjad Hussain
By:	Amjad Hussain

To The City Council of the City of Springfield:
The undersigned respectfully petition your honorable body

for a special permit motor vehicle sales, as an accessory use, at the property known as 1103-1107 State Street (11110-0429)(Book#21733/Page#251), as allowed by M.G.L. and the Springfield Zoning Ordinance, Article 4, Table 4-4, Section 19.5.

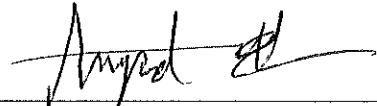
Mailing Address:

37 Mohave Road
Worcester, MA 01606

Owner & Petitioner:

Amjad Hussain

I hereby certify that I am the owner and petitioner or acting on behalf of the owner and petitioner.

BY: 
Amjad Hussain

Attachment: State_St_1103_Tax_Formal (5558 : 1103-1107 State Street)



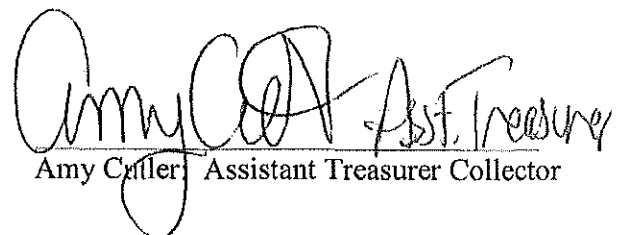
THE CITY OF
SPRINGFIELD, MASSACHUSETTS

02/24/2020

Special Permit Tax Certification

I certify that all identifiable real estate, personal property and excise taxes have been paid by the petitioner and/or landlord associated with the special permit request shown below:

Special Permit : 1103-1107 State Street
Petitioner : Amjad Hussain
LandLord : Amjad Hussain


Amy Culler Assistant Treasurer Collector

Attachment: State_St_1103_Tax_Formal (5558 : 1103-1107 State Street)

**OFFICE OF PLANNING & ECONOMIC DEVELOPMENT
ANALYSIS FOR A SPECIAL PERMIT**

**1103-1107 STATE STREET (11110-0429)
MOTOR VEHICLES SALES (ACCESSORY USE)**

General Information

Petitioner:	Amjad Hussain
Request:	Motor vehicles sales – as an accessory use
Proposed use of the property:	Gas station/convenience store/automotive repair
Parcel Size:	20,548 s.f.
Compatibility with current planning documents:	The Upper Hill Neighborhood Plan shows no changes to this area.
Neighborhood council notification:	Upper Hill Residents Council: 3-9-20
Tax Status:	SEE ATTACHED
Site Visit:	3-4-20
City Council Hearing:	3-30-20

Staff Analysis

Neighborhood characteristics:

The property is currently zoned split zoned between Business A and Business B and is located in an area that has a mix of commercial and residential uses. The surrounding land uses include:

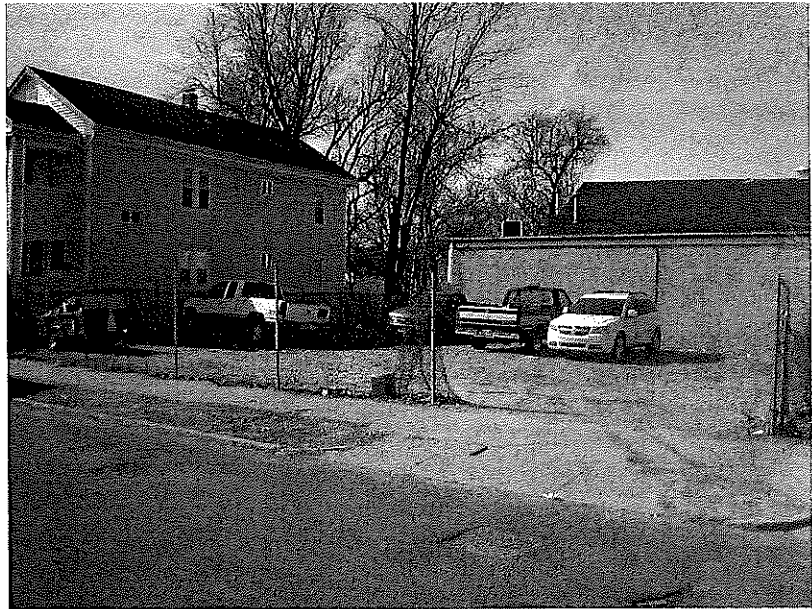
- To the north are a number of mixed-use buildings zoned Business A.
- To the south is a two-family dwelling zoned Residence B.
- To the east are a retail operation and a single-family house zoned Business A and Residence B.
- To the west is a commercial building zoned Business A.

Site plan review:

The petitioner has requested a special permit to sell used cars, as an accessory use, at the property known as 1103-1107 State Street. This is the current location of an Express Gas Station and convenience store and JST Automotive Center. The petitioner has submitted indicating the proposed sales of used cars on the area located behind the existing convenience store. The property is accessed off Dresden Street. Due to the fact that this property is zoned Business A, the petitioner is limited to no more than five (5) motor vehicles for sale at any one time.

After reviewing the proposed plans and visiting the site, the staff has very strong concerns about the proposed use. First and foremost, after visiting the site, it was noted that the area where the cars are to be located is in

very poor condition. The existing fencing along Dresden Street is in falling over and the property itself is covered in trash and debris. There are also several vehicles being parked on this property that appear to have been there for a long period of time. It was also unclear to the staff, at the time of the visit, if these vehicles were all properly registered. It should also be noted that the property is not currently paved and, as such, should not be being used for parking until the proper paving has been installed. Additionally, it was noted that there is also a lot of trash and debris, including piles of tires, located behind the building. There is also a tractor trailer body being stored behind the building, which is in violation of the Zoning Ordinance.



After completing the site visit, the staff also conferred with the Code Enforcement Department and confirmed that this property has been cited in the past for zoning violations and specifically notified the owner back in October 2019 that the tractor trailer body had to be removed. As can be seen by the attached photo, the tractor trailer body has not yet been removed.



Due to the fact that this property directly abuts residential uses, the staff is very concerned with the overall condition of this property.

While the petitioner has submitted a plan which shows that paving and landscaping will be installed, it would be the staff's strong recommendation that this item be continued until all code issues have been addressed. The staff also plans to re-inspect the property before the City Council meeting, scheduled for March 30th, and if no progress has been made to rectify these code issues, it would be the staff's recommendation that the special permit be denied.

Recommendation

Continue. Due to the overall condition of the property it would be the staff's recommendation that this special permit not be approved until all of the issues have been addressed. However, if no progress has been made to rectify the outstanding code violations by March 30th, it would be the staff's recommendation that this special permit not be approved.

IF APPROVED*Recommended Conditions*

1. This special permit is granted to this petitioner only.
2. This special permit is granted solely for motor vehicle sales, as an accessory use, at the property known as 1103-1107 State Street (11110-0429).
3. The use shall be developed as per the attached site plan, with the addition of conditions #4 and #18.
4. There shall be no more than five (5) vehicles for sale parked and/or displayed at this property at any one time.
5. In addition to the special permit approval, a full review by the Department of Public Works, as per the provisions of City Ordinance, Chapter 27, Article VIII, § 27-58 through 27-63, will be required for the proposed paving. This approval shall be obtained prior to the start of any paving.
6. All landscaped areas shall be installed as per the attached plans. This landscaping, as well as the entire site, shall be maintained and kept free of all overgrown vegetation, weeds, litter and/or debris.
7. The tractor trailer body located behind the building shall be removed.
8. The existing fencing along Dresden Street shall be replaced with a new, black vinyl, chain link fence. New fencing shall be no higher than six (6) feet.
9. There shall be no barbed and/or razor wire located on the fencing,
10. There shall be no storage of junk vehicles located on the property.
11. The public sidewalk(s) and tree belt(s) along Dresden Street and State Street shall be maintained, including snow removal.
12. All signs shall be properly permitted prior to installation.
13. There shall be no banners, streamers or pennants located on the property. Any and all temporary signage shall be properly permitted.
14. Any and all dumpsters shall be completely enclosed.
15. The building shall be maintained graffiti free.
16. There shall be no outdoor storage of materials, including tires.
17. Any and all lighting shall be shielded from the residential abutter.
18. Any and all Code violations shall be rectified prior to the issuance of the vehicle sales license.
19. Compliance with these conditions, as well as any and all zoning regulations, is required. Failure to comply may result in denial of the issuance of a Building Permit and/or Occupancy Permit, revocation of any permits issued and/or enforcement by the Code Enforcement Department punishable by fines of up to \$200 per day for each day a violation exists.



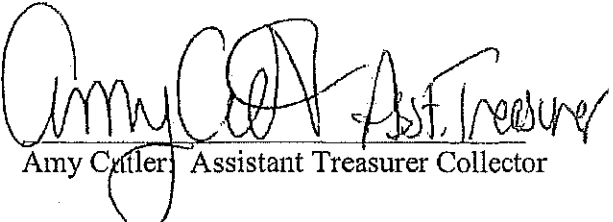
THE CITY OF
SPRINGFIELD, MASSACHUSETTS

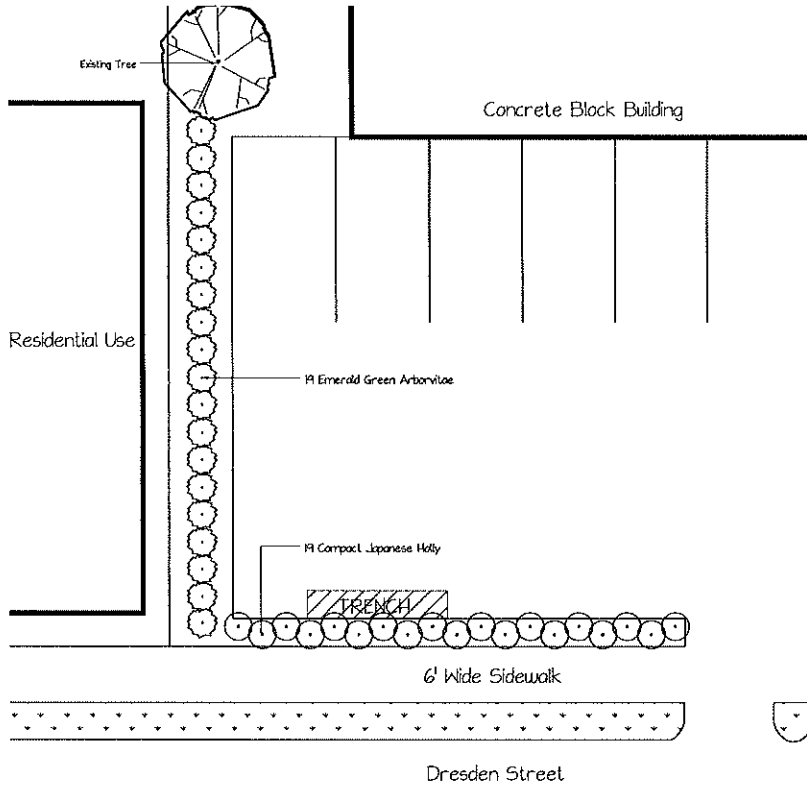
02/24/2020

**Special Permit
Tax Certification**

I certify that all identifiable real estate, personal property and excise taxes have been paid by the petitioner and/or landlord associated with the special permit request shown below:

Special Permit : 1103-1107 State Street
Petitioner : Amjad Hussain
LandLord : Amjad Hussain


Amy Cutler Assistant Treasurer Collector



Existing Gas Station

PLANT SCHEDULE

Key	Qty	Botanical Name	Common Name	Size/Condition
Trees				
T05	11	Thuja Occidentalis 'Emerald Green'	Emerald Green Arborvitae	3'-4'
Shrubs				
EC	11	Ilex Crataegus Compacta	Compact Japanese Holly	18"-24"

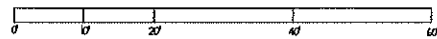
PLANTING PLAN

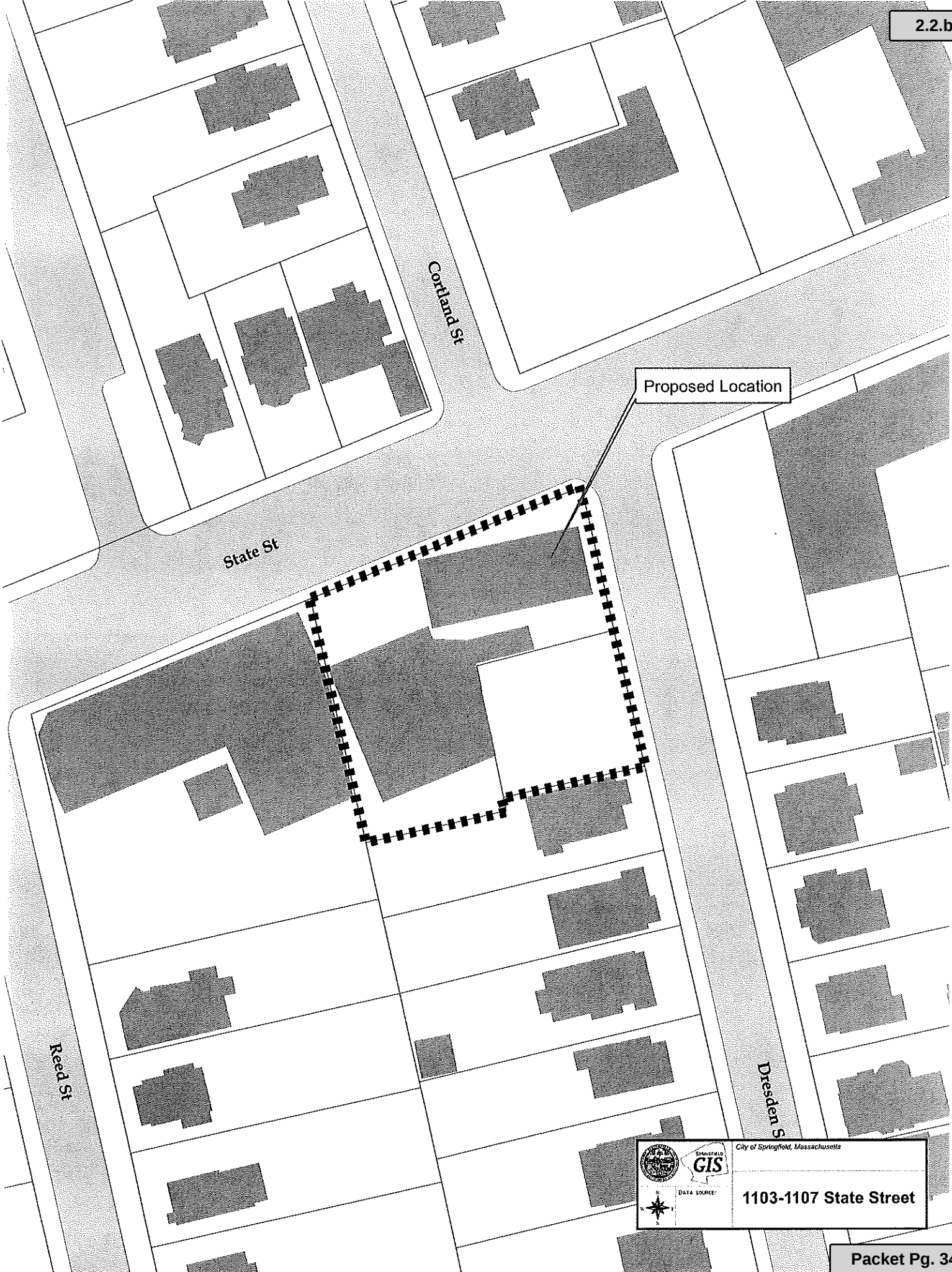
AMJAD HUSSAN

DESIGNED BY:



SCALE: 1" = 10'-00"

1103-1107 STATE STREET
SPRINGFIELD, MA 01104
 110 BAY ST. SPRINGFIELD, MA 01104
 PHONE # 413-244-6440
 EMAIL: stephen@stephenjroberts.com
 stephenjroberts.com
 DATE: 1/17/2020



Proposed Location

State St

Cortland St

Reed St

Dresden St



City of Springfield, Massachusetts



DATA SOURCE:

1103-1107 State Street

Attachment: State St_1103_1107_2020 (5558 : 1103-1107 State Street)