CITY COUNCIL

City Clerk's Office 8/12/2020 12:00:00 PM

Hearings Meeting Agenda~

I hereby notify you that the following items of business have been filed with this office and can be acted upon at the meeting of the City Council **Monday August 17, 2020** at 06:30 PM.

City Clerk

Hearings

6:30 PM Meeting called to order on August 17, 2020. THE MEETING WILL BE HELD VIA ZOOM (utilizing remote collaboration technology).

Moment of Silence - Pledge of Allegiance

Petition

() Black Lives Matter Mural

ATTACHMENTS:

- BLACK LIVE MATTER MURAL REQUEST - 7.18.2020 (PDF)
- BLM .5 top (PDF)
- BLM street .5(PDF)
- BLM Street (PDF)
- top BLM (PDF)
- 26 BLM asphalt murals across the US (PDF)

Orders

() PACE Massachusetts (Mayor Sarno, Councilor Lederman, Ward 2 Councilor Fenton)

ATTACHMENTS:

- PACE Massachusetts 7-2020 detailed_v2 (PDF)
- PACE Massachusetts 2020 (PDF)

() Election Warrant (Mayor Sarno)

ATTACHMENTS:

- SEPTEMBER PRIMARY WARRANT 2020 (PDF)
- POLLING PLACES 2020 EXCEL (PDF)

Special Permits

() For a Special Permit for a Temporary Truck or Truck Body Storage Lot at the Property Known as 158 Avocado Street 00845-0035) (Book#3441/Page#205), as Allowed by M.G.L. and the Springfield Zoning Ordinance Article 4, Table 4-4, Section 12.5(2).

Request: See Above

Owner:	Springfield Cooperative Farmers Market Association, Inc.
By:	Richard A Skypek, Esquire
Petitioner:	Springfield Cooperative Farmers Market Association, Inc.
By:	Richard A Skypek, Esquire

ATTACHMENTS:

- Avocado_St_158_Tax_Formal (PDF)
- Avocado_St_158_2020 (PDF)

() To Amend an Existing Special Permit (Motor Vehicle Service Station), Granted July 2007, by Allowing a Change in the Site Plan at the Property Known as 740 Boston Road (01655-0126)(Book#18106/Page#199), as Allowed by M.G.L. and the Springfield Zoning Ordinance Article 4, Table 4-4, Section 12.3(1).

Request:	See Above
Owner:	GOGRI, Inc.
By:	Hasmukh Gogri
Petitioner:	GOGRI, Inc.
By:	Hasmukh Gogri

ATTACHMENTS:

- Boston_Rd_740_Tax_Formal (PDF)
- Boston_Rd_740_2020 (PDF)

() To Amend an Existing Special Permit (Drive-Up Service Window), Granted August 2006, by Allowing a Change to the Petitioner, at the Property Known as 381 Cooley Street (03170-0199) (Book#21176/Page#558), as Allowed by M.G.L. and the Springfield Zoning Ordinance Article 4, Table 4-4, Section 19.1(1).

Request:	See Above
Owner:	Jefferson Investors, LLC
By:	Andrew Cohen, President
Petitioner:	Walgreens S17787
By:	Robert Lauzon

ATTACHMENTS:

- Cooley_St_381_Tax_Formal (PDF)
- Cooley_Sy_381_2020 (PDF)

() For a Special Permit for a Motor Vehicle Service Station (Gas Station/No Repair Service) and a Drive-Up Service Window at the Properties Known as 3111 Main Street (08130-0397)(Book#22005/Page#37), ES Main Street (08130-0394)(Book#22929/Page#511) and 11 Merwin Street (08580-0035)(Bool#22738/Page#566), as Authorized by M.G.L. and the Springfield Zoning Ordinance, Article 4, Table 4-4, Section 12.3(1) and 19.1(2).

Request:	See Above
Owner:	Zahoor UI Haq
By:	Zahoor UI Haq
Petitioner:	Zahoor UI Haq
By:	Zahoor UI Haq

ATTACHMENTS:

- Main_St_3111_Tax_Formal (PDF)
- Main_St_3111_2020 (PDF)

() For a Special Permit for the Expansion of a Non-Conforming Use (Used Car Sales) Located at the Property Known as 724 Page Boulevard (09440-0124) (Book#15109/Page#0177) to the Property Known as 734 Page Boulevard (09440-0127) (Book#22737/Page#187), as Allowed by M.G.L. and the Springfield Zoning Ordinance, Article 10, Section 10.1.30.

Request:	See Above
Owner:	Carlos G Dias
By:	Carlos G Dias
Petitioner:	Carlos G Dias
By:	Carlos G Dias

ATTACHMENTS:

- Page_Bl_724_734_Tax_Formal (PDF)
- Page_Bl_734_2020 (PDF)

() To Amend an Existing Special Permit (Motor Vehicle Sales), Granted May 2010, by Allowing a Change in the Petitioner, at the Property Known as 193 Taylor Street (11430 0163) (Book#14035/Page#172) as Allowed by M.G.L. and the Springfield Zoning Ordinance, Table 4-4, Section 12.1.

Request:	See Above
Owner:	Samuel Springer
By:	Samuel Springer
Petitioner:	Samuel Springer
By:	Samuel Springer

ATTACHMENTS:

- Taylor_St_193_Tax_Formal (PDF)
- Taylor_St_193_2020 (PDF)

() For a Special Permit for Motor Vehicle Sales at the Property Known as NS Worcester Street (A.K.A. 93 Grochmal Avenue)(12525-0150)(Book#11182/Page#387), as Allowed by M.G.L. and the Springfield Zoning Ordinance, Article 4, Table 4-4, Section 12.1.

Request:	See Above
Owner:	Hayastan Industries, Inc.
By:	Stephen Shahabian
Petitioner:	Stephen Shahabian
By:	Stephen Shahabian

ATTACHMENTS:

- Worcester_St_NS_Tax_Formal (PDF)
- Worcester_St_NS_2020 (PDF)

Black Lives Matter Mural

ORDER FOR LOCATION

WHEREAS, The Board of Public Works, to which was referred the petition of Common Wealth Murals to paint Black Lives Matter on the road in front of 36 Court St, from City Hall Place in direction to East Columbus Ave.

WHEREAS, said petition Black Lives Matter Mural was referred to the Board of Public Works on July 20, 2020; and

WHEREAS, On July 20, 2020 a Notice of a Public Hearing on Black Lives Matter Mural, to be held July 29, 2020, was sent by email, various Departments, Utility Companies, etc before the day of the hearing and posted on two public bulletin board a copy of which is attached a hearing of the Board of Public Works was held as scheduled in City Hall Room 205 by Zoom Meeting with the petitioner and interested parties.

WHEREAS, on August 10, 2020 the Board of Public Works reported thereon that, after careful consideration of petition of Common Wealth Murals to paint Black Lives Matter in front of 36 Court St, from City Hall Place in direction to East Columbus Ave., shown on street mockup picture:

consisting of three (3) sheet, which is incorporated herein by reference and is on file in the office of the Engineering Division of the Department of Public Works, Springfield, Massachusetts.

WHEREAS, petition Black Lives Matter Mural came before the City Council for a Public Hearing on this date,

NOW THEREFORE, BE IT ORDERED:

1. That due care for public safety is exercised during construction including but not limited to the use of a police officer(s) for traffic control if necessary.

2. That said works would not unnecessarily interfere with the movement of vehicular or pedestrian traffic in the area.

3. That the petitioner is permitted to place logo in front of 36 Court St, from City Hall Place in direction to East Columbus Ave., shown on street mockup picture.

b

BLACK LIVE MATTER STREET MURAL REQUEST

Mission of the Event:

City Councilors Tracye Whitfield, Justin Hurst and Marcus Williams, along with, Common Wealth Murals Director Britt Ruhe, and professional Artist Kim Carlino believe the Black Lives Matter (BLM) mural is a work of conceptual art that activates the consciousness of those who view it. Although on the ground, it can seem abstract, as the entire phrase is not visible, the impact of photography and social media work together for the effectiveness of the piece. The experience of viewing the mural symbolic of the fight for racial justice, which is long and necessitates effort and the taking of multiple perspectives in order to understand the whole.

Activating this space is a symbolic action on the part of the City, politicians, artists and the community. It is used to raise people's awareness that the Black Lives Matter fight is very significant. It symbolically stands up to the powers that be that deny black people their humanity. The mural makes the statement that the protestors and all those who fight for racial justice are being heard, and that those who are not on the side of the fight for justice for black lives, have been put on notice that the City of Springfield stands for racial and social justice. This bold statement, in the form of a mural, speaks for the voices of people who are taking bold steps to fight for justice in the mist of adversity and even in the midst of a pandemic.

Mission of the Organization:

Common Wealth Murals is a non-profit in Massachusetts which fosters the creation of exceptional murals, by and for the community. Common Wealth Murals (CWM) designs and manages a community-engaged mural festival and individual mural installations, and a Community Mural Institute that trains artists in the best practices of community mural making. Common Wealth Murals produced Fresh Paint Springfield and several individual mural installations in Springfield.

Britt Ruhe is the Director of Common Wealth Murals. She holds an MBA from the University of Massachusetts and has over 25 years of experience managing nonprofit organizations and events.

Britt can be reached via email at britt@commonwealthmurals.org or by phone at (413) 230 - 8146

Artist:

Kim Carlino is our lead artist. Kim Carlino received her BFA from the University of Massachusetts Amherst in 2011. Carlino has exhibited locally and nationally, including shows at the University Museum of Contemporary Art in Amherst, the 2019 Every Woman Biennial, Site Brooklyn Gallery, Garvey Simon Gallery, Alfa Gallery in Miami, the Grand Rapids ArtPrize, and a featured artist in the Pierogi Flat Files and Boston Drawing Project. Carlino was a member on the team of artists that installed the 25 year Drawing Retrospective of Sol LeWitt's Wall Drawings at MASS MoCA in North Adams, Massachusetts in 2008. Her team installed Wall Drawing #38, Wall Drawing #142, and Wall Drawing #797. Carlino's awards include the Prutting Award for Painting, Bromfield Solo Competition, Dehn Visiting Artist Fellowship, and a 2016 Massachusetts Cultural Council Fellowship in Drawing and Printmaking. Carlino has been painting murals since 2014 and has completed numerous mural commissions as well as public art projects for the City of Springfield, City of Colorado Springs, City of Northampton, Lower Eastside Business Improvement District, NYC Department of Transportation, Isenberg Projects in Boston and an upcoming project for Turning Art.

Kim was chosen as the lead artist based on the quality of her previous murals, her commitment to engaging with the community, her contribution to diversity in areas of: race, ethnicity, gender and sexual orientation. Kim also has experience painting murals on different textures including asphalt. She has experience in organizing the community in similar painting events, include but not limited to, the Fresh Paint murals.

Kim can be reached via email at kimcarlino@gmail.com

b

BLACK LIVE MATTER STREET MURAL REQUEST

Location and Dimensions:

The proposed location for the Black Lives Matter mural is **36 Court St, Springfield MA 01103**. It will start the near the Corner of **City Hall Place** and continue to the end of the road close to East Columbus Ave. Following the lead of many Black Lives Matters asphalt murals across the country, we propose the letters cover both lanes of Court Street. However, if the DPW deems it safer, we can contain the mural to one lane. If the letters cover both lanes, the size of the mural will be approximately 20' x 1801. If covering only one lane, the size of the mural will be approximately 10ft x 90ft. The mural will be painted with AmorSeal TredPlex paint which is designed for use on asphalt. (Please see attached drawings of communities that have murals stretched across both side of the road also see the proposed mural drawings)

Date and Time:

We propose a tentative date and of Saturday, September 12, 2020 to paint the mural. The painting event will be 8:00 am – 4:00 pm. The Mural takes about 16 hours to dry after that. We request Court Street is blocked off until 12:00 pm on Sunday September 13, 2020.

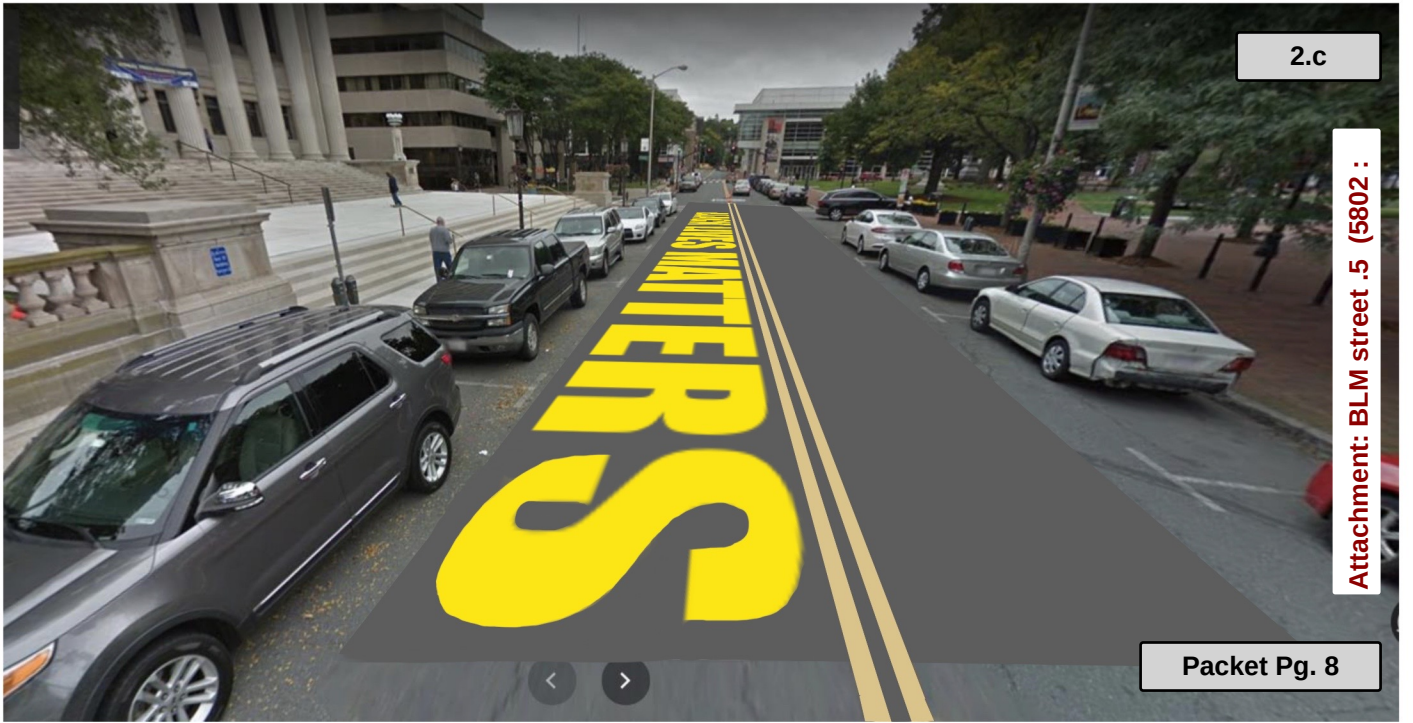
Community Engagement:

The committee will engage the community in discussions about the mural upon approval of the Board of Public Works. We will host a socially distance event that will allow residents and community supporters to sign up to help fill in the BLM letter with paint. During the event, we hope Mayor Sarno will support with his presence and police presence.

Budget:

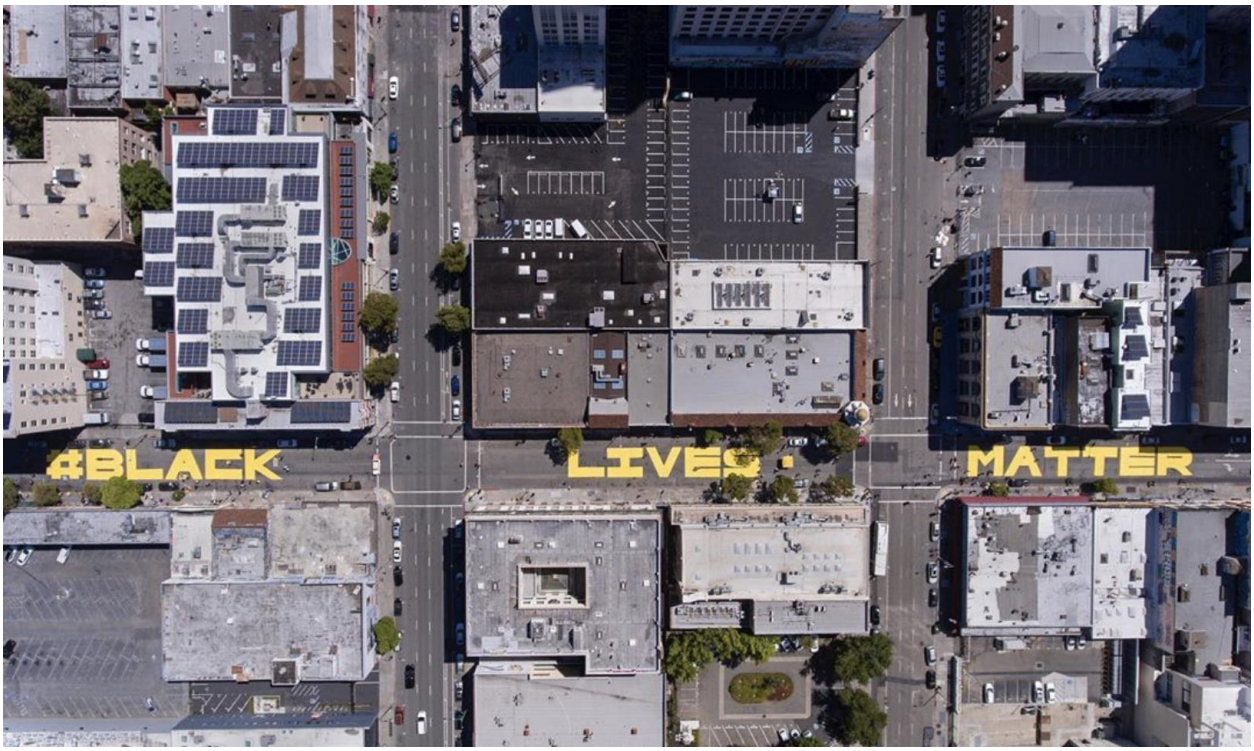
Black Live Matter Mural Budget	Number	# of hours	Amount	Total Amout
Professional Artist Stipend	3		$500.00	$1,500.00
Police Detail	3	10	$100.00	$3,000.00
Paint	1		$1,200.00	$1,200.00
Supplies(Paint Brushes, Mask, Tape for letters, Hand Sanitizer)	1		$600.00	$600.00
Food (Water and Snack for community participants)	1		$500.00	$500.00
Permits	1		$200.00	$200.00
			Total Cost	**$7,000.00**

Attachment: BLM .5 top (5802 : Black Lives

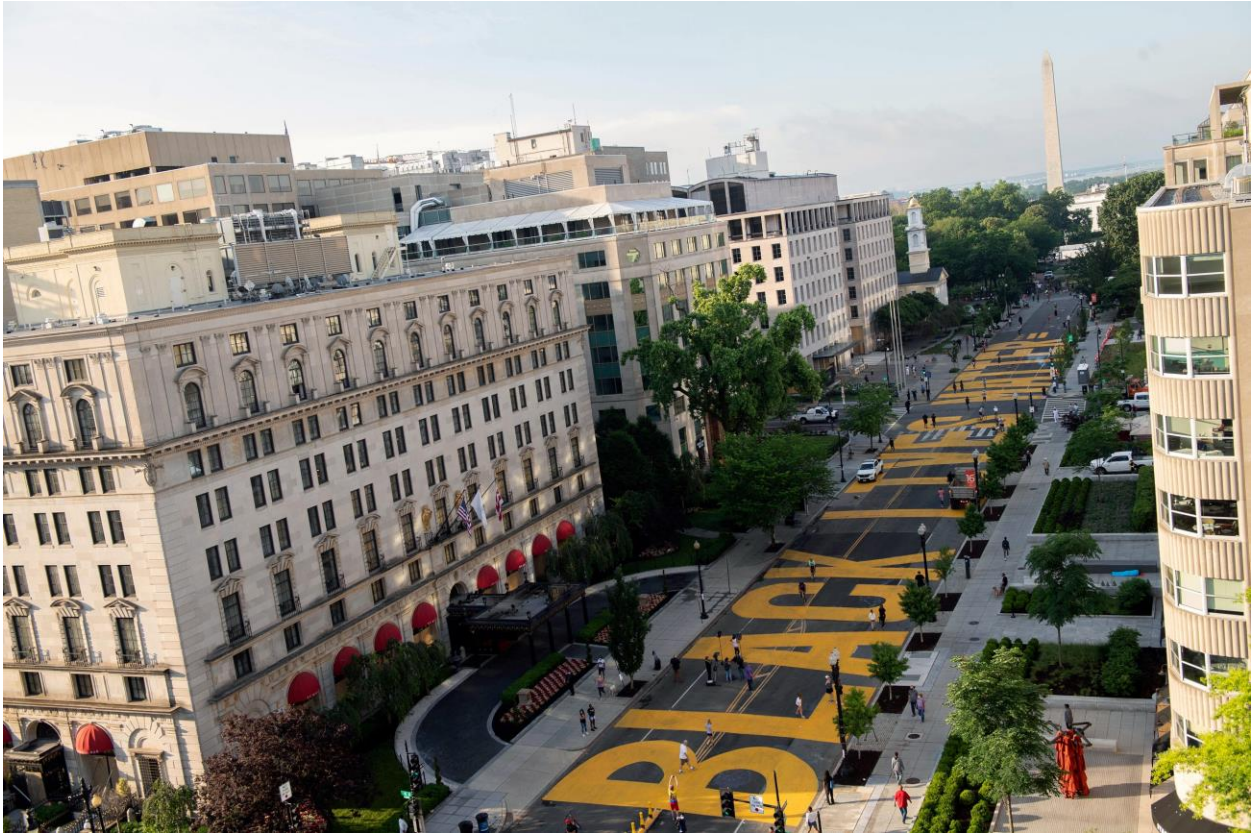

BUSES

Attachment: top BLM (5802 : Black Lives

Charlotte, NC



Oakland, CA

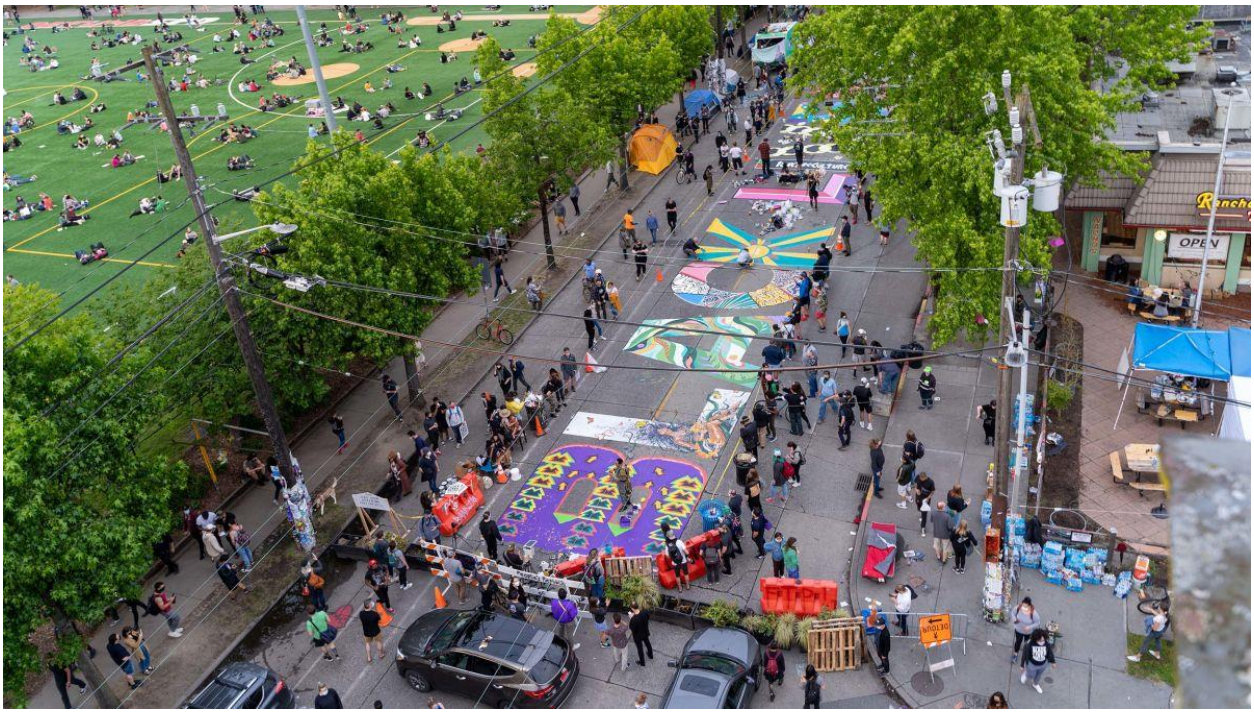


Washington, DC

Boston, MA

Harlem, NY

Tampa Bay, FL

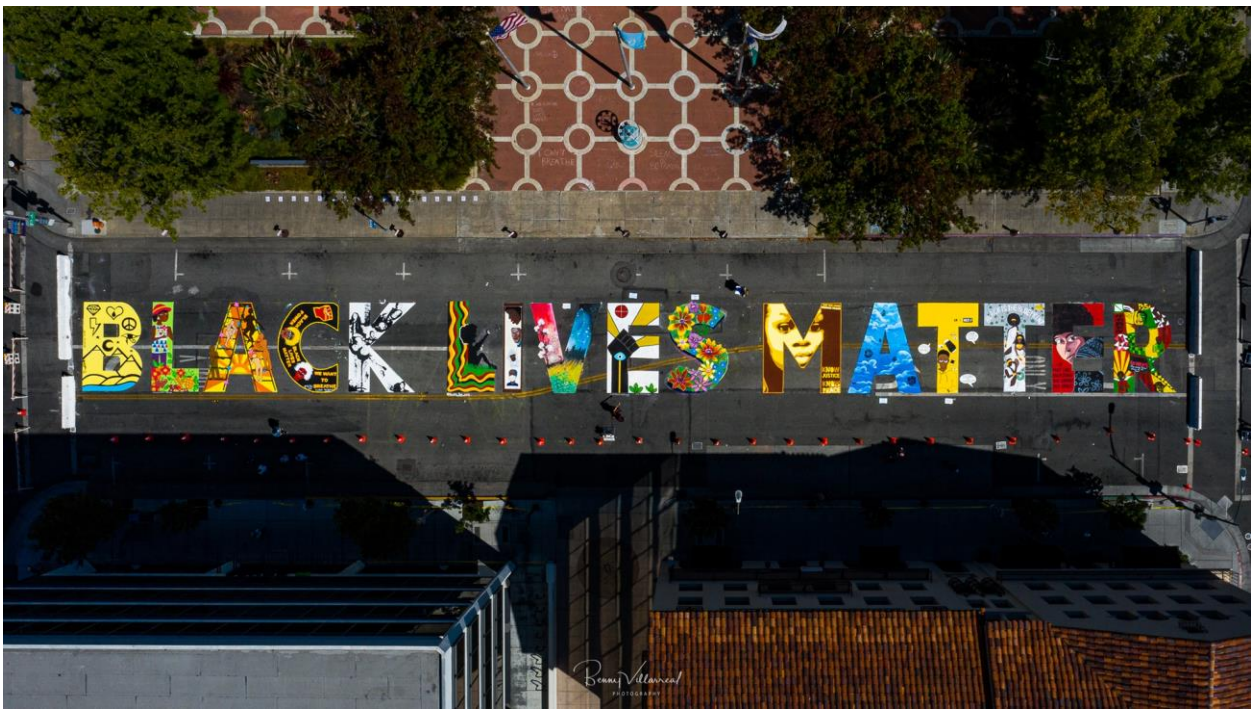


Seattle, WA

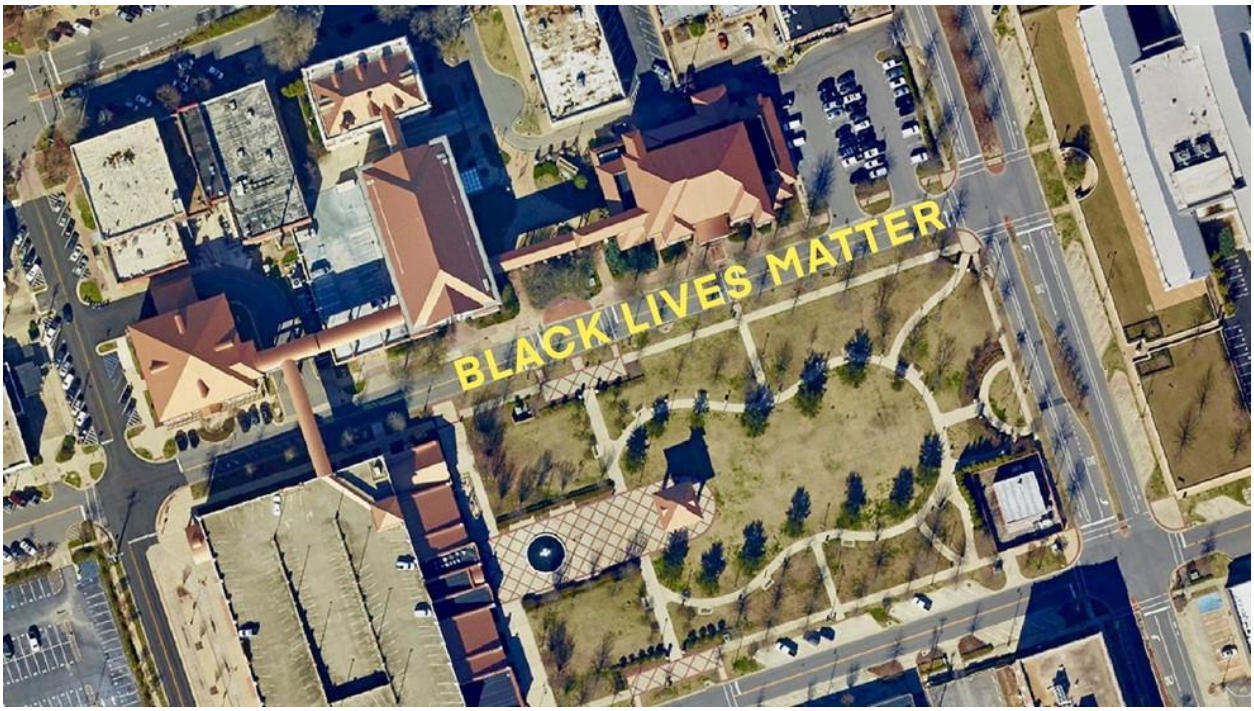
Manhattan, NY

Brooklyn, NY

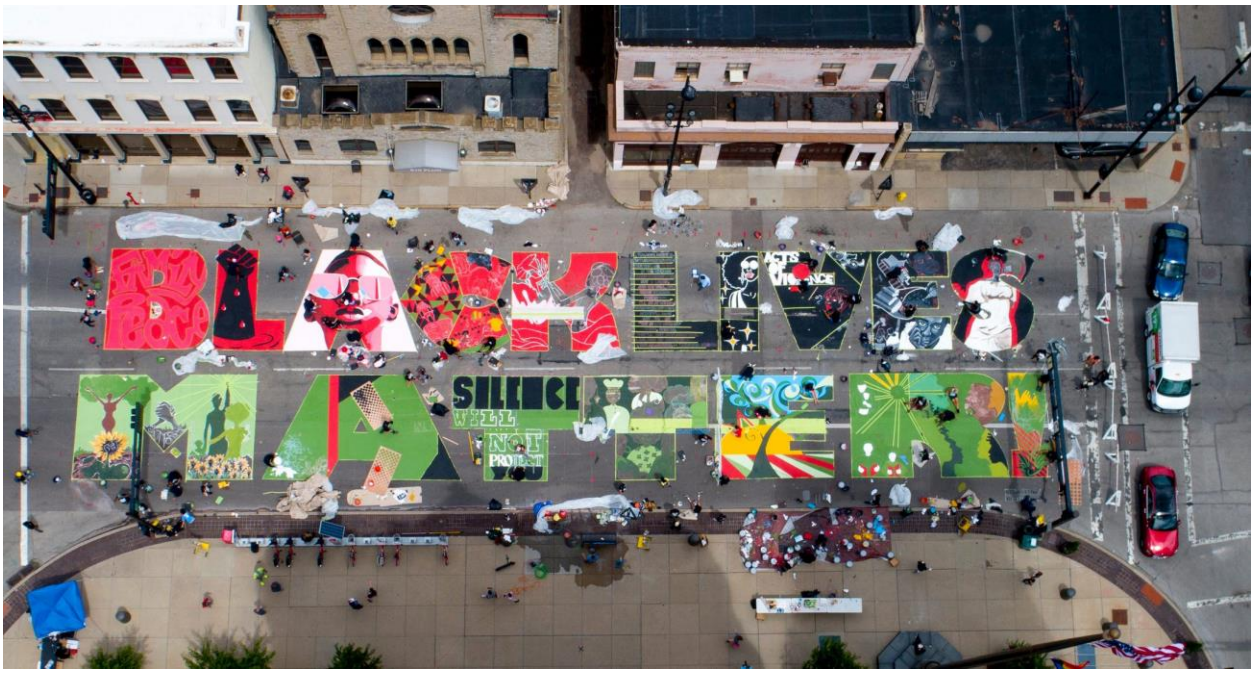
Denver, CO



Palo Alto, CA

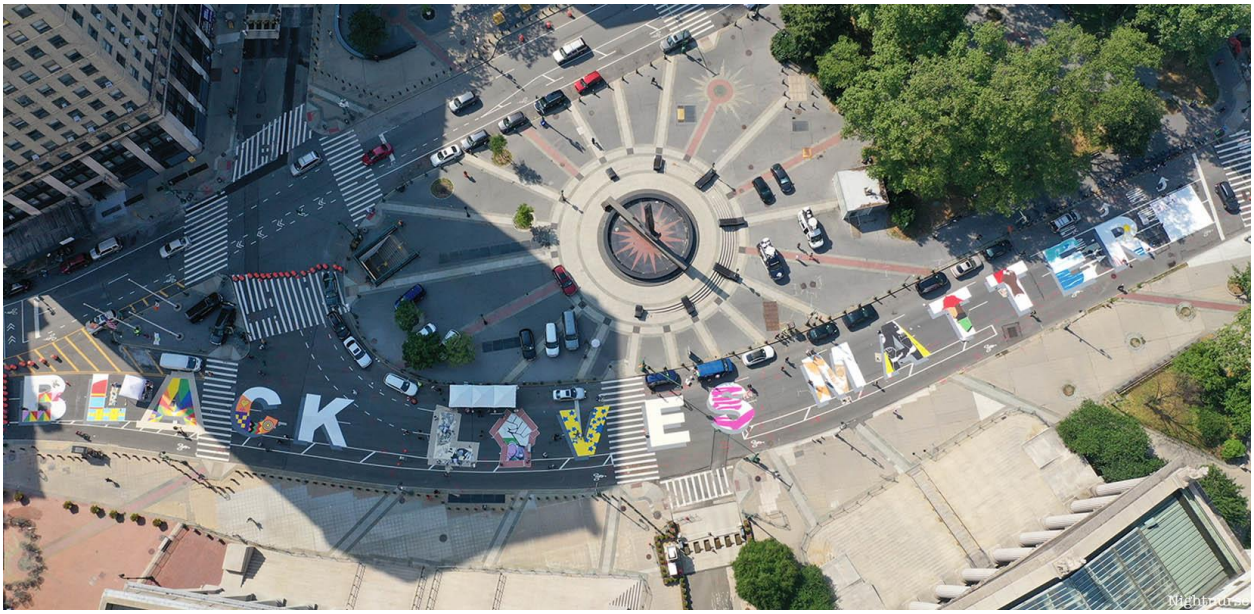


Tuscaloosa, AL

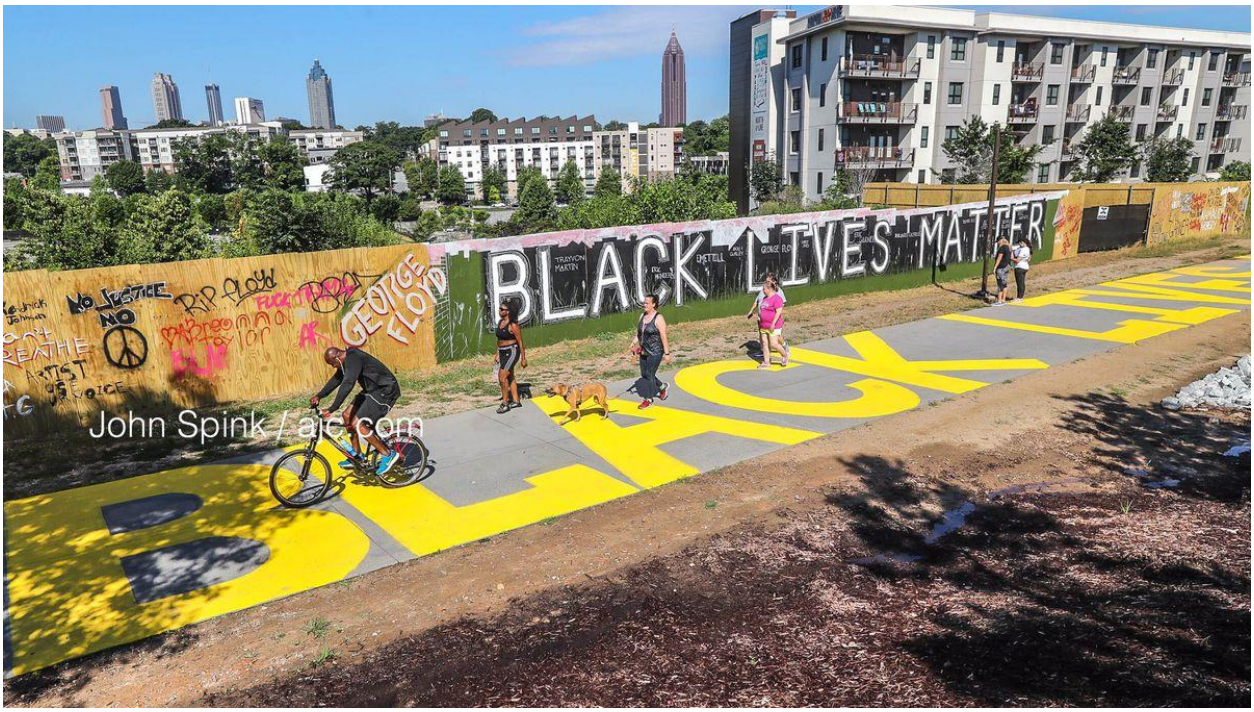


Cincinnati, OH

Newark, NJ

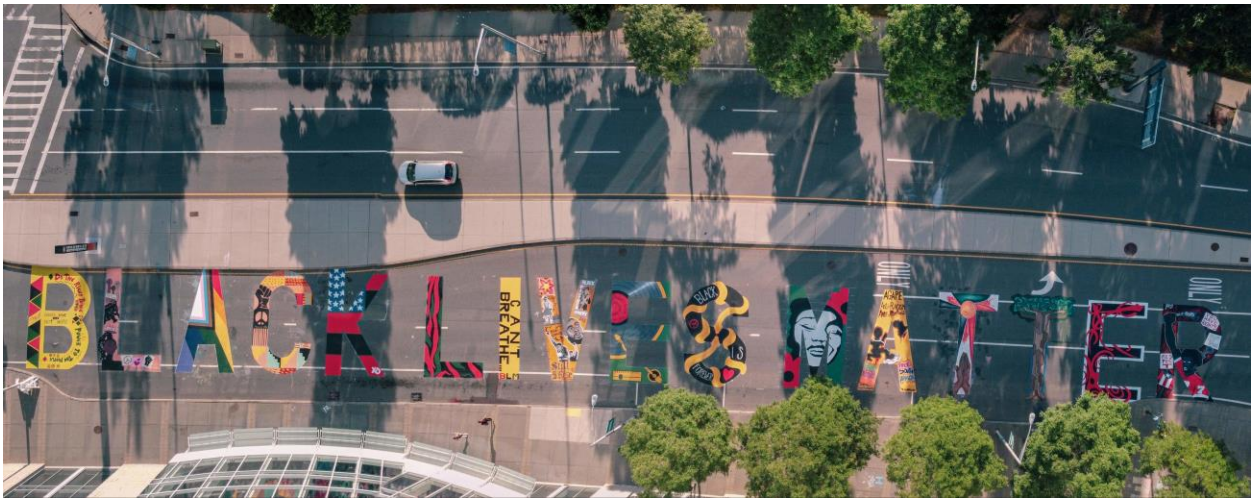


Manhattan, NY



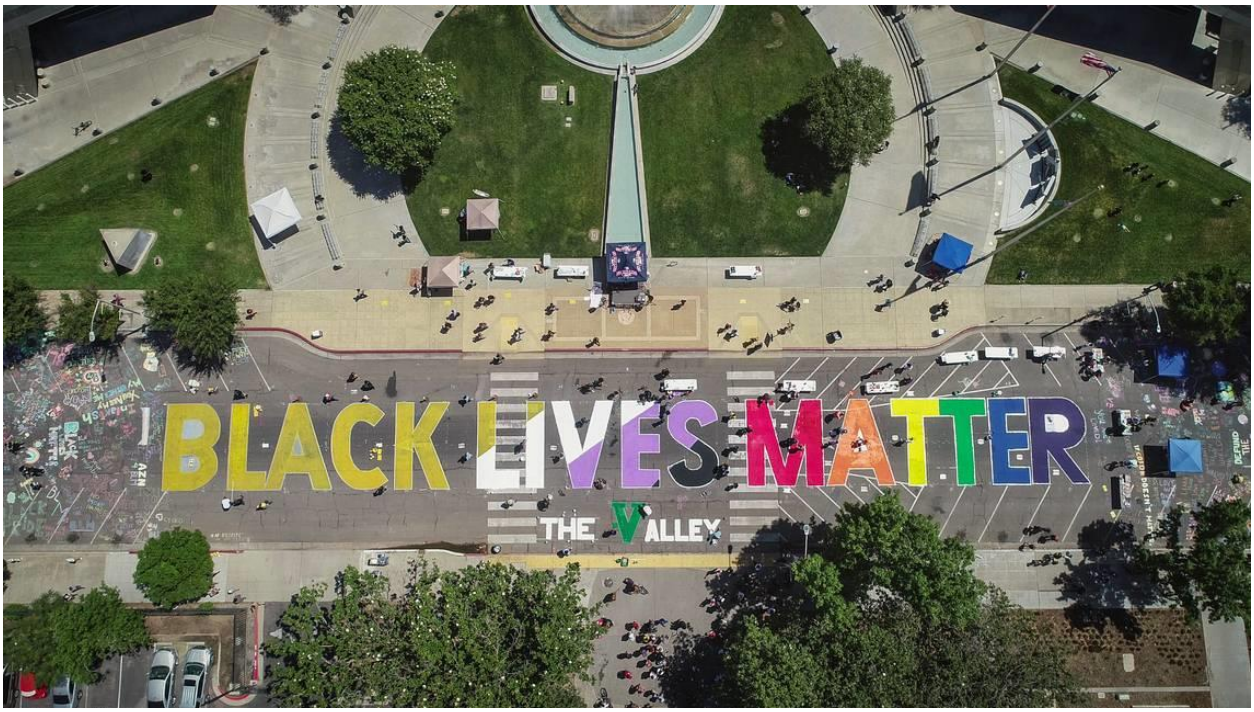
Atlanta, GA

Hollywood, CA



Worcester, MA

Minneapolis, MN



Fresno, CA

Silver Spring, MD

Tallahassee, FL

Rochester, NY

Park City, UT

Chicago, IL

Baltimore, MD

PACE Massachusetts (Mayor Sarno, Councilor Lederman, Ward 2 Councilor Fenton)

CITY OF SPRINGFIELD
In the City Council August 17, 2020

Ordinance and Order Authorizing the City of Springfield to Participate in the Massachusetts Commercial Property Assessed Clean Energy Program (PACE Massachusetts)

WHEREAS, pursuant to M.G.L. c. 23M, as amended (the "PACE Act"), the Commonwealth has established a commercial sustainable energy program known as the Massachusetts Property Assessed Clean Energy Program ("PACE Massachusetts") to provide a financing mechanism ("PACE financing") to private owners of commercial and industrial properties for certain qualifying commercial energy improvements ("improvements"); and

WHEREAS, pursuant to the PACE Act, PACE Massachusetts is administered by the Massachusetts Development Finance Agency ("MassDevelopment"), in consultation with the Massachusetts Department of Energy Resources; and

WHEREAS, under PACE Massachusetts, the owner of the commercial or industrial property benefitting from the improvements (the "benefitted property") is required to repay the PACE financing through the payment of a betterment assessment (a "PACE betterment assessment") placed on such benefitted property by the municipality in which the benefitted property is located; and

WHEREAS, in order for an owner of commercial or industrial property to participate in PACE Massachusetts, Section 2 of the PACE Act requires that the municipality in which such property is located must elect to participate in PACE Massachusetts; and

WHEREAS, the City of Springfield (the "Municipality") has determined that it is in the best interest of the Municipality to participate in PACE Massachusetts as a "participating municipality," as provided in the PACE Act, to permit the owners of commercial and industrial properties located in the Municipality to access PACE financing for qualifying commercial energy improvements through PACE Massachusetts; and

WHEREAS, the PACE program provides benefits to multifamily and commercial property owners in the City of Springfield, through reduction of lost capital, no upfront costs, no money down financing. PACE can be coupled with utility rebates to reduce costs needing to be financed; and

WHEREAS, the PACE program can result in improved cash flow, annual energy savings from building improvements, and is considered a low-risk investment; and

WHEREAS, the PACE program can result in an increase in customer comfort, with energy efficient buildings being more comfortable for staff and customers, additionally, property owners can increase how 'green' a building is by accessing 20 years of energy savings to fund present building efficiency improvements and upgrades; and

NOW THEREFORE, BE IT ORDERED, as follows:

The City Council of the City of Springfield, with the approval of the Mayor, hereby accepts the relevant provisions of Massachusetts General Laws Chapter 23M, and approves the Municipality participating in PACE Massachusetts pursuant to the PACE Act, and authorizes the Mayor to enter into a PACE Massachusetts Municipal Assessment and Assignment Agreement (the "Agreement") with MassDevelopment, pursuant to which the Municipality will agree to (i) levy PACE betterment assessments and impose PACE betterment assessment liens on benefitted properties located in the Municipality, in the amounts determined by MassDevelopment to be sufficient to repay the PACE financing, (ii) assign the PACE betterment assessment liens to MassDevelopment, which MassDevelopment may in turn assign to the providers of the PACE financing (each a "capital provider"), as collateral for such PACE financing, (iii) include on the property tax bills for the benefitted properties the installment payments necessary to repay the PACE betterment assessments, in the amounts and at the times as determined by MassDevelopment, (iv) collect and pay over to MassDevelopment or its designee, the PACE betterment assessment installment payments, as and when collected, and (v) enforce, to the extent required by the Agreement, the PACE betterment assessments and liens; the Agreement to be substantially in the form presented to this meeting, with such changes, modifications and insertions as the Mayor may approve as being in the best interest of the Municipality. The Collector Treasurer of the City, or such other City agency as may be designated in the Agreement, is authorized to levy such PACE betterment assessments and impose the PACE betterment assessment liens on behalf of the City without further authorization by this legislative body.

Notwithstanding any other provision of law to the contrary, officers and officials of the Municipality, including, without limitation, municipal tax assessors and tax collectors, are not personally liable to MassDevelopment or to any other person for claims, of whatever kind or nature, under or related to PACE Massachusetts, including, without limitation, claims for or related to uncollected PACE betterment assessments. Other than fulfillment of the obligations specified in the Agreement, the Municipality has no liability to the owner of the benefitted property or to any capital provider related to the Municipality's participation in PACE Massachusetts.

{DRAFT AGREEMENT}

PACE MASSACHUSETTS MUNICIPAL ASSESSMENT AND ASSIGNMENT AGREEMENT

This Municipal Assessment and Assignment Agreement (this "Agreement") is made and entered into as of the ___ day of _____, 20__, by and between the [CITY/TOWN OF _____], a political subdivision of The Commonwealth of Massachusetts (the "Municipality"), and MASSACHUSETTS DEVELOPMENT FINANCE AGENCY ("MassDevelopment"), a body politic and corporate and a public instrumentality of The Commonwealth of Massachusetts (the "Commonwealth").

RECITALS

WHEREAS, pursuant to M.G.L. c. 23M (the "PACE Act"), the Commonwealth has established a

commercial sustainable energy program known as the Massachusetts Property Assessed Clean Energy Program ("PACE Massachusetts") to provide a financing mechanism to private owners of qualifying commercial and industrial properties for certain qualifying commercial energy improvements ("Improvements"); and

WHEREAS, pursuant to the PACE Act, PACE Massachusetts is administered by MassDevelopment, in consultation with the Massachusetts Department of Energy Resources (the "Department"); and

WHEREAS, under PACE Massachusetts, the owner of the qualifying commercial or industrial property benefitting from the improvements (the "benefitted property") is required to repay the financing through the payment of a betterment assessment levied on such benefitted property by the municipality in which the benefitted property is located; and

WHEREAS, in order for an owner of qualifying commercial or industrial property (an "Owner") to participate in PACE Massachusetts, the PACE Act requires that the municipality in which the benefitted property is located must elect to participate in PACE Massachusetts; and

WHEREAS, the Municipality, pursuant to Ordinance No. __, adopted on _____, __, 20__ has elected to participate in PACE Massachusetts as a "participating municipality" as provided in the PACE Act, to permit the Owners of qualifying commercial and industrial properties located in the Municipality to access financing for Improvements through PACE Massachusetts; and

WHEREAS, the Municipality and MassDevelopment desire to set forth their respective obligations with respect to the imposition of betterment assessments and liens upon benefitted properties within the Municipality to secure the financing of Improvements to such benefitted properties; and

NOW THEREFORE, for and in consideration of the mutual covenants and agreements set forth herein and in order to effectuate the purposes of the PACE Act, the Municipality and MassDevelopment hereby agree as follows:

Section 1. Definitions.

In addition to the terms set forth in the Recitals to this Agreement, the following terms shall have the following meanings as used in this Agreement:
(a) "Bonds" means bonds, notes or other obligations issued or incurred by MassDevelopment in connection with providing funding for Improvements to benefitted properties within the Municipality.
(b) "Business Day" means any day which is not (i) a Saturday, or (ii) a Sunday, or (iii) another day of the year on which banks located in Boston, Massachusetts are required or authorized by law or by executive order to close. (c) "Chapter 80" means M.G.L. c. 80.
(d) "Financing Agreement" means a PACE Massachusetts Financing Agreement between the Owner of benefitted property within the Municipality and a Lender.
(e) "Lender" means the provider of PACE financing for Improvements to benefitted property within the Municipality that has entered into a Financing Agreement with the Owner of such benefitted property.
(f) "PACE Betterment Assessment" means a betterment assessment levied by the Municipality on

benefited property located in the Municipality to secure the obligations of an Owner under a Financing Agreement, in accordance with the PACE Act and Chapter 80.
(g) "PACE Lien" means a lien on benefited property imposed by the Municipality in connection with levying a PACE Betterment Assessment on such benefitted property, in accordance with the provisions of the PACE Act and Chapter 80.
(h) "Payment Schedule" has the meaning assigned to such term in Section 2(d).
(i) "Registry" means the Registry of Deeds or Registry District of the Land Court identified in Exhibit B.
(j) "Term" has the meaning assigned to such term in Section 5.

Section 2. Obligations of MassDevelopment. MassDevelopment shall:

(a) Notify the Municipality when a project proposed by an Owner who has filed an application with MassDevelopment for participation in PACE Massachusetts has been approved by the Department and MassDevelopment has found that the project complies with the financial underwriting guidelines for PACE Massachusetts established by MassDevelopment, together with an estimate of the aggregate amount of the PACE Betterment Assessment to be levied on the benefitted property;
(b) Provide to the Municipality appropriate documentation to identify the benefitted property for purposes of levying the PACE Betterment Assessment and recording the corresponding PACE Lien;
(c) Notify the Municipality that all holders of mortgage liens on the benefitted property have consented to the PACE financing and to the Municipality placing a PACE Lien upon the benefitted property to secure the respective Owner's obligations with respect to such financing, which PACE Lien shall be senior to the liens of such mortgage holders;
(d) Provide to the Municipality the amount of the PACE Betterment Assessment to be levied on each benefitted property and of the corresponding PACE Lien to be placed upon such benefitted property. The total amount of the PACE Betterment Assessment shall include the total cost of the Improvements financed, including interest on such financing, and any fees and costs to be financed through such PACE Betterment Assessment. MassDevelopment also shall provide to the Municipality a copy of the payment schedule (the "Payment Schedule") that is to be a part of the Financing Agreement, which shall indicate the portion of the PACE Betterment Assessment to be included on each property tax bill issued by the Municipality with respect to such benefited property, including the required PACE Betterment Assessment payment date. It is expected that the Payment Schedule will indicate that the PACE Betterment Assessment shall be payable in two equal payments on February 1 and May 1 of each year so that they are due at the same time as the installments of the Municipality's real property taxes. If the Municipality changes, or is required by law to change, its practices concerning the billing of real property taxes as to the number of installments and their due dates, MassDevelopment will endeavor to change the Payment Schedule, to the extent possible, to correspond with the Municipality's practices;
(e) Notify the Municipality when the PACE Betterment Assessment is to be levied and the PACE Lien recorded, which shall not be less than 10 Business Days prior to the closing of the PACE financing secured by such assessment and lien;
(f) Provide the Municipality with a completed PACE Massachusetts Assignment and Assumption Agreement with respect to the benefitted property, in the form of Exhibit D attached hereto.

With respect to paragraphs (a) and (b) above, MassDevelopment shall provide to the Municipality a completed Notice of Benefitted Property in the form of Exhibit A attached hereto, signed by

MassDevelopment and acknowledged by the applicable Owner.

With respect to paragraphs (c), (d), and (e) above, MassDevelopment shall provide to the Municipality a completed Notice of PACE Betterment Assessment and Lien in the form of Exhibit B attached hereto, signed by MassDevelopment and consented to by the applicable Owner.

Section 3. Obligations of the Municipality.

(a) Acknowledgement of PACE Betterment Assessment. Upon receipt of a completed Exhibit A from MassDevelopment, the Municipality shall acknowledge receipt, where indicated, and return the same to MassDevelopment within ten Business Days following receipt.

(b) Levy of PACE Betterment Assessment. Upon receipt of a completed Exhibit B from MassDevelopment, the Assessing Board of the Municipality shall promptly levy the PACE Betterment Assessment on the benefitted property, in accordance with the provisions of Chapter 80 to the extent applicable and consistent with the PACE Act, and the shall place on and record, or cause to be recorded, in the Registry a PACE Lien on the benefitted property in the form of Exhibit C attached hereto, in accordance with Chapter 80 and the PACE Act. The PACE Lien will have three attachments: (i) the legal description of the benefited property, (ii) the Payment Schedule, and (iii) a copy of the Financing Agreement. As provided in the PACE Act, the PACE Betterment Assessments levied pursuant to this Agreement and the interest, fees and any penalties thereon shall constitute a lien against the benefitted property on which they are made until they are paid, notwithstanding the provisions of Chapter 80, Section 12, and shall continue notwithstanding any alienation or conveyance of the benefitted property. The PACE Lien shall be collected in the same manner as the property taxes of the Municipality on real property, including, in the event of default or delinquency, with respect to any penalties, fees and remedies and lien priorities as provided by the PACE Act. The costs of recording the PACE Lien shall be paid by MassDevelopment, through its program administrative fee paid by the applicable Owner.

(c) Notification of Recording. Upon recording of the PACE Lien, the Assessing Board of the Municipality shall notify or cause to be notified the applicable Owner, providing a copy of the recorded PACE Lien. Upon agreement of the Municipality and MassDevelopment, MassDevelopment, on behalf of the Municipality, shall record the PACE Lien and provide a copy of the recorded PACE Lien to the Owner.

(d) Continuation, Recording and Release of PACE Lien. As provided in the Act, each PACE Lien shall be continued, recorded and released in the manner provided for property tax liens, subject to the consent of existing mortgage holders, and shall take precedence over all other liens or encumbrances except a lien for taxes of the Municipality on real property.

(e) Assignment of PACE Lien. The Municipality shall assign, in the form of Exhibit D attached hereto, to MassDevelopment each PACE Lien recorded by the Municipality's tax collector, as provided in this Agreement. The Municipality acknowledges and agrees that MassDevelopment may sell or assign, for consideration, any and all PACE Liens so assigned to MassDevelopment by the Municipality. MassDevelopment also may assign its rights under this Agreement and any PACE Liens to a trustee for any Bonds that MassDevelopment may issue from time to time. The assignee of a PACE Lien shall have

and possess the same powers and rights at law or in equity as MassDevelopment and the Municipality and its tax collector would have had if the PACE Lien had not been assigned with regard to the precedence and priority of such lien, the accrual of interest, and the fees and expenses of collection. The assignee shall have the same rights to enforce such PACE Lien as any private party holding a lien on real property, including, but not limited to, foreclosure in a manner consistent with the rights afforded a mortgagee under the provisions of section 21 of chapter 183 and a suit on the debt.

(f) Amendment of the PACE Betterment Assessment and Lien. Pursuant to a Financing Agreement, the final amount of a PACE Betterment Assessment may be adjusted after the levy and recording of the PACE Lien. In the event that the final PACE Betterment Assessment amount needs to be adjusted at the completion of the Improvements, or any other time, MassDevelopment will notify the Municipality of such change, and provide the Municipality with an updated Payment Schedule and new amount of the PACE Betterment Assessment and PACE Lien. The Municipality shall amend the PACE Betterment Assessment to reflect such adjustment. MassDevelopment or, if the applicable PACE Lien has been assigned by MassDevelopment, the applicable assignee will be responsible for the recording of a corresponding amendment to the PACE Lien in the Registry.
(g) Billing and Collection; Payment to MassDevelopment.

1. The Municipality shall bill the PACE Betterment Assessments in the same manner and at the same time as it bills its real property taxes. The PACE Betterment Assessment payments shall be a separate clearly defined line item on the property tax bill for the benefitted property and shall be due on the dates set forth in the Payment Schedule. The amount of the PACE Betterment Assessment will be recorded on the Municipality's tax rolls in the same manner as any other betterment assessment, such that the public will have access to its existence and payment status. The penalties and interest on delinquent PACE Betterment Assessments shall be charged in the same manner and rate as the Municipality charges for delinquent real property taxes.

2. Payments of the PACE Betterment Assessments collected by the Municipality shall be segregated from all other funds of the Municipality and deposited in a separate account for the benefit of MassDevelopment and identifying MassDevelopment as the beneficial owner. The Municipality disclaims any ownership interest or other interests in such account or the amount collected.

3. The Municipality shall pay all amounts collected with respect to the PACE Betterment Assessments to MassDevelopment or its designee, as identified in Exhibit B (the "MassDevelopment Designee") if so directed by MassDevelopment pursuant to Section 7(b) hereof, no later than 30 days after receipt of the collected amounts. The Municipality will provide collection reports MassDevelopment or the MassDevelopment Designee, if so directed by MassDevelopment pursuant to Section 7(b) hereof, and MassDevelopment and its agents, at MassDevelopment's own expense, shall have the right to audit the records relating to the PACE Betterment Assessments upon reasonable notice at reasonable times. The Municipality also will permit any assignee of a PACE Lien from MassDevelopment, at such assignee's own expense, to audit the records relating to the PACE Betterment Assessments upon reasonable notice at reasonable times. MassDevelopment and the Municipality agree to provide each other with such reasonable information as they may request and MassDevelopment and the Municipality agree to provide such information in a computer format satisfactory to the other.

(h) Collection of Delinquent Payments.

1. In the event that any Owner fails to make a PACE Betterment Assessment payment at the times and in the amounts set forth on the Payment Schedule, the Municipality shall provide written notice to MassDevelopment or the MassDevelopment Designee, if so directed by MassDevelopment pursuant to Section 7(b) hereof, of such delinquency in a reasonably timely manner, but in no event more than 30 days after the due date. After providing such notice to MassDevelopment or the MassDevelopment Designee, as applicable, the Municipality shall have no obligation to collect delinquent PACE Betterment Assessment payments unless it enters into a separate agreement with MassDevelopment described in the following paragraph 2.

2. If MassDevelopment makes a written request to the Municipality for its assistance in the collection of delinquent PACE Betterment Assessments and related charges, the Municipality, in its sole discretion, and MassDeveloment may enter into a separate agreement for those services, which agreement shall provide for compensation to be paid to the Municipality for its collection services. The agreement may provide for the Municipality to pursue the collection of any delinquent PACE Betterment Assessments with the same diligence it employs in the collection of the Municipality's real property taxes, including the commencement of foreclosure proceedings in accordance with the PACE Act, and to take such actions as are required to preserve the PACE Lien. The agreement may also provide that MassDevelopment shall have the right to take over the enforcement of any delinquent PACE Betterment Assessments upon written notice to the Municipality, and thereupon the Municipality will have no further responsibility to collect such amount.

3. The Municipality will provide written notice to MassDevelopment of any sale or assignment of its real property taxes or any institution of a foreclosure, tax taking or other proceeding against any benefitted property for delinquent real property taxes or other applicable betterment assessments. Similarly, MassDevelopment shall provide or cause to be provided written notice to the Municipality of the institution of a foreclosure or other proceeding, of which MassDevelopment has knowledge, against any benefitted property for a delinquent PACE Betterment Assessment.

(i) Promotion of Program; Assistance for PACE Financing; Payment to Municipality.

1. The Municipality shall use good faith efforts to assist MassDevelopment in local marketing efforts and outreach to the local business community to encourage participation in PACE Massachusetts, such as including PACE Massachusetts program information on the Municipality's website, distributing an informational letter from the Municipality to local businesses regarding the program, and conducting business roundtable events.

2. The Municipality shall use good faith efforts to assist in gathering and providing information to MassDevelopment for use in the offer, sale and issuance of Bonds or to otherwise assist in the obtaining of financing for Improvements to benefitted properties within the Municipality.

Section 4. <u>No Liability</u>.

Notwithstanding any other provision of law to the contrary, officers and officials of the Municipality,

including, without limitation, municipal tax assessors and tax collectors, are not personally liable to MassDevelopment or to any other person for claims, of whatever kind or nature, under or related to PACE Massachusetts, including, without limitation, claims for or related to uncollected PACE Betterment Assessments. Other than fulfillment of the obligations specified in this Agreement, the Municipality has no liability to any Owner or Lender.

Section 5. Term.

The term of this Agreement shall commence upon the date first written above and shall continue in full force and effect until the later of (i) the Municipality elects to terminate this Agreement as provided below, and (ii) all of the PACE Betterment Assessments levied by the Municipality in accordance with this Agreement have been paid in full or deemed no longer outstanding (the "Term"). The Municipality may elect to terminate its participation in PACE Massachusetts at any time on 60 days' advance notice to MassDevelopment, provided that the provisions of this Agreement shall continue with regard to PACE Betterment Assessments assessed prior to such termination until those PACE Betterment Assessments have been paid in full or are no longer outstanding.

Section 6. Default.

Each party shall give the other party written notice of any breach of any covenant or agreement under this Agreement and shall allow the defaulting party 30 days from the date of its receipt of such notice within which to cure any such default or, if it cannot be cured within the 30 days, to commence and thereafter diligently pursue to completion, using good faith efforts to effect such cure and to thereafter notify the other party of the actual cure of any such default. The parties shall have all other rights and remedies provided by law, including, but not limited to, specific performance, provided however, in no event shall either party have the right to terminate this Agreement prior to the expiration of the Term, except as provided in accordance with Section 5 of this Agreement.

Section 7. Miscellaneous Provisions.

(a) Assignment or Transfer. Except as provided in Section 3(e) hereof, a party may not assign or transfer its rights or obligations under this Agreement to another municipality, political subdivision or agency or department of the Commonwealth or to a private party or entity, without the prior written consent of the other party and, if required, the prior approval of any trustee for or holders of any Bonds outstanding. If approval of the assignment by any such trustee or holders of any such Bonds is required, such approval shall be obtained in accordance with the indenture or other documents entered into by MassDevelopment in connection with the applicable Bonds.
(b) Designation of MassDevelopment Designee. Notwithstanding the provisions of Section 7(a), MassDevelopment may designate an entity to serve as the MassDevelopment Designee for purposes of Sections 3(g) and (h), or any other provision hereof, upon written notice to the Municipality. Such notice may be included in the notice sent in accordance with Section 2(b), or at a later date.
(c) Severability. If any clause, provision or section of this Agreement is held to be illegal or invalid by any court, the invalidity of the clause, provision or section will not affect any of the remaining clauses, provisions or sections, and this Agreement will be construed and enforced as if the illegal or invalid clause, provision or section has not been contained in it.

(d) Counterparts. This Agreement may be executed in any number of counterparts, each of which shall be deemed, to be an original, and all of which together shall constitute but one and the same instrument.
(e) Notices. All notices, requests, consents and other communications shall be in writing and shall be delivered, mailed by first class mail, postage prepaid, or overnight delivery service, to the parties, as follows: If to the Municipality: CITY/TOWN NAME STREET ADDRESS CITY, STATE, ZIP CODE Attention: If to MassDevelopment: Massachusetts Development Finance Agency 99 High Street Boston, MA 02110 Attention:
(f) Amendment and Waivers. Except as otherwise set forth in this Agreement, any amendment to or waiver of any provision of this Agreement must be in writing and mutually agreed to by MassDevelopment and the Municipality.
(g) Applicable Law and Venue. This Agreement and its provisions shall be governed by and construed in accordance with the laws of the Commonwealth. In any action, in equity or law, with respect to the enforcement or interpretation of this Agreement, venue shall be in the City of Boston, Suffolk County, Massachusetts.
(h) Entire Agreement. This instrument constitutes the entire agreement between the parties and supersedes all previous discussions, understandings and agreements between the parties relating to the subject matter of this Agreement.
(i) Headings. The headings in this Agreement are solely for convenience, do not constitute a part of this Agreement and do not affect its meaning or construction.

IN WITNESS WHEREOF, the Municipality and MassDevelopment have each caused this Agreement to be executed and delivered as of the date indicated above:

(SEAL) ATTEST:

CITY OF SPRINGFIELD

_____
By Its Mayor
Name:
Title:

MASSACHUSETTS DEVELOPMENT FINANCE AGENCY

_____
By:
Name:
Title:

PACE Massachusetts Program Information

July 2020

MassDevelopment

MassDevelopment

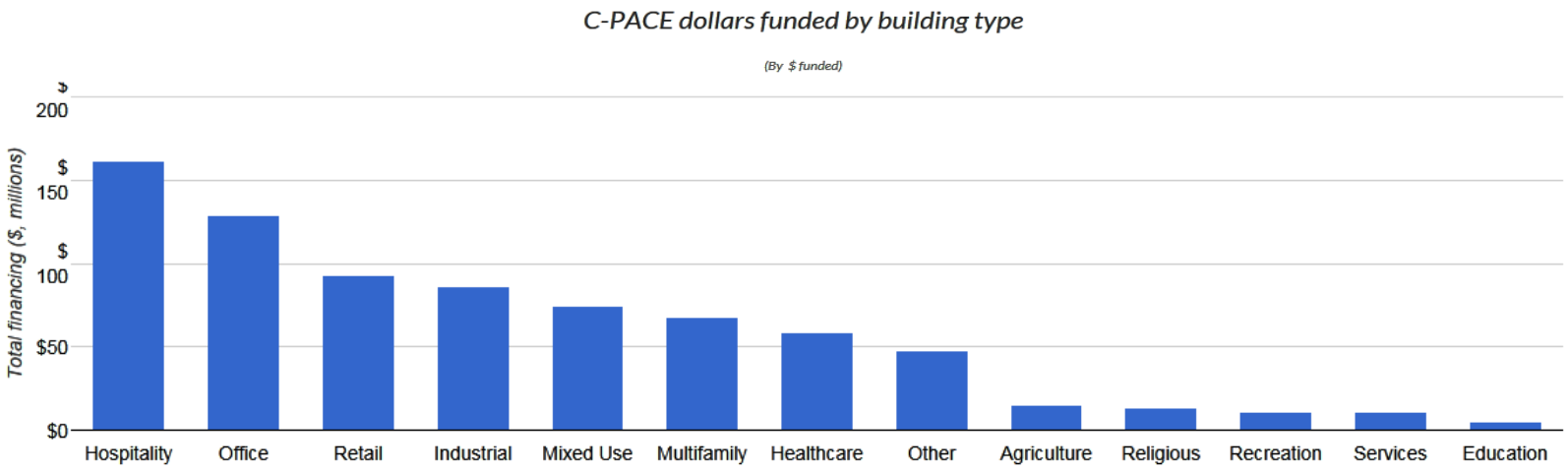
- Works with **businesses, nonprofits, financial institutions, and communities** to stimulate economic growth throughout Massachusetts
- Promotes capital investment and economic development by providing **financing and development solutions**
- FY19 Results
  - **316 projects** financed or managed
  - More than **$2 billion invested** in the Massachusetts economy
  - Projected to create or support close to **10,000 jobs**
  - Estimated to build or preserve approx. **2,000 housing units**

What is PACE?

- Property Assessed Clean Energy (PACE) is a tax-based financing mechanism that enables low-cost, long-term funding for energy improvements
- PACE financing is repaid via a betterment assessment on a property's tax bill
- PACE betterment assessments work similar to improvements for public infrastructure that benefit specific properties (i.e., sidewalk or sewer)

National Commercial PACE Market

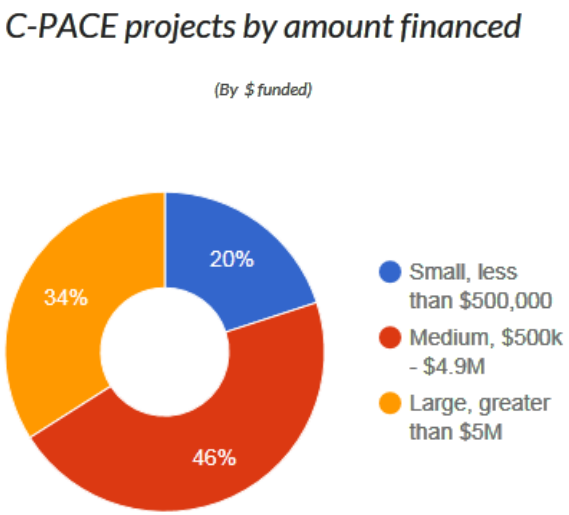
- 20 States (plus DC) have active commercial PACE programs
- 36 states (plus DC) have PACE enabling legislation
- $1.1 billion financed for 2,020 projects (as of 10/2019)



MassDevelopment

New England Commercial PACE Programs

- Connecticut passed PACE enabling legislation in 2011 and a series of amendments in 2012 and 2015; C-PACE is administered by the Connecticut Green Bank
- Rhode Island passed PACE enabling legislation in 2016; RI C-PACE is sponsored by the RI Infrastructure Bank (SRS is administrator)
- New Hampshire passed PACE enabling legislation in 2016



PACE in Massachusetts

- Commercial Property Assessed Clean Energy (PACE) was passed in H4568 and signed by Governor Baker in August 2016
  - Amendment for PACE technical correction signed August 2019
  - PACE Massachusetts will become available in Summer 2020
- MassDevelopment will act as Lead Program Administrator
- MassDevelopment will administer the PACE Massachusetts program in consultation with the Massachusetts Department of Energy Resources

Eligible Properties: Existing Buildings

Property Type	Examples
• Commercial/Industrial	• Office buildings • Malls • Hotels • Restaurants • Manufacturers
• Not for profit	• YMCAs • Schools • Health Care
• Multifamily (5 units or more)	• Apartment complexes

Eligible Measures

Measure Type	Potential Examples
• Energy efficiency	• Energy management systems • Insulation and air sealing • HVAC systems • Boilers and furnaces • Lighting • Energy Recovery and redistribution systems
• Renewable energy	• Solar panels • Solar hot water • Geothermal
• Gas line extensions	

Key Elements of PACE Massachusetts

- Municipal opt-in (one time) required
- Maximum financing term allowed by statute is 20 years (dependent on useful life of project measures)
- Energy cost savings must exceed cost of improvements (including any financing costs and associated fees)
- Third party direct private financing (no public funds used)
- Existing mortgage holders must provide written consent to a PACE financing and lien

Key Elements of PACE Massachusetts (continued)

- Municipal liens are senior to PACE liens; unpaid PACE assessments are senior to all other private mortgage liens in a foreclosure
- PACE assessments cannot be accelerated (only unpaid amount can be collected)
- If property is sold, the remaining PACE assessment <u>and</u> PACE lien stays with the property and transfers to new owner
- No limit or maximum financing cost*

  * project must still meet energy cost savings requirement

Project and Financing Steps

- Property Owner selects Capital Provider (before or after project application submission)
- Project Application submitted to MassDevelopment
- Review conducted by MassDevelopment and the DOER
- The DOER performs technical review of project energy measures and proposed energy savings

Project and Financing Steps

- MassDevelopment
  - Verifies that municipality where project is located has authorized PACE
  - Reviews to ensure required property and financial information has been submitted by applicant
  - Verifies Mortgage holder consent was obtained (if applicable)
- If application approved, owner proceeds with Capital Provider and finalizes project details and financing terms
- Financing documents are drafted and prepared for closing

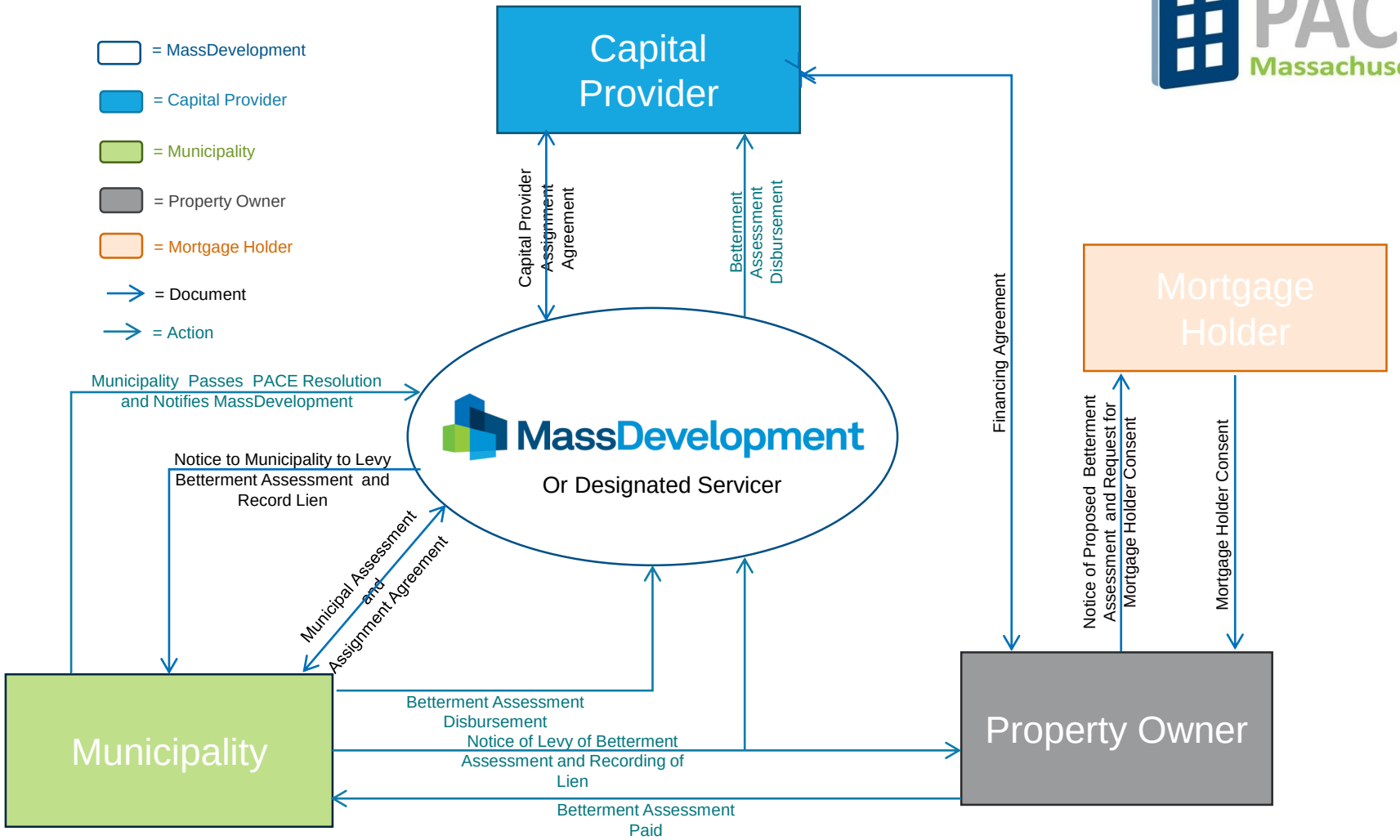
Project and Financing Steps

- When financing closes:
  - MassDevelopment instructs Municipality to levy PACE betterment assessment and record PACE lien
  - Municipality assigns lien to MassDevelopment
  - MassDevelopment assigns lien to Capital Provider
- Municipality responsible for billing and collecting PACE assessments via municipal property tax bill and disbursing amounts collected to MassDevelopment's Paying Agent
- Once received, the Paying Agent will disburse assessment funds to each appropriate Capital Provider

PACE Authorized Municipalities

- Acton
- Agawam
- Amesbury
- Barnstable
- Devens
- Erving
- Fall River
- Fitchburg
- Greenfield
- Gardner
- Lexington
- New Bedford
- North Adams
- Northampton
- Orange
- Pittsfield
- Randolph
- Rockland
- Wendell
- West Springfield
- Yarmouth

Commercial PACE Structure



MassDevelopment

Wendy Lee O'Malley

MassDevelopment

Vice President, PACE Program Manager

99 High Street

Boston, MA 02110

phone: 617-330-2000 fax: 617-330-2001

direct: 617-330-2019

womalley@massdevelopment.com

MassDevelopment

PACE

Property Assessed Clean Energy (PACE) Massachusetts for commercial buildings is a new mechanism to finance energy improvements, such as energy-efficiency projects, renewables, and gas line extensions, on commercial and industrial properties in Massachusetts. To finance improvements, a property owner agrees to a betterment assessment on their property, which repays the financing. This approach enables owners to undertake more comprehensive energy upgrades with longer payback periods of up to 20 years. At property sale, the lien stays with the property and is transferred to subsequent property owners.

Background

Commercial Property Assessed Clean Energy was passed as part of the energy legislation signed by Governor Baker in August 2016. MassDevelopment and the Massachusetts Department of Energy Resources (DOER) will administer the PACE program.

Process and Eligibility

- Individual municipalities may opt into PACE one time by a majority vote of the city or town council or the board of selectmen, as appropriate.
- Properties eligible for financing through PACE include:
    - Commercial buildings
    - Industrial buildings
    - Multi-family buildings with five or more units
- Improvements eligible for financing through PACE must be permanently fixed to the property. Eligible improvements include:
    - Energy efficiency upgrades
    - Renewable energy
    - Extension of existing natural gas distribution to a property

MassDevelopment

Benefits

- Property owners: Advantageous, non-recourse, upfront, long-term, potentially off balance sheet financing that remains with the property if sold. Capital improvements could reduce operating costs and increase property values.
- Municipalities: Job creation, business growth, and environmental benefits associated with reducing energy consumption.
- Lenders/Mortgage holders: Improved cash flow and reduced credit risk from lower operating costs via financing that cannot be accelerated. Capital improvements could also increase collateral property value.

PACE is an economic development tool for cities and towns across Massachusetts. Energy upgrades create a more competitive environment for attracting and retaining businesses through lower energy costs. ***Email pace@massdevelopment.com with your questions.***

MassDevelopment helps cities and towns revitalize, develop, and transform. We offer financing programs and real estate technical assistance services and have the expertise to take on your most challenging projects. ***Learn more by calling 800-445-8030 or visit MassDevelopment.com.***

Main office:
99 High Street, Boston, MA 02110

Regional offices:
Devens | Fall River | Quincy | Lawrence | Springfield | Worcester

@MassDev | massdevelopment.com | 800-445-8030

6/2019

Election Warrant (Mayor Sarno)

COMMONWEALTH OF MASSACHUSETTS
WILLIAM FRANCIS GALVIN
SECRETARY OF THE COMMONWEALTH

WARRANT FOR 2020 STATE PRIMARY

SS.
To the Constables of the City of SPRINGFIELD

GREETINGS:
In the name of the Commonwealth, you are hereby required to notify and warn the inhabitants of said city who are qualified to vote in Primaries to vote at:

SEE ATTACHED WARD AND PRECINCT NUMBERS AND POLLING LOCATIONS

on **TUESDAY, THE FIRST DAY OF SEPTEMBER, 2020,** from 7:00 A.M. to 8:00 P.M. for the following purpose:

To cast their votes in the State Primaries for the candidates of political parties for the following offices:

SENATOR IN CONGRESS. . . . . .FOR THIS COMMONWEALTH
REPRESENTATIVE IN CONGRESS. . . . . ….FIRST DISTRICT
COUNCILLOR. . . . . EIGHTH DISTRICT
SENATOR IN GENERAL COURT . . . . . .HAMPDEN DISTRICT
SENATOR IN GENERAL COURT . . . . . FIRST HAMPDEN & HAMPSHIRE DISTRICT
REPRESENTATIVE IN GENERAL COURT. . . . . .SIXTH HAMPDEN DISTRICT
REPRESENTATIVE IN GENERAL COURT. . . . . .SEVENTH HAMPDEN DISTRICT
REPRESENTATIVE IN GENERAL COURT. . . . . NINTH HAMPDEN DISTRICT
REPRESENTATIVE IN GENERAL COURT. . . . . TENTH HAMPDEN DISTRICT
REPRESENTATIVE IN GENERAL COURT. . . . . ELEVENTH HAMPDEN DISTRICT
REPRESENTATIVE IN GENERAL COURT. . . . . TWELFTH HAMPDEN DISTRICT

REGISTER OF PROBATE. . . . . HAMPDEN COUNTY

Hereof fail not and make return of this warrant with your doings thereon at the time and place of said voting.

Given under our hands this _17TH__ day of ___AUGUST_____, 2020.
(month)

_____ _____

_____ _____

_____ _____

City Council of the City of Springfield

By posted on the Official Bulletin Board of the Office of the City Clerk and on City's Website

_____
Tasheena Davis, Esquire - City Clerk

A True Copy Attested **August 17, 2020**

Warrant must be posted by **August 25, 2020,** (at least *seven days prior* to the **September 1, 2020** State Primary).

2020 POLLING LOCATIONS

WARD	PRECINCT	POLLING PLACE	ADDRESS
1	A	RIVERVIEW ADMIN BUILDING	82 DIVISION ST
1	B	RIVERVIEW ADMIN BUILDING	82 DIVISION ST
1	C	NORTH END YOUTH CENTER	1774 DWIGHT ST
1	D	BAY STATE PLACE	414 CHESTNUT ST
1	E	BAY STATE PLACE	414 CHESTNUT ST
1	F	HOBBY CLUB	309 CHESTNUT ST
1	G	FIRE DEPT. HEADQUARTERS	605 WORTHINGTON ST
1	H	THE GOOD LIFE CENTER	1600 EAST COLUMBUS AVE
2	A	SPRINGFIELD BOYS & GIRLS CLUB	481 CAREW ST
2	B	SPRINGFIELD BOYS & GIRLS CLUB	481 CAREW ST
2	C	SPRINGFIELD BOYS & GIRLS CLUB	481 CAREW ST
2	D	VAN SICKLE SCHOOL, GYM	1170 CAREW ST
2	E	VAN SICKLE SCHOOL, GYM	1170 CAREW ST
2	F	SAFETY COMPLEX	1212 CAREW ST
2	G	BOWLES SCHOOL	24 BOWLES PARK
2	H	VAN SICKLE SCHOOL, GYM	481 CAREW ST
3	A	MASON WRIGHT	74 WALNUT ST
3	B	GENTILE APARTMENTS, COMMUNITY ROOM	85 WILLIAM ST
3	C	GENTILE APARTMENTS, COMMUNITY ROOM	85 WILLIAM ST
3	D	JC WILLIAMS COMMUNITY CENTER	116 FLORENCE ST
3	E	JC WILLIAMS COMMUNITY CENTER	116 FLORENCE ST
3	F	HOLY NAME CHURCH - SOCIAL CENTER	323 DICKINSON ST
3	G	HOLY NAME CHURCH - SOCIAL CENTER	323 DICKINSON ST
3	H	HOLY NAME CHURCH - SOCIAL CENTER	323 DICKINSON ST
4	A	REBECCA JOHNSON SCHOOL	55 CATHARINE ST
4	B	REBECCA JOHNSON SCHOOL	55 CATHARINE ST
4	C	MASON SQUARE LIBRARY	765 STATE ST
4	D	HIGHLAND HOUSE, INC.	250 OAK GROVE AVE
4	E	MASON SQUARE FIRE STATION	33 EASTERN AVE
4	F	AIC SPRAGUE ARTS CENTER	1053 STATE ST (Corner of Homer St.)
4	G	INDEPENDENCE HOUSE	1475 ROOSEVELT AVE
4	H	AIC SPRAGUE ARTS CENTER	1053 STATE ST (Corner of Homer St.)

2020 POLLING LOCATIONS

WARD	PRECINCT	POLLING PLACE	ADDRESS
5	A	HIGH SCHOOL OF SCIENCE & TECH	1250 STATE ST. (ALTON STREET)
5	B	HIGH SCHOOL OF SCIENCE & TECH	1250 STATE ST. (ALTON STREET)
5	C	MARY LYNCH SCHOOL	315 NORTH BRANCH PKWY
5	D	GREENLEAF (CLODO CONCEPCION) COMM. CENTER	1188 PARKER ST
5	E	PINE POINT LIBRARY	204 BOSTON RD
5	F	DUGGAN SCHOOL	1015 WILBRAHAM RD
5	G	GREENLEAF (CLODO CONCEPCION) COMM. CENTER	1188 PARKER ST
5	H	CHURCH OF THE ACRES	1383 WILBRAHAM RD
6	A	FOREST PARK LIBRARY COMM. ROOM	380 BELMONT AVE
6	B	FOREST PARK LIBRARY COMM. ROOM	380 BELMONT AVE
6	C	FOREST PARK COMMUNITY ROOM	25 BARNEY LANE
6	D	ALICE BEAL SCHOOL	285 TIFFANY ST
6	E	HOLY NAME CHURCH/SOCIAL CENTER	323 DICKINSON ST
6	F	ALICE BEAL SCHOOL	285 TIFFANY ST
6	G	MLK CHARTER SCHOOL	285 DORSET ST
6	H	MLK CHARTER SCHOOL	285 DORSET ST
7	A	MARY DRYDEN SCHOOL	190 SURREY ROAD
7	B	FREDERICK HARRIS SCHOOL	58 HARTFORD TERRACE
7	C	FREDERICK HARRIS SCHOOL	58 HARTFORD TERRACE
7	D	TALMADGE SCHOOL	1395 ALLEN ST
7	E	BRUNTON SCHOOL	1801 PARKER ST
7	F	KILEY MIDDLE SCHOOL	180 COOLEY ST
7	G	BRUNTON SCHOOL	1801 PARKER ST
7	H	GLICKMAN SCHOOL	120 ASHLAND AVE
8	A	MARY MOTHER OF HOPE CHURCH	840 PAGE BLVD
8	B	MARY LYNCH SCHOOL	315 NORTH BRANCH PKWY
8	C	CENTRAL HIGH SCHOOL	1840 ROOSEVELT AVE
8	D	UP ACADEMY KENNEDY	1385 BERKSHIRE AVE
8	E	INDIAN ORCHARD CITIZEN'S COUNCIL	117 MAIN ST, I.O.
8	F	UP ACADEMY KENNEDY	1385 BERKSHIRE AVE
8	G	WARNER SCHOOL	493 PARKER ST
8	H	PINE POINT LIBRARY	204 BOSTON RD

City Council
36 Court Street
Springfield, MA 01103

TABLED

PETITION (ID # 5657)

Meeting: 08/17/20 06:30 PM
Department: Economic Development
Category: Special Permit
Prepared By: Phil Dromey
Initiator: Phil Dromey
Sponsors:
DOC ID: 5657

For a Special Permit for a Temporary Truck or Truck Body Storage Lot at the Property Known as 158 Avocado Street 00845-0035) (Book#3441/Page#205), as Allowed by M.G.L. and the Springfield Zoning Ordinance Article 4, Table 4-4, Section 12.5(2).

Request:	See Above
Owner:	Springfield Cooperative Farmers Market Association, Inc.
By:	Richard A Skypek, Esquire
Petitioner:	Springfield Cooperative Farmers Market Association, Inc.
By:	Richard A Skypek, Esquire

To The City Council of the City of Springfield:

The undersigned respectfully petition your honorable body

for a special permit for a temporary truck or truck body storage lot at the property known as 158 Avocado Street 00845-0035) (Book#3441/Page#205), as allowed by M.G.L. and the Springfield Zoning Ordinance Article 4, Table 4-4, Section 12.5(2).

Mailing Address:

158 Avocado Street
Springfield, MA 01104

Owner & Petitioner:

Springfield Cooperative Famers Market Association, Inc.

I hereby certify that I am the owner and petitioner or acting on behalf of the owner and petitioner.

By: _____
Richard A. Sypek, Esquire

Stephen J. Lonergan
Collector/Treasurer

THE CITY OF
SPRINGFIELD, MASSACHUSETTS

May 13, 2020

Special Permit
Tax Certification

I certify that all identifiable real estate, personal property and excise taxes have been paid by the petitioner and/or landlord associated with the special permit request shown below:

Special Permit: 158 Avocado St – (00845-0035)

Petitioner and Property Owner: Springfield Cooperative Farmer's Market Association, Inc.
158 Avocado Street
Springfield, MA 01104

Representative: Richard A. Sypek, Esquire

Stephen J. Lonergan: Treasurer/Collector

OFFICE OF PLANNING & ECONOMIC DEVELOPMENT
ANALYSIS FOR A SPECIAL PERMIT

158 AVOCADO STREET (00845-0035)
TEMPORARY TRUCK/TRUCK BODY STORAGE

General Information

Petitioner:	Springfield Cooperative Famers Market Association, Inc.
Request:	Temporary truck/truck body storage
Proposed use of the property:	Temporary truck/truck body storage
Property Size:	87,120 s.f.
Compatibility with current planning documents:	The Brightwood Neighborhood Plan shows no changes to this area.
Neighborhood council notification:	New North Citizens Council: 7-14-20
Tax Status:	**SEE ATTACHED**
Site Visit:	7-29-20
Hearing Date:	8-17-20

Staff Analysis

Neighborhood characteristics:

The parcel is currently zoned Industrial A and located in an area consisting of primarily commercial/industrial uses. The surrounding land uses include:

To the north is a warehouse operation zoned Industrial A.
To the south is a warehouse operation zoned Industrial A.
To the east is a truck terminal zoned Industrial A.
To the west is the Connecticut River.

Site plan review:

The petitioner has requested a special permit for the temporary storage of truck and/or truck bodies at the property known as 158 Avocado Street. This is the current location of S.T.S Trucking Services.

After review of the plans and visiting the site, the staff does not object to the proposed request. As noted above, this site is located within an industrial area of the Brightwood neighborhood and is surrounded by other industrial uses including warehouse operations and a truck terminal located directly across the street. There are also no residential abutters within this area. As such, the staff believes that the proposed use is an

appropriate use for this area and will not have any adverse effects on the abutters or on the neighborhood as a whole.

Recommendation

Approve, with conditions.

Recommended Conditions

1. This special permit is granted to this petitioner only.
2. This special permit is granted solely for the operation of temporary truck and/or truck body storage at the property known as 158 Avocado Street (00845-0035).
3. The use shall be developed in accordance with the attached site plan, with the additions of conditions #4 through #8.
4. The site shall be maintained free of all weeds, trash and debris.
5. There shall be no storage of junk vehicles and/or parts at this location.
6. There shall be no dumping at this location.
7. The building shall be maintained graffiti free.
8. The existing landscaped area shall be maintained and kept free of litter, trash, debris and overgrown vegetation.
9. Compliance with these conditions, as well as any and all zoning regulations, is required. Failure to comply may result in denial of the issuance of a Building Permit and/or Occupancy Permit, revocation of any permits issued and/or enforcement by the Code Enforcement Department punishable by fines of up to $200 per day for each day a violation exists.

Stephen J. Lonergan
Collector/Treasurer

THE CITY OF
SPRINGFIELD, MASSACHUSETTS

May 13, 2020

Special Permit
Tax Certification

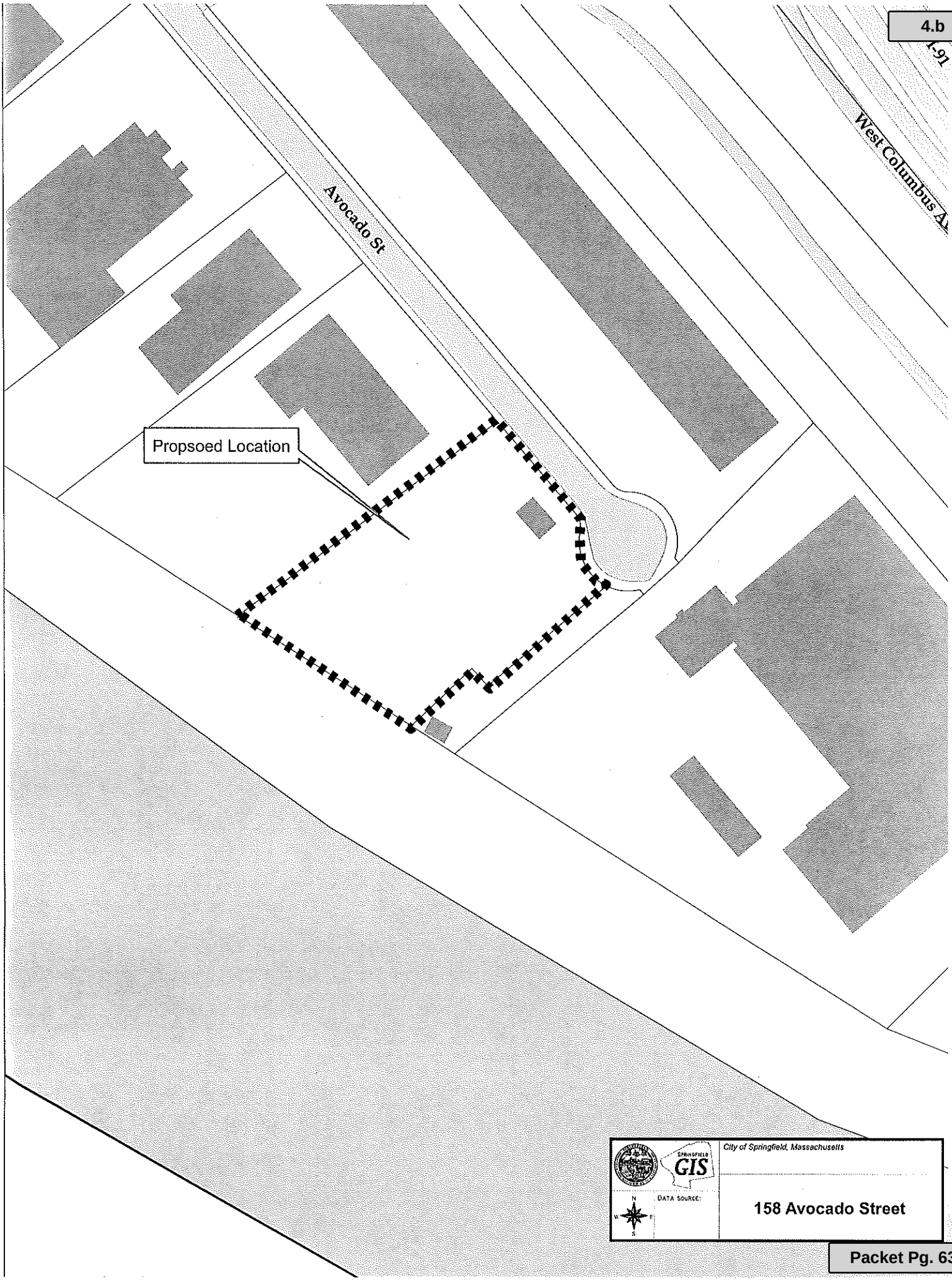
I certify that all identifiable real estate, personal property and excise taxes have been paid by the petitioner and/or landlord associated with the special permit request shown below:

Special Permit: 158 Avocado St – (00845-0035)

Petitioner and Property Owner: Springfield Cooperative Farmer's Market Association, Inc.
158 Avocado Street
Springfield, MA 01104

Representative: Richard A. Sypek, Esquire

Stephen J. Lonergan: Treasurer/Collector



City Council
36 Court Street
Springfield, MA 01103

TABLED

PETITION (ID # 5788)

Meeting: 08/17/20 06:30 PM
Department: Economic Development
Category: Special Permit
Prepared By: Phil Dromey
Initiator: Phil Dromey
Sponsors:
DOC ID: 5788

To Amend an Existing Special Permit (Motor Vehicle Service Station), Granted July 2007, by Allowing a Change in the Site Plan at the Property Known as 740 Boston Road (01655-0126)(Book#18106/Page#199), as Allowed by M.G.L. and the Springfield Zoning Ordinance Article 4, Table 4-4, Section 12.3(1).

Request:	See Above
Owner:	GOGRI, Inc.
By:	Hasmukh Gogri
Petitioner:	GOGRI, Inc.
By:	Hasmukh Gogri

To The City Council of the City of Springfield:

The undersigned respectfully petition your honorable body

to amend an existing special permit (motor vehicle service station), granted July 2007, by allowing a change in the site plan at the property known as 740 Boston Road (01655-0126)(Book#18106/Page#199), as allowed by M.G.L. and the Springfield Zoning Ordinance Article 4, Table 4-4, Section 12.3(1).

Mailing Address:

61 Appaloosa Lane
West Springfield, MA 01119

Petitioner:

GOGRI, Inc.

I hereby certify that I am the owner and petitioner or acting on behalf of the owner and petitioner.

By: _____
Hasmukh Gogri

THE CITY OF
SPRINGFIELD, MASSACHUSETTS

07/09/2020

Special Permit
Tax Certification

I certify that all identifiable real estate, personal property and excise taxes have been paid by the petitioner and/or landlord associated with the special permit request shown below:

Special Permit : 740 Boston Road
Petitioner : GOGRI, INC.
Landlord : GOGRI, INC.

Christopher A.Caputo: Treasurer Collector

OFFICE OF PLANNING & ECONOMIC DEVELOPMENT
ANALYSIS FOR A SPECIAL PERMIT

740 BOSTON ROAD (01655-0126)
AMEND AN EXISTING SPECIAL PERMIT (MOTOR VEHICLE SERVICE STATION)

General Information

Petitioner:	GOGRI, Inc.
Request:	To amend an existing special permit (motor vehicles service station/gas station), granted July 2007, by allowing a change in the approved site plan.
Proposed use of the property:	Gas station.
Size:	18,613 s.f.
Compatibility with current planning documents:	The Pine Point Neighborhood Plan shows no changes to this area.
Neighborhood council Notification:	Pine Point Community Council: 7-7-20
Tax Status:	**SEE ATTACHED**
Site Visit:	7-23-20
Hearing Date:	8-17-20

Staff Analysis

Neighborhood characteristics:

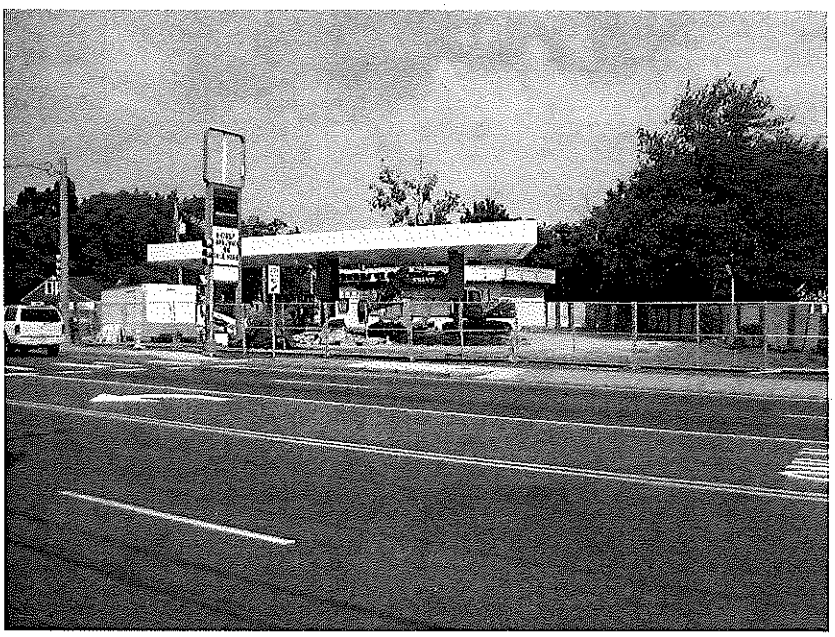
The parcel is currently zoned Business A. The area has a mix of commercial and residential uses. The surrounding land uses include:

To the north is a vacant property zoned Business B.
To the south are a car wash and fast food restaurant zoned Business A and Business B.
To the east are a single-family house and restaurant zoned Residence B and Business A.
To the west is a used car dealership zoned Business A.

Site plan review:

The petitioner has requested to amend an existing special permit, granted July 2007 for an existing Citgo gas station by allowing a change to the approved site plan at the property known as 740 Boston Road. The proposed change to the site plan is for a new 1,632 square foot addition to the rear of the existing building. It should be noted that this site also obtained a special permit for a drive-up service window in 2010, however, that project was never completed.

After visiting the site and reviewing the plans, the staff does not object to the proposed request. The only comment that staff has is that the existing landscaping along the side and rear of the property is in need of maintenance. The existing vegetation in these areas is minimal and in poor shape. As part of this approval, the staff would strongly recommend that new landscaping be installed along both the side and rear of the property. Laslty, the existing fencing along the side and rear property is in need of repair.



Recommendation

Approve, with conditions.

Recommended Conditions:

1. This special permit is granted to this petitioner only.
2. This special permit is granted solely to operate a motor vehicle service station (gas station) at the property known as 740 Boston Road (01655-0126).
3. The use shall be developed as per the attached site plans and elevations, with the addition of conditions #4 and #11.
4. All other conditions placed on the special permit, granted May 26, 2007, shall remain in effect.
5. The existing fence located along the side and rear property lines shall be repaired or replaced.
6. The proposed landscaping shall be completed as per the attached plans and new vegetation shall be installed.
7. All landscaped areas shall be maintained and kept free of all trash and debris.
8. There shall be no additional signage located on the property.
9. There shall be no non-accessory signs located on the parcel.
10. There shall be no banner, streamers or other promotional materials placed on the building or in outside areas.
11. In addition to the special permit approval, a full review by the Department of Public Works, as per the provisions of City Ordinance, Chapter 27, Article VIII, § 27-58 through 27-63, will be required. This approval must be obtained prior to the issuance of a Building Permit.
12. Compliance with these conditions, as well as any and all zoning regulations, is required. Failure to comply may result in denial of the issuance of a Building Permit and/or Occupancy Permit, revocation of any permits issued and/or enforcement by the Code Enforcement Department punishable by fines of up to $200 per day for each day a violation exists.

THE CITY OF
SPRINGFIELD, MASSACHUSETTS

07/09/2020

Special Permit
Tax Certification

I certify that all identifiable real estate, personal property and excise taxes have been paid by the petitioner and/or landlord associated with the special permit request shown below:

Special Permit : 740 Boston Road
Petitioner : GOGRI, INC.
Landlord : GOGRI, INC.

Christopher A.Caputo: Treasurer Collector

DEPARTMENTAL AND INTERDEPARTMENTAL CORRESPONDENCE
CITY OF SPRINGFIELD
MASSACHUSETTS

2007-0725

TO:

DATE : July 26, 2007

DEPARTMENT:

FROM: Wayman Lee, Esq.

COPIES TO:

DEPARTMENT: City Clerk

SUBJECT: 740 Boston Road

This is to inform you that at a meeting of the City Council held on Monday evening June 25, 2007, it was voted by the Council in accordance with law to grant a Special Permit on the petition of Owner: BDMG, LLC by: Michael McCarthy & Petitioner: Gogri Family Inc. By: Hasmukh Gogri to amend a special permit (gas station) granted on October 2, 1990, by allowing a change in the petitioner at the property known as **740 Boston Road** (01655-0126) (f/n/a 736-740 Boston Road) and ES Harvey Street (06385-0038) as allowed by Massachusetts General Laws and the Springfield Zoning Ordinance, Article X-D, Section 1001-D.10.a. with the following conditions:

1. This special permit is granted to this petitioner only.
2. This special permit is granted solely to operate a gas station at the property known as 740 Boston Road (01655-0126) & ES Harvey Street (06385-0038).
3. All other conditions placed on the special permit, granted October 2, 1990, shall remain in effect.
4. The existing fence located along the northern property line shall be repaired or replaced.
5. All landscaped areas shall be maintained and kept free of all trash and debris.
6. There shall be no additional signage located on the property.
7. There shall be no non-accessory signs located on the parcel.
8. There shall be no banner, streamers or other promotional materials placed on the building or in outside areas.
9. The existing chain link fence shall be painted.
10. Compliance with these conditions, as well as any and all zoning regulations, is required. Failure to comply may result in enforcement by the Code Enforcement Department punishable by a fine of up to $50 per day for each day a violation exists

A copy of this decision and all plans referred to in the decision have been filed with the Planning Board and City Clerk.

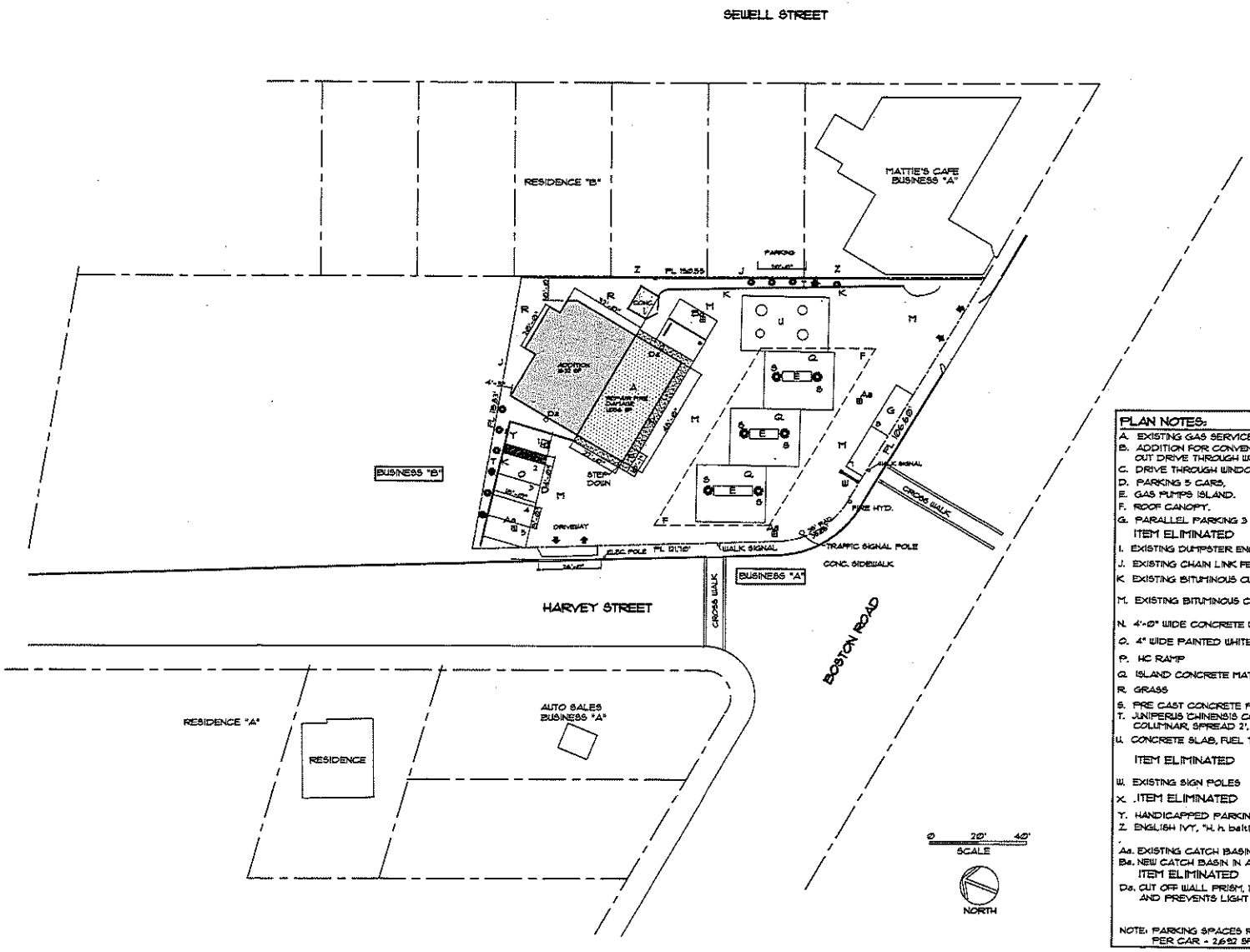
REASONS: (1) The specific site is an appropriate location for such a use, structure, or condition. (2) The use as developed will not adversely affect the neighborhood. (3) Adequate and appropriate facilities will be provided for the proper operation of the proposed use.

This permit becomes effective on July 26, 2007.

Very truly yours,

Wayman Lee, Esquire
City Clerk

WL/laf



PLAN NOTES:

A. EXISTING GAS SERVICE AND CONVENIENCE STORE BUILDING 1056 SF.
B. ADDITION FOR CONVENIENCE STORE EXPANSION AND COFFEE SHOP TAKE OUT DRIVE THROUGH WINDOW 1095 SF., 22' x 48' (WINDOW PROJECTION 39 SF).
C. DRIVE THROUGH WINDOW.
D. PARKING 5 CARS.
E. GAS PUMPS ISLAND.
F. ROOF CANOPY.
G. PARALLEL PARKING 3 CARS 20'-0" x 9'-0"
ITEM ELIMINATED
I. EXISTING DUMPSTER ENCLOSURE.
J. EXISTING CHAIN LINK FENCE WITH VINYL SLATS 6' HIGH, PROVIDE NEW FENCE.
K. EXISTING BITUMINOUS CURB
M. EXISTING BITUMINOUS CONCRETE, PROVIDE SEAL COAT.
N. 4'-0" WIDE CONCRETE WALK.
O. 4" WIDE PAINTED WHITE LINES
P. HC RAMP
Q. ISLAND CONCRETE MAT.
R. GRASS
S. PRE CAST CONCRETE PLANTER BY WAUSAU TILE.
T. JUNIPERUS CHINENSIS COLUMNARIS AT 3'-0" O/C, NARROW AND COLUMNAR, SPREAD 2'.
U. CONCRETE SLAB, FUEL TANKS BELOW.
ITEM ELIMINATED
W. EXISTING SIGN POLES
X. ITEM ELIMINATED
Y. HANDICAPPED PARKING, PROVIDE POST SIGN 54" HIGH, AND GROUND ID.
Z. ENGLISH IVY, "H. h. baltica", GROW ON NEW FENCE.
Aa. EXISTING CATCH BASIN.
Ba. NEW CATCH BASIN IN ACCORDANCE WITH EPA AND CITY DPW STANDARDS.
ITEM ELIMINATED
Da. CUT OFF WALL PRISM, 100 W HIGH PRESSURE SODIUM, ELIMINATES GLARE AND PREVENTS LIGHT SPILL. LIGHTING EXISTS FOR FRONT SERVICE AREA.

NOTE: PARKING SPACES REQUIRED FOR RETAIL - 300 SF BUILDING AREA PER CAR = 2,652 SF / 300 = 8.57 SPACES, 8 SPACES PROVIDED.

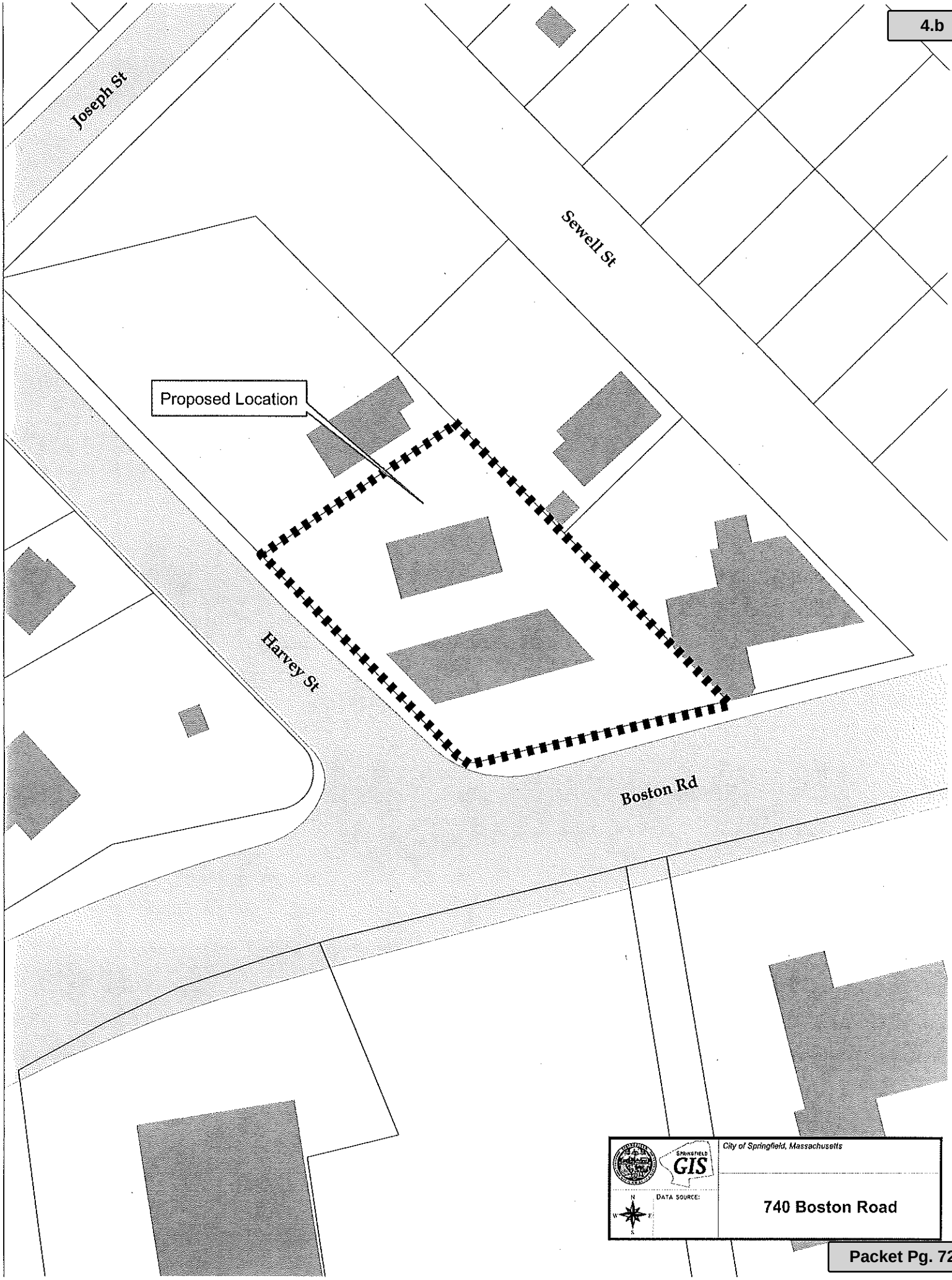
ADDITION & FIRE DAMAGE REPAIR
H & M FOOD & FUEL GOGRI, INC.
740 BOSTON ROAD, SPRINGFIELD, MASSACHUSETTS

CHAFFIN ASSOCIATES
ARCHITECTS/PLANNERS
121 CHESTNUT STREET
SPRINGFIELD, MA 01103
(413) 732-1650

SITE PLAN

24" x 36"

1



City Council
36 Court Street
Springfield, MA 01103

TABLED

PETITION (ID # 5603)

Meeting: 08/17/20 06:30 PM
Department: Economic Development
Category: Special Permit
Prepared By: Phil Dromey
Initiator: Phil Dromey
Sponsors:
DOC ID: 5603

To Amend an Existing Special Permit (Drive-Up Service Window), Granted August 2006, by Allowing a Change to the Petitioner, at the Property Known as 381 Cooley Street (03170-0199) (Book#21176/Page#558), as Allowed by M.G.L. and the Springfield Zoning Ordinance Article 4, Table 4-4, Section 19.1(1).

Request:	See Above
Owner:	Jefferson Investors, LLC
By:	Andrew Cohen, President
Petitioner:	Walgreens S17787
By:	Robert Lauzon

To The City Council of the City of Springfield:

The undersigned respectfully petition your honorable body

to amend an existing special permit (drive-up service window), granted August 2006, by allowing a change to the petitioner, at the property known as 381 Cooley Street (03170-0199) (Book#21176/Page#558), as allowed by M.G.L. and the Springfield Zoning Ordinance Article 4, Table 4-4, Section 19.1(1).

Mailing Address:

18 Genevieve Place
Great Neck, NY 11021

Owner:

Jefferson Investors, LLC

I hereby certify that I am the owner or acting on behalf of the owner.

By:_____
Andrew Cohen, President

Mailing Address:

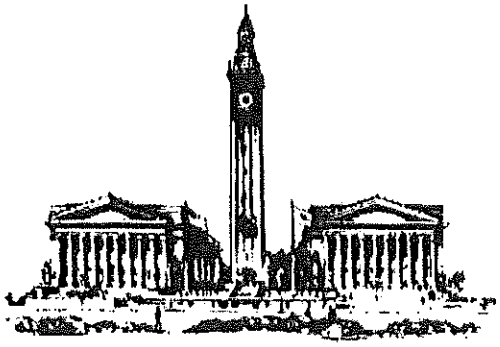
381 Cooley Street
Springfield, MA 01128

Petitioner:

Walgreens S17787

I hereby certify that I am the petitioner or acting on behalf of the petitioner.

By:_____
Robert Lauzon



THE CITY OF
SPRINGFIELD, MASSACHUSETTS

03/26/2020

Special Permit
Tax Certification

I certify that all identifiable real estate, personal property and excise taxes have been paid by the petitioner and/or landlord associated with the special permit request shown below:

Special Permit : 381 Cooley Street
Petitioner : Walgreens S17787
LandLord : Jefferson Investors, LLC

Peter L. Sygnator: Assistant Collector

OFFICE OF PLANNING & ECONOMIC DEVELOPMENT
ANALYSIS FOR A SPECIAL PERMIT

381 Cooley Street (03170-0199)
AMEND AN EXISTING SPECIAL PERMIT (DRIVE-UP SERVICE WINDOW)

General Information

Petitioner:	Walgreens S17787
Request:	To amend an existing special permit (drive-up service window), granted October 9, 2000 and amended August 2006 and November 2008, by allowing a change in the petitioner.
Proposed use of the property:	Walgreens
Size:	152,024 s.f.
Compatibility with current planning documents:	The Sixteen Acres Neighborhood Plan shows no changes to this area.
Neighborhood council Notification:	Outerbelt Civic Association: 4-16-20
Tax Status:	**SEE ATTACHED**
Site Visit:	7-23-20
Hearing Date:	8-17-20

Staff Analysis

Neighborhood characteristics:

The parcel is currently zoned Business A.

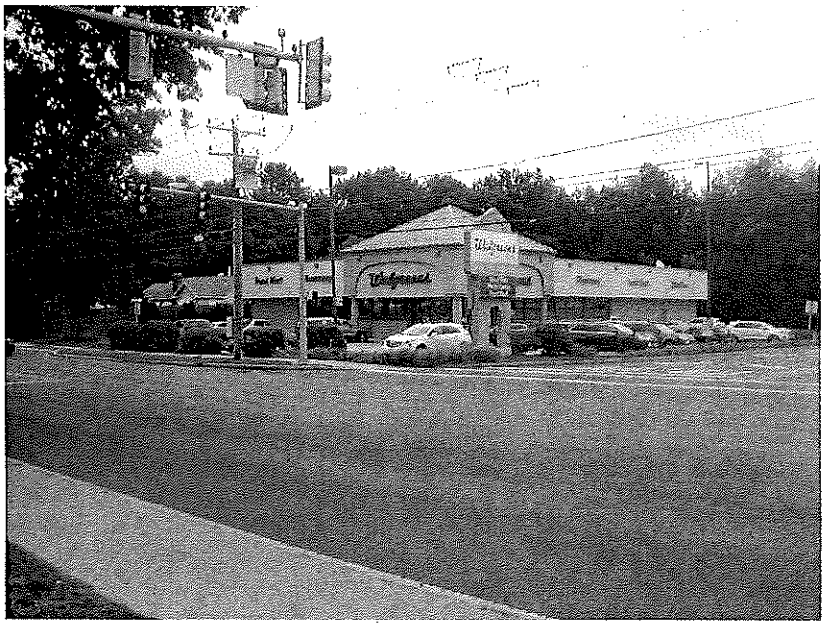
To the north are single family houses zoned Residence A.
To the south is a commercial shopping center zoned Business A.
To the west is a commercial shopping center zoned Residence A and Business A.
To the east is vacant land zoned Residence A1.

Site plan review:

The petitioner has requested to amend an existing special permit, granted October 9, 2000, by allowing a change in the petitioner at the property known as 381 Cooley Street. This was the former location of a Rite Aid Pharmacy and is now the location of a Walgreens.

After visiting the site, the staff does not object to the proposed request. As noted above, this has been an existing drive-up pharmacy for several years. The staff has also reviewed the conditions and although the staff is pleased with the overall condition of the property, it should be noted that condition #4 of the 2006 special

permit has not yet been completed. This condition requires that the tree belt along Cooley Street be loamed and seeded. The tree belt is currently mulched. As part of the approval of this amendment, completion of this condition should be required or the condition removed by the City Council.



Recommendation

Approve, with conditions.

Suggested Conditions:

1. This special permit is granted to this petitioner only.
2. This special permit is granted solely to operate a drive-up service window at the property known as 381 Cooley Street (03170-0199).
3. All conditions placed on the original special permits, granted October 9, 2000 and amended August 2006 and November 2008, shall remain in effect.
4. Compliance with these conditions, as well as any and all zoning regulations, is required. Failure to comply may result in denial of the issuance of a Building Permit and/or Occupancy Permit, revocation of any permits issued and/or enforcement by the Code Enforcement Department punishable by fines of up to $200 per day for each day a violation exists.

THE CITY OF
SPRINGFIELD, MASSACHUSETTS

03/26/2020

Special Permit
Tax Certification

I certify that all identifiable real estate, personal property and excise taxes have been paid by the petitioner and/or landlord associated with the special permit request shown below:

Special Permit : 381 Cooley Street
Petitioner : Walgreens S17787
LandLord : Jefferson Investors, LLC

Peter L. Sygnator: Assistant Collector

DEPARTMENTAL AND INTERDEPARTMENTAL CORRESPONDENCE
CITY OF SPRINGFIELD
MASSACHUSETTS

2006-0624

TO:

DATE : August 10, 2006

DEPARTMENT:

FROM: Wayman Lee

COPIES TO:

DEPARTMENT: City Clerk

SUBJECT: Special Permit
381 Cooley Street

This is to inform you that at a meeting of the City Council held on Monday evening, July 17, 2006, it was voted by the Council in accordance with law to grant a Special Permit on the petition of Owner & Petitioner: P.J.C Realty Co., Inc, By: Howard Nobleman to amend and existing special permit, October 9, 2000 by allowing a change in the site plan, at the property known as 381 Cooley Street (03170-0199) (formally known as ES Cooley Street), as allowed by Massachusetts General Laws and the Springfield Zoning Ordinance, Article XI, Section 1101.11.d with the following conditions:

1. This special permit is granted to this petitioner only.
2. This special permit is granted solely for the operation of a Brooks drive-up service window at the property known as 381 Cooley Street (03170-0035)
3. The use shall be developed according to the attached site plans, dated May 19, 2006, with the addition of condition #4 through #10.
4. All previous special permit conditions granted on October 9, 2000 shall remain in effect.
5. The treebelt shall be loamed and seeded.
6. The sidewalks along Cooley Street shall remain at the same grade and the same materials as the adjacent sidewalks. The sidewalk shall not be depressed to accommodate the driveway.
7. All landscaped areas shall be maintained and kept free of all trash and debris.
8. There shall be no non-accessory signs on the premises.
9. There shall be no banners, streamers, pennants or additional signs located on the property.
10. Compliance with these conditions, as well as any and all zoning regulations, is required. Failure to comply may result in enforcement by the Code Enforcement Department punishable by fine of up to $50.00 per day for each day a violation exists

REASONS: (1) The specific site in an appropriate location for such a use, structure, or condition. (2) The use as developed will not adversely affect the neighborhood. (3) Adequate and appropriate facilities will be provided for the proper operation of the proposed use.

This permit becomes effective on August 10, 2006.

Vert truly yours,

Wayman Lee

Wayman Lee
City Clerk

WL/laf

2008-0827

DEPARTMENTAL AND INTERDEPARTMENTAL CORRESPONDENCE
CITY OF SPRINGFIELD
MASSACHUSETTS

TO:

DATE : Nov. 19, 2008

DEPARTMENT:

FROM: Wayman Lee, Esq.

COPIES TO:

DEPARTMENT: City Clerk

SUBJECT: 381 Cooley St

This is to inform you that at a meeting of the City Council held on Monday, October 27, 2008, it was voted by the Council in accordance with law to grant a Special Permit on the petition of Owner & Petitioner: Sovereign RA II, LLC By: Richard A. Sypek, Esquire, for a special permit to amend an existing special permit granted October 9, 2000 and amended August 10, 2006, by allowing a change in the petitioner at the property known as **381 Cooley Street** (03170-0199) as allowed by Massachusetts General Laws and the Springfield Zoning Ordinance, Article XI, Section 1001.11.d with the following conditions:

1. This special permit is granted to this petitioner only.
2. This special permit is granted solely to operate a drive-up service window at the property known as 381 Cooley Street (03170-0199).
3. All conditions placed on the original special permits, granted October 9, 2000 and amended August 10, 2006, shall remain in effect.
4. Compliance with these conditions, as well as any and all zoning regulations, is required. Failure to comply may result in enforcement by the Code Enforcement Department punishable by fine of up to $50 per day for each day a violation exists.

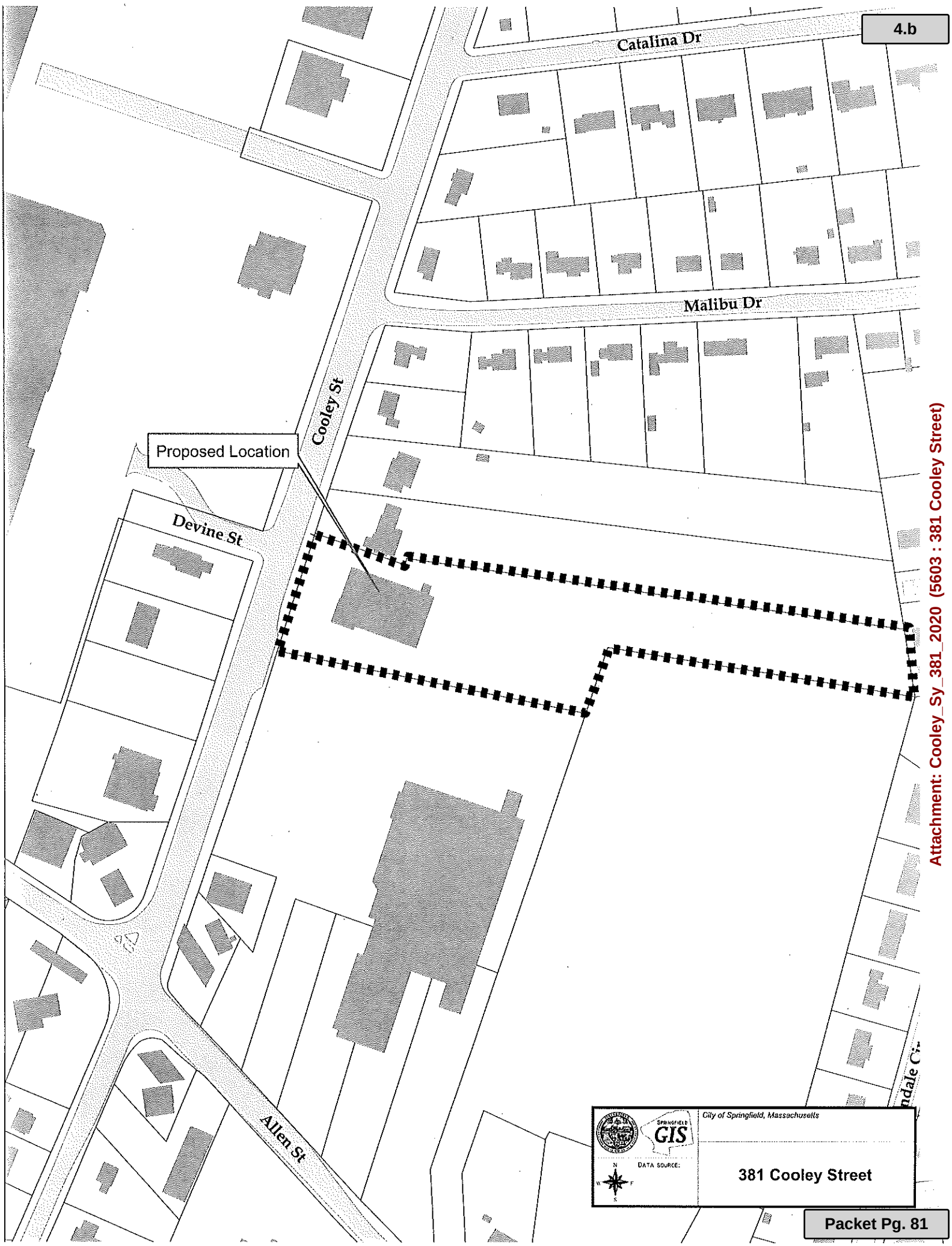
.REASONS: (1) The specific site is an appropriate location for such a use, structure, or condition. (2) The use as developed will not adversely affect the neighborhood. (3) Adequate and appropriate facilities will be provided for the proper operation of the proposed use.

This permit becomes effective on November 19, 2008.

Very truly yours

Wayman Lee, Esquire
City Clerk

WL/laf



City Council
36 Court Street
Springfield, MA 01103

TABLED

PETITION (ID # 5702)

Meeting: 08/17/20 06:30 PM
Department: Economic Development
Category: Special Permit
Prepared By: Phil Dromey
Initiator: Phil Dromey
Sponsors:
DOC ID: 5702

For a Special Permit for a Motor Vehicle Service Station (Gas Station/No Repair Service) and a Drive-Up Service Window at the Properties Known as 3111 Main Street (08130-0397)(Book#22005/Page#37), ES Main Street (08130-0394)(Book#22929/Page#511) and 11 Merwin Street (08580-0035)(Bool#22738/Page#566), as Authorized by M.G.L. and the Springfield Zoning Ordinance, Article 4, Table 4-4, Section 12.3(1) and 19.1(2).

Request:	See Above
Owner:	Zahoor UI Haq
By:	Zahoor UI Haq
Petitioner:	Zahoor UI Haq
By:	Zahoor UI Haq

To The City Council of the City of Springfield:

The undersigned respectfully petition your honorable body

for a special permit for a motor vehicle service station (gas station/no repair service) and a drive-up service window at the properties known as 3111 Main Street (08130-0397)(Book#22005/Page#37), ES Main Street (08130-0394)(Book#22929/Page#511) and 11 Merwin Street (08580-0035)(Bool#22738/Page#566), as authorized by M.G.L. and the Springfield Zoning Ordinance, Article 4, Table 4-4, Section 12.3(1) and 19.1(2).

Mailing Address

3111 Main Street
Springfield, MA 01107

Owner & Petitioner:

Zahoor Ul Haq

I hereby certify that I am the owner and petitioner or that I am acting on behalf of the owner and petitioner.

BY: _____
Zahoor Ul Haq

THE CITY OF
SPRINGFIELD, MASSACHUSETTS

06/12/2020

Special Permit
Tax Certification

I certify that all identifiable real estate, personal property and excise taxes have been paid by the petitioner and/or landlord associated with the special permit request shown below:

Special Permit : 3111 Main Street
Petitioner : Zahoor Ul Haq
Landlord : Zahoor Ul Haq

Stephen J. Lonergan, Treasurer Collector

OFFICE OF PLANNING & ECONOMIC DEVELOPMENT
ANALYSIS FOR A SPECIAL PERMIT

3111 MAIN STREET (08130-0397). ES MAIN STREET (08130-0394) & 11 MERWIN STREET (08580-0035)
GAS STATION/DRIVE-UP SERVICE WINDOW

General Information

Petitioner:	Zahoor Haq
Request:	Gas station/drive-up service window.
Proposed use of the property:	Gas station/drive-up service window.
Parcel Size:	49,324 s.f.
Compatibility with current planning documents:	The Memorial Sqaure Neighborhood Plan shows no changes to this area.
Neighborhood council notification:	New North Citizens Council: 6-15-20
Tax Status:	**SEE ATTACHED**
Site Visit:	7-29-20
City Council Hearing:	8-17-20

Staff Analysis

Neighborhood characteristics:

The property is currently zoned Business A and is located in an area that has a mix of commercial and residential uses. The surrounding land uses include:

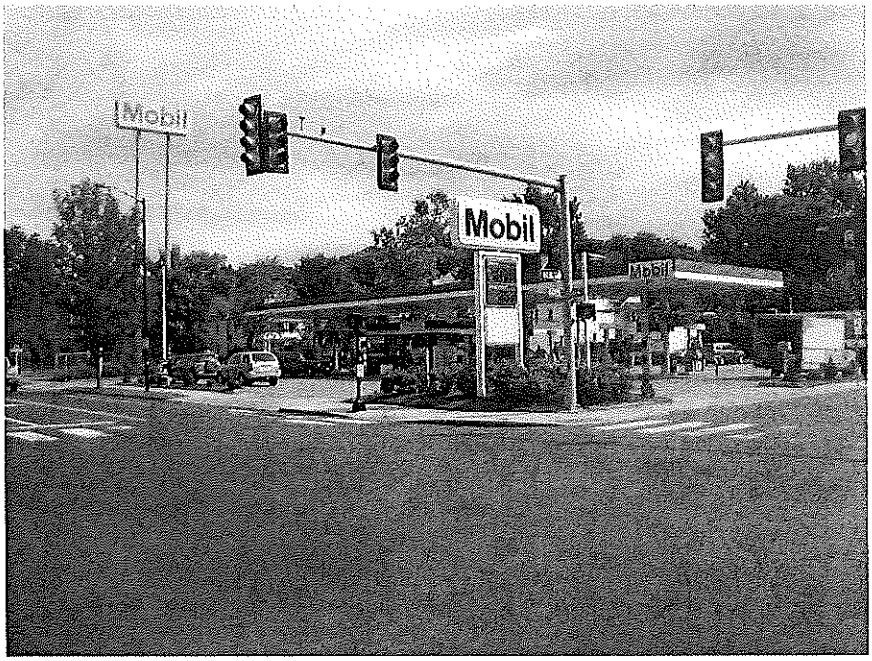
To the north is three-family house zoned Residence B.
To the south is an automotive sales/service operation zoned Business B.
To the east are a two-family house and apartment building zoned Residence B and Residence C.
To the west is Interstate 91.

Site plan review:

The petitioner has requested a special permit for the redevelopment of an existing site to include a new gas station/convenience store with a drive-up service window at the properties known as 3111 Main Street, ES Main Street and 11 Merwin Street. This site is located at the intersection of Main Street and Dover Street and is currently the location of a Mobile gas station. The petitioner intends to demolish the existing structures, including the car wash and construct a new 5,600±, square foot building with a new convenience store, gas pumps and a drive-up service window.

After reviewing the plans and visiting the site, the staff does not oppose the proposed request. As noted

above, there currently is a gas station as this location. With regards to the proposed development, the staff has the following comments.



First, as noted above, the development will include a number of parcels including a parcel on Merwin Street. As the Council is aware, this property was recently approved to be re-zoned to Business A. The development will also include a vacant parcel along Main Street that was sold to the developer as part of an Request for Proposal (RFP) process.

As noted above, the existing structures will be demolished, including the car wash building located at the rear of the property, and a new building will be constructed. The new building will house a convenience store as well as a new, drive-up service window. The development also includes new gas pumps and canopy structure.

Currently there are a total of seven (7) existing curb cuts. Those include the curb cut which current access the vacant Main Street property and the Merwin Street property. The existing gas station has four (4) existing curb cuts; two (2) along Main Street and two (2) along Dover Street. As per the submitted plans, the new development will now only have a total of four (4) curb cuts to access the site. There will be one (1) curb cut on Main Street, two (2) remaining along Dover Street and one (1) to be located on Merwin Street. As with all new developments, a full review for traffic and drainage issues will be required from the Department of Public Works (DPW) prior to the issuance of a Building Permit. The staff has spoken with DPW and while a full review has not yet been completed, they do not have any issued with the overall site plan.

As with all new developments, the staff wants to ensure that in addition to vehicular traffic, pedestrian traffic is also taken into consideration. In reviewing the submitted plans, the staff did note that there are no pedestrian access point form either Main Street, Dover Street or Merwin Street. Due to the fact that this development directly abuts residences, pedestrian access from all the surrounding streets to the building, should be installed.

In reviewing the proposed landscaping plan, overall the staff is pleased with what is being proposed. It was noted that the required seven (7) foot buffer along the rear of the property is being installed, however, while plantings are being proposed, it was unclear to the staff if fencing was also being installed. It needs to be stressed to the petitioner that along with the proposed planting, a solid fence must also be installed. This is especially important as the rear of the property does abut residential uses. Lastly, the staff would also like to see additional shade trees planted, especially within the large grass area being proposed along the Main Street frontage. This will help provide much needed shade for the larger development site. The staff will also be recommending that all landscaped areas be irrigated.

Lastly, it should be noted that there is an existing billboard located on the vacant property on Main Street. In reviewing the proposed plans it was noted that it appears that this billboard was to be retained. However, as part of the RFP process that was completed by the City for the disposition of this property, a condition was

placed on the final disposition agreement (see attached) that the billboard was to be removed and could not be relocated elsewhere on the property. As such, the staff will be recommending a condition requiring the removal of this billboard.

Recommendation

Approve, with conditions.

Recommended Conditions

1. This special permit is granted to this petitioner only.
2. This special permit is granted solely for the redevelopment of an existing property, to include a new gas station/convenience store and drive-up service window, at the properties known as 3111 Main Street (08130-0397). ES Main Street (08130-0394) and 11 Merwin Street (08580-0035).
3. The use shall be developed as per the attached site plans and elevations, with the addition of conditions #4 and #23.
4. The drive-up window activity, including the ordering kiosk, shall not be audible from the residential abutters.
5. Any and all lighting shall be shielded from the residential abutters.
6. All landscaped areas shall be installed as per the attached plans.
7. Two (2) additional shade trees shall be installed along the Main Street frontage.
8. A six (6) foot, solid fence shall be installed along the full length of the rear property line.
9. All landscaped areas, as well as the entire site, shall be maintained and kept free of all overgrown vegetation, weeds, litter and/or debris.
10. The public sidewalks along Main Street, Dover Avenue and Merwin Street shall be maintained, including snow removal.
11. All landscaped areas shall be irrigated.
12. All signs shall be properly permitted prior to installation.
13. There shall be no banners, streamers or pennants located on the property, with the exception of a grand opening event. Any and all temporary signage shall be properly permitted.
14. No signs or banners shall be attached to the light poles or any utility poles.
15. Any and all dumpster(s) shall be completely enclosed.
16. Loitering to be addressed at all times.
17. The building shall be maintained graffiti free.
18. There shall be no outdoor storage of materials.
19. A pedestrian access to the site shall be provided.
20. The existing billboard located on the property known as ES Main Street shall be removed and shall not be located elsewhere on the property.
21. Any and all curb cuts to be closed shall be closed as per DPW standards and the treebels, if any, shall be re-established.
22. In addition to the special permit approval, a full review by the Department of Public Works, as per the provisions of City Ordinance, Chapter 27, Article VIII, § 27-58 through 27-63, will be required. This approval must be obtained prior to the issuance of a Building Permit.
23. An Approval Not Required (ANR) plan shall be completed to the Planning Board combing all the parcels. Once approved, a copy of the plan shall be recorded in the Hampden County Registry of Deeds.
24. Compliance with these conditions, as well as any and all zoning regulations, is required. Failure to comply may result in denial of the issuance of a Building Permit and/or Occupancy Permit, revocation of any permits issued and/or enforcement by the Code Enforcement Department punishable by fines of up to $200 per day for each day a violation exists.

THE CITY OF
SPRINGFIELD, MASSACHUSETTS

06/12/2020

Special Permit
Tax Certification

I certify that all identifiable real estate, personal property and excise taxes have been paid by the petitioner and/or landlord associated with the special permit request shown below:

Special Permit : 3111 Main Street
Petitioner : Zahoor Ul Haq
Landlord : Zahoor Ul Haq

Stephen J. Lonergan, Treasurer Collector

**OFFICE OF PLANNING &
ECONOMIC DEVELOPMENT**

70 TAPLEY STREET
SPRINGFIELD, MA 01104

413-787-6020 413-787-6524 FAX

May 29, 2019

Zahoor Haq
3111 Main Street
Springfield, Ma 01107

RE: RFP 19– 121; Redevelopment of E S Main Street

Dear Mr. Haq:

This is letter is to let you know that the review committee has reviewed your proposal and they would like to name you as the *Preferred Developer* for the Redevelopment of ES Main Street. There are still a few issues that need to be addressed prior transferring the parcels to.

The Committee recommends the project with the following conditions:

1. In accordance with the developers proposed project, a special permit (drive-thru) and zone change are required and shall be applied for through the Office of Planning and Economic Development.

2. A definitive/scaled site plan for this parcel must be submitted to the Office of Planning and Economic Development, which this plan should indicate the following:
   - Location of driveways, parking areas, sidewalks, and storage of garbage/refuse;
   - Location of fencing to be installed (following the aforementioned zone change, the Zoning Ordinance requires solid fencing be installed along any residential abutter); and
   - Landscaping, including the Zoning Ordinance requirement of a seven feet landscaped/screening buffer, for Business A, along adjacent residential lots.

3. In addition, a full review by the Department of Public Works, as per the provisions of City Ordinance, Chapter 27, Article VIII, § 27-58 through 27-63, will

be required. This approval must be obtained prior to the issuance of a Building Permit.

4. The developer shall submit an ANR plan to the Office of Planning & Economic Development to combine all acquired lots for the overall project.

5. As per submitted plans, the billboard shall be removed. It should be noted that once removed, the billboard cannot be relocated elsewhere on the site.

6. If the existing/vacant car wash structure is to remain, the developer shall submit elevation plans to the Office of Planning & Economic Development, displaying the structure in a revitalized state for it's new use and the new use shall be identified.

7. All exterior signage must be approved by the Building Department.

8. As the structure, located at 11 Merwin Street, is proposed to be demolished by the developer, it should be noted that the structure is over 100 years of age (built in 1911); as such, the Preservation of Historically Significant Buildings (Demo Delay) Ordinance is triggered. If it is the developer's intent to request a waiver of the Demo Delay Ordinance, an application for a waiver should be filed with the Springfield Historical Commission.

9. The property must be transferred from the City to Mr. Haq within 90 days of the City Council's approval.

10. The property will be conveyed with a reverter clause which will require completion of development within 12 months of conveyance of the deed.

11. The bank has to be more committed to the project and produce a Commitment Letter for the project.

The Review Committee is in full agreement and recommends your proposal with the above mentioned conditions.

Congratulations and we wish you all the success on your project.

The next step is to go in front of the City Council and get their approval.

You can contact me at 413.787.6665 or by email at **tmathews@springfieldcityhall.com** .

We look forward to working with you on this important project!

Sincerely,

Tom Mathews

Thomas Mathews
Project Manager

CC: The RFP 19 - 121 Review Committee

Site Plans

Proposed Commercial Development

Parcel ID's:081300394, 081300397 & 085800035
3111 Main Street
Springfield, Mass.

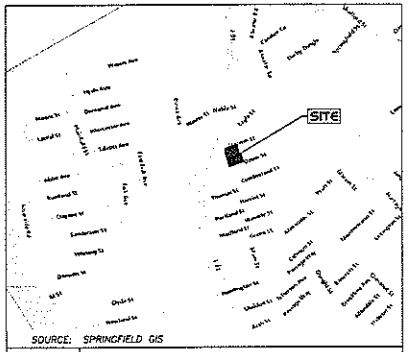
AS PREPARED FOR

Zahoor Ul Haq

551 Main Street
Agawam, MA 01001

ZONING REVIEW - Business A (BA)		
TYPE (MINIMUM)	REQUIRED	PROPOSED
AREA	N.R.*	49,315 s.f.
FRONTAGE	N.R.	424.75' (TOTAL)
FRONT YARD	N.R.	29.7'
SIDE YARD	--	--
REAR YARD	10/60** FT	24.1'
HEIGHT (MAX)	60 FT (4 STORIES)	<60 FT (1 STORY)
BUILDING COVERAGE (MAX)	75%	11.4%
LANDSCAPED BUFFER	7'	7'
PARKING (1 SPCE/1,000 S.F. NET FLR. AREA)	19	21

* N.R. = NO REGULATION
** ABUTTING A RESIDENTIAL DISTRICT/ABUTTING A NON-RESIDENTIAL DISTRICT



May 28, 2020

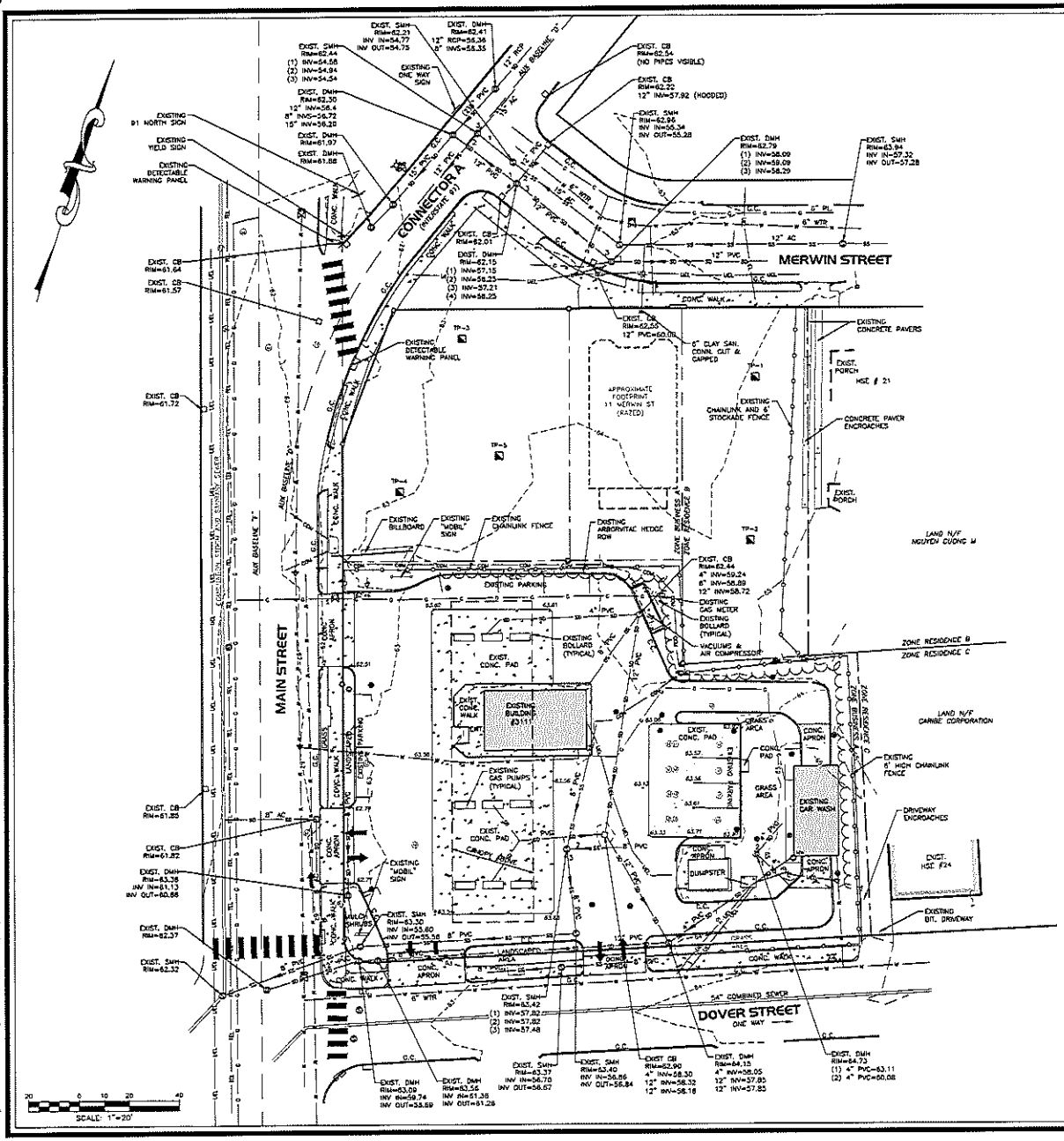
DRAWING INDEX			
SHEET NO.	SHEET NAME	ISSUE DATE	REVISION DATE
T-1	TITLE SHEET	05/28/20	
EX-1	EXISTING CONDITIONS PLAN	05/28/20	
C-1	NOTES, SYMBOL & LINE LEGEND, AND ABBREVIATIONS	05/28/20	
C-2	CONSTRUCTION NOTES	05/28/20	
C-3	DEMOLITION AND REMOVALS PLAN	05/28/20	
C-4	LAYOUT AND MATERIALS PLAN	05/28/20	
C-5	GRADING, EROSION & SEDIMENTATION CONTROL PLAN	05/28/20	
C-6	DRAINAGE & UTILITY PLAN (UNDER SEPARATE COVER)	-	
C-7	LANDSCAPING PLAN	5/28/20	
C-8	PHOTOMETRIC PLAN (UNDER SEPARATE COVER)	-	
D-1	DETAILS	05/28/20	

BY

R LEVESQUE ASSOCIATES INC
A LAND PLANNING SERVICES COMPANY
40 School Street · Westfield, MA · 01085
ph 413.568.0985 · fax 413.568.0986
www.rlaland.com

RLA Project Number: 200106

PERMITTING



NOTES

1. THE RECORD OWNER OF THE SUBJECT PARCELS IS ZAHOOR UL HAQ. SEE HAMPDEN COUNTY REGISTRY OF DEEDS BOOK 22005 PAGE 37, BOOK 22738 PAGE 566 AND BOOK 22829 PAGE 511.
2. THE PROPERTY LINES SHOWN HEREON ARE BASED UPON A PLAN TITLED, "PLAN OF LAND IN SPRINGFIELD MASS" PREPARED BY ALMON, HUNTLEY JR AND ASSOCIATES, DATED AUG.1969. SEE HAMPDEN COUNTY REGISTRY OF DEEDS BOOK OF PLANS 120 PAGE 34 AND PLAN BOOK 384 PAGE 85.
3. THE EXISTING BUILDING(S) SHOWN HEREON ARE BASED ON AN APPROXIMATE MEASUREMENT OF THE OUTSIDE PERIMETER OF THE EXISTING STRUCTURES. THE ACTUAL LOCATION OF THE EXISTING BUILDING WALLS AND CORNERS SHOULD BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION WORK THAT WOULD ABUT OR TAKE PLACE ADJACENT TO THE EXISTING BUILDING(S). IF THE PLAN HEREON IS USED FOR CONSTRUCTION LAYOUT PURPOSES, THE PARTIES CONDUCTING LAYOUT SHALL CONTACT R. LEVESQUE ASSOCIATES INC. PRIOR TO SAID LAYOUT TO DETERMINE PROPER CONTROL. PLEASE NOTE WHILE THE BUILDING(S) ARE SHOWN TO BE SQUARE, IT SHOULD NOT BE ASSUMED THAT THE WALLS ARE SQUARE OR PLUMB. R. LEVESQUE ASSOCIATES TAKES NO RESPONSIBILITY FOR THIRD PARTY LAYOUT OF THE PLAN SHOWN HEREON.
4. THIS PLAN HAS BEEN PREPARED FOR SITE PLANNING PURPOSES AND SHALL NOT BE USED FOR THE CONVEYANCE OF LAND OR FOR ANY OTHER USE.
5. SUBJECT PARCELS CONTAINS 49,315 S.F.
6. THE SUBJECT PROPERTIES SHOWN HEREON MAY BE SUBJECT TO RIGHTS AND EASEMENTS AS CONTAINED IN THE VARIOUS DEEDS OF RECORD DESCRIBING SAID PROPERTIES. THE LOCATION AND EXTENT OF ANY SUCH RIGHTS AND EASEMENTS IS NOT THE SUBJECT OF THIS PLAN.
7. THE EXISTING CONDITIONS INFORMATION SHOWN IS BASED UPON A TOPOGRAPHIC SURVEY PERFORMED BY R LEVESQUE ASSOCIATES, INC. IN 2011 AND 12-18-2019.
8. THE VERTICAL DATUM IS NAVD88 AS DERIVED FROM RTK GPS SURVEY METHODS.
9. THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. AVAILABLE RECORD DATA. R LEVESQUE ASSOCIATES, INC. MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. R LEVESQUE ASSOCIATES, INC. FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HERE ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION.
10. ADJACENT PROPERTY LINES AND ABUTTERS SHOWN HEREON ARE REFERENCED FROM THE CITY OF SPRINGFIELD GIS MAPPING.
11. SUBJECT PARCEL IS ZONED AS SHOWN ON PLAN.
12. THE SUBJECT PARCEL IS NOT LOCATED WITHIN A SPECIAL FLOOD ZONE AREA ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 25013C0041E – EFFECTIVE DATE: 7-16-2013.
13. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM (NHESP) JURISDICTION.

SYMBOL & LINE LEGEND

○	IRON PIPE FOUND
●	IRON PIPE TO BE SET
⊡	CONCRETE BOUND FOUND
■	CONCRETE BOUND TO BE SET
▲	COMPUTED POINT
—	EXISTING SIGN
MB	EXISTING MAILBOX
MW	EXISTING MONITORING WELL
☼	EXISTING LIGHT POLE
	UTILITY POLE
	GUY ANCHOR
E	EXISTING ELECTRIC MANHOLE
T	EXISTING TELEPHONE MANHOLE
TV	EXISTING CABLE TV BOX
W	EXISTING WELL LOCATION
WV	EXISTING WATER VALVE
	EXISTING WATER SHUT-OFF
	EXISTING HYDRANT
GV	EXISTING GAS VALVE
S	EXISTING SANITARY SEWER MANHOLE
	EXISTING CATCH BASIN
D	EXISTING DRAIN MANHOLE
	TREE LINE
× 102.4	EXISTING SPOT GRADE
219	EXISTING CONTOUR
	FENCE LINE
	GUARDRAIL
OHW	EXISTING OVERHEAD WIRES
UGL	EXISTING UNDERGROUND ELECTRIC
TEL	EXISTING TELEPHONE LINE
GAS	EXISTING GAS LINE
WAT	EXISTING WATER LINE
SD	EXISTING STORM DRAIN
SS	EXISTING SANITARY SEWER
C.C.	EXISTING CONCRETE CURB
G.C.	EXISTING GRANITE CURB

PERMITTING

RLA

R LEVESQUE ASSOCIATES INC

Landscape Architects
Civil Engineers - Land Surveyors
Environmental Consultants

ph: 413.568.0925 fax: 413.568.0986

40 School Street
Westfield, MA 01085
rlaland.com

EXISTING CONDITIONS

3111 Main Street
Parcel ID's 08B00394, 08B00397 & 08S00035
Springfield, Mass.

COMMONWEALTH OF MASSACHUSETTS
MARC E. SHUTE
No. 35819
PROFESSIONAL ENGINEER

PREPARED FOR:

Zahoor Ul Haq
551 Main Street
Agawam MA, 01001

ISSUANCE DATE: May 24, 2020

REVISIONS:	DATE:

DRAFTED BY: JWM

UNAUTHORIZED ALTERATION OF THIS DOCUMENT IS A VIOLATION OF MASSACHUSETTS STATE LAW

SCALE: AS NOTED

RLA PROJ. NUMBER: 20010c

DRAWING# EX-1 REV. -

S:\Projects\2020\20010c - Haq - 3111 Main Street, Springfield, MA\Civil 3D\20010c - EXIST.dwg

SYMBOL & LINE LEGEND

- IRON PIPE FOUND
- IRON PIPE TO BE SET
- CONCRETE BOUND FOUND
- CONCRETE BOUND TO BE SET
- COMPUTED POINT
- EXISTING SIGN
- EXISTING MAILBOX
- EXISTING MONITORING WELL
- EXISTING LIGHT POLE
- UTILITY POLE
- GUY ANCHOR
- EXISTING ELECTRIC MANHOLE
- EXISTING TELEPHONE MANHOLE
- EXISTING CABLE TV BOX
- EXISTING WELL LOCATION
- EXISTING WATER VALVE
- EXISTING WATER SHUT-OFF
- EXISTING HYDRANT
- PROPOSED WATER VALVE
- PROPOSED HYDRANT
- EXISTING GAS VALVE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING CATCH BASIN
- EXISTING DRAIN MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- SOIL BORING LOCATION
- TEST PIT LOCATION
- PERC TEST LOCATION
- WT-1 WETLAND FLAG LOCATION
- M.A.H.W. FLAG LOCATION
- EXISTING STONE WALL
- TREE LINE
- × 122.4 EXISTING SPOT GRADE
- 219 EXISTING CONTOUR
- × 94.7 PROPOSED SPOT GRADE
- 274 PROPOSED CONTOUR
- EDGE OF WETLAND
- FENCE LINE
- GUARDRAIL
- OHW EXISTING OVERHEAD WIRES
- UEL EXISTING UNDERGROUND ELECTRIC
- TEL EXISTING TELEPHONE LINE
- G EXISTING GAS LINE
- W EXISTING WATER LINE
- SD EXISTING STORM DRAIN
- SS EXISTING SANITARY SEWER
- LOW LIMIT OF WORK LINE
- SF SILT FENCE LINE

ABBREVIATIONS

A.F.F.	– ABOVE FINISHED FLOOR
A.F.S.	– ABOVE FINISHED SLAB
APPROX.	– APPROXIMATE
A.T.F.	– ABOVE TOP OF FOUNDATION
BLDG.	– BUILDING
BLK.	– BLOCK
BOT.	– BOTTOM
B.O.W.	– BOTTOM OF WALL
BRG.	– BEARING
CB.	– CATCH BASIN
CL	– CENTERLINE
C.I.	– CAST IRON
CLR.	– CLEAR
CONC.	– CONCRETE
CONT.	– CONTINUOUS
CONTR.	– CONTRACTOR
DBL.	– DOUBLE
DET.	– DETAIL
D.I.	– DUCTILE IRON
DIA.	– DIAMETER
DIM.	– DIMENSION
DTL.	– DETAIL
DWG.	– DRAWING
EA.	– EACH
ELEC.	– ELECTRIC
ELEV.	– ELEVATION
EXIST.	– EXISTING
EXT.	– EXTERIOR
FFE	– FINISH FLOOR ELEVATION
FIN.	– FINISH
FLR.	– FLOOR
FOUND.	– FOUNDATION
FT.	– FOOT OR FEET
INSTL.	– INSTALLED
LT.	– LIGHT
MAX.	– MAXIMUM
M.A.H.W.	– MEAN ANNUAL HIGH WATER
MH.	– MANHOLE
MIN.	– MINIMUM
MISC.	– MISCELLANEOUS
N.T.S.	– NOT TO SCALE
O.A.	– OVERALL
O.C.	– ON CENTER
PCB	– PROPOSED CATCH BASIN
PDMH	– PROPOSED DRAIN MANHOLE
PFES	– PROP. FLARED END SECTION
POCS	– PROP. OUTLET CONTROL STRUCT.
PROP.	– PROPOSED
PSMH	– PROP. SANITARY SEWER MANHOLE
PWQU	– PROP. WATER QUALITY UNIT
P.S.I.	– POUNDS PER SQUARE INCH
REINF.	– REINFORCING
R.H.	– RIGHT HAND
SHT.	– SHEET
SPEC.	– SPECIAL OR SPECIFICATIONS
SQ.	– SQUARE
ST.	– STEEL
STA.	– STATION
T.O.F.	– TOP OF FOUNDATION
T.O.W.	– TOP OF WALL
T.S.	– TOP OF STEEL
TYP.	– TYPICAL
W/	– WITH
WTR.	– WATER
W.W.M.	– WELDED WIRE MESH

EROSION & SEDIMENT CONTROL NOTES

MANAGEMENT STRATEGIES

1. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO THE CONSTRUCTION ENTRANCE.
2. CONSTRUCTION SEQUENCE SHALL BE PHASED TO AVOID LEAVING LARGE AREAS EXPOSED FOR LONG PERIODS OF TIME.
3. TEMPORARY SEED AND MULCH SHALL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING.
4. SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED CONTINUOUSLY, ESPECIALLY FOLLOWING STORM EVENTS TO LOCATE FAILING CONTROL MEASURES AND CONDUCT ROUTINE MAINTENANCE OPERATIONS.
5. THE CONSTRUCTION SUPERINTENDENT SHALL INFORM ALL ON-SITE WORKERS OF THE SEDIMENTATION CONTROL PROGRAM.

VEGETATIVE CONTROL PRACTICES

1. TOPSOIL STOCKPILING: TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE DISTURBED AND STOCKPILED FOR LATER USE. STOCKPILE LOCATION SHALL BE APPROVED BY THE OWNER AND ENGINEER AND BE WITHIN LIMIT OF WORK.
2. TEMPORARY SEEDING: THE TEMPORARY SEDIMENT BASIN, TOPSOIL STOCKPILE AND ROUGH GRADED AREAS SHALL BE SEEDED WITH WINTER RYE AT A RATE OF 30 LBS. PER ACRE. ANY SOILS THAT ARE LEFT EXPOSED AND UNDISTURBED FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDED.
A. SITE PREPARATION
   - COMPLETE ALL ROUGH GRADING ACTIVITIES
   - REMOVE ALL ROCKS AND DEBRIS LARGER THAN 3" IN DIAMETER FROM AREAS TO BE TEMPORARILY SEEDED. –EVENLY APPLY LIME TO ACHIEVE A PH VALUE OF 6.0.
   - EVENLY APPLY 14 LBS. OF 5-10-10 ANALYSIS FERTILIZER TO A DEPTH OF 4" USING SUITABLE EQUIPMENT.
   - SEEDBED IS TO BE LEFT IN FIRM AND SMOOTH CONDITION.
   - THE LAST TILLAGE OPERATION SHALL BE PERFORMED ACROSS THE SLOPE.
B. ESTABLISHMENT
   - EVENLY APPLY SEED IN ACCORDANCE WITH THE SPECIES AND RATE INDICATED ABOVE BY MEANS OF BROADCASTING OR HYDROSEEDING.
   - UNLESS HYDROSEEDED, COVER SEED WITH 1/4" TO 1/2" OF TOPSOIL.
   - APPLY MULCH OR EROSION CONTROL BLANKET IMMEDIATELY FOLLOWING SEEDING.
   - VERIFY SEEDING DATES WITH ENGINEER/LANDSCAPE ARCHITECT. IF ENGINEER/LANDSCAPE ARCHITECT DETERMINES THAT SEED CANNOT BE APPLIED DUE TO CLIMATE, TOPSOIL SHALL NOT BE SEEDED AND MULCHING SHALL BE APPLIED TO THE EXPOSED SURFACE TO STABILIZE SOILS UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
   - PERMANENT SEEDING SHALL BE APPLIED BETWEEN APRIL 15 AND SEPTEMBER 30. TEMPORARY SEEDING SHALL BE APPLIED TO ALL DISTURBED AREAS OUTSIDE THIS TIME FRAME, UPON APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT.
C. MAINTENANCE
   - ALL SEEDED/MULCHED AREAS SHALL BE INSPECTED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE REPAIRED AS NECESSARY.

NONSTRUCTURAL CONTROL PRACTICES

1. SCARIFICATION: EXPOSED SLOPES EXCEEDING 4:1 SHALL BE SCARIFIED AT RIGHT ANGLES TO THE SLOPE. PROVIDE PERIODIC UPGRADING OF SERRATIONS DURING EXPOSED PERIOD UNTIL VEGETATION IS ESTABLISHED. PROVIDE VEGETATIVE COVER AS SOON AS POSSIBLE.
2. STRAW MULCH: STRAW MULCH SHALL BE APPLIED IN CONJUNCTION WITH TEMPORARY/PERMANENT SEEDING AND TO GRADED AREAS WHICH REMAIN EXPOSED OUTSIDE OF RECOMMENDED SEEDING DATES. MULCH SHALL BE APPLIED AT 90 LBS. PER 1000 S.F. CONTRACTOR SHALL PERIODICALLY INSPECT AND REAPPLY AS NECESSARY, PARTICULARLY FOLLOWING SIGNIFICANT STORM EVENTS.
3. TOPSOIL: DISTURBED AREAS SHALL BE TOPSOILED PRIOR TO SEED APPLICATION. APPLICATION STANDARDS:
   - REMOVE ALL ROCKS AND DEBRIS OVER 1"-1 1/2" IN DIAMETER.
   - SCARIFY SURFACE PRIOR TO SEED APPLICATION.
   - APPLY 6" DEPTH OF TOPSOIL.
4. SILT FENCE: SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE SITE, AT GULVERT OUTLET LOCATIONS, OR AS INDICATED ON THE DRAWINGS. SILT FENCE SHALL BE INSPECTED AND REPAIRED ROUTINELY, ESPECIALLY FOLLOWING STORM EVENTS UNTIL THE SITE HAS BEEN STABILIZED (COVER > 70%) BY VEGETATION.

STRUCTURAL CONTROL PRACTICES

1. RIP-RAP OUTLET PROTECTION: RIP-RAP SHALL BE PROVIDED AT ALL PIPE OUTLETS. MATERIAL SHALL BE HARD, DURABLE FIELD OR QUARRY STONE WHICH IS ANGULAR AND RESISTS BREAKING DOWN WHEN EXPOSED TO WATER OR WEATHERING.
2. CONSTRUCTION ENTRANCE: CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DRAWINGS.
3. DUST CONTROL: A WATER TRUCK SHOULD BE LOCATED ON-SITE FOR DUST CONTROL WHILE WORK IS PROCEEDING. MAINTENANCE SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL EVENT. THE FOLLOWING ITEMS SHALL BE CHECKED IN PARTICULAR:
   A. RIP-RAP OUTLET PROTECTION SHALL BE CHECKED REGULARLY FOR SEDIMENT ACCUMULATION. IF SIGNIFICANT AMOUNTS OF SEDIMENT ACCUMULATE, RIP-RAP SHALL BE REMOVED AND REPLACED.
   B. SILT FENCING SHALL BE INSPECTED REGULARLY FOR UNDERMINING AND DETERIORATION. REMOVE SEDIMENT FROM BEHIND FENCE WHEN IT BECOMES 6 INCHES DEEP.
   C. SEEDED/MULCHED AREAS SHALL BE INSPECTED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE REPAIRED AS NECESSARY.

SILT FENCE INSTALLATION NOTES

1. THIS SEDIMENT BARRIER UTILIZES MIRAFI ENVIROFENCE (100X) OR EQUAL. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.
2. THE HEIGHT OF THE BARRIER SHALL NOT EXCEED 36 INCHES (HIGHER BARRIERS MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE). IDEALLY THE FILTER FENCE SHALL BE PLACED 10 FEET AWAY FROM THE TOE OF SLOPE.
3. WHEN JOINTS ARE NECESSARY, FILTER FABRICS SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT STAKES WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED. SEE MANUFACTURER'S RECOMMENDATION.
4. STAKES SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). IN APPLICATIONS WHERE HEAVY FLOWS ARE EXPECTED SUCH AS IN-STREAM INSTALLATIONS STAKE SPACING SHALL BE PER MANUFACTURER'S RECOMMENDATIONS AND/OR THE ENGINEERS RECOMMENDATIONS.
5. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 6 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF STAKES AND UPSLOPE FROM THE BARRIER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
6. THE PRE ASSEMBLED SILT FENCE SYSTEM SHALL BE UNROLLED, POSITION THE STAKES ON THE DOWNHILL SIDE OF THE TRENCH AND HAMMER THE STAKES AT LEAST 12 INCHES INTO THE GROUND.
7. THE BOTTOM SIX (6) INCHES OF THE FABRIC SHALL BE LAID INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUNOFF.
8. BACKFILL THE TRENCH OVER THE FILTER FABRIC AND COMPACT SUFFICIENTLY TO PREVENT THE RUNOFF FROM ERODING THE BACKFILL.
9. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES OR SUPPORTS OTHER THAN THE STANDARD STAKES.
10. INSTALLED SILT FENCE BARRIERS SHALL BE MAINTAINED ON A REGULAR SCHEDULE WHICH MAY BE PRESCRIBED BY THE LOCAL, STATE OR FEDERAL REGULATORY AUTHORITY; BUT, AT MINIMUM SHALL BE CHECKED WEEKLY AS WELL AS AFTER EACH STORM EVENT. MAINTENANCE SHALL CONSIST OF AN INSPECTION OF THE ENTIRE LENGTH OF THE BARRIER TO DETERMINE IF IT IS FUNCTIONING AS INTENDED. ALL BREAKS, DETACHED FABRIC, SLUMPED FABRIC, CLOGGED FABRIC, AND UNDERMINED AREAS SHALL BE FIXED THE DAY THAT THEY ARE DISCOVERED.
11. WHEN A MAXIMUM OF SIX (6) INCHES OF SEDIMENT HAS ACCUMULATED BEHIND THE SILT FENCE THIS SEDIMENT SHALL BE REMOVED AND THE FENCE SHALL BE INSPECTED FOR TEARS, CLOGGING OF BREAKS. ALL DEFICIENCIES SHALL BE CORRECTED IMMEDIATELY EITHER BY REPAIR OF REPLACEMENT OF THE SILT FENCE BARRIER AND/OR STAKES AS NEEDED.
12. SILT FENCE BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN CLEANED OF SILT AND PERMANENTLY STABILIZED.

HAY BALE INSTALLATION & MAINTENANCE (AS REQ'D)

1. HAY BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.
2. ALL BALES SHALL BE EITHER WIRE BOUND OR STRING TIES. BALES SHALL BE INSTALLED SO THAT BINDINGS ARE ORIENTED AROUND THE SIDES RATHER THAN ALONG THE TOPS AND BOTTOMS OF THE BALES TO PREVENT DETERIORATION OF THE BINDINGS.
3. THE BARRIER SHALL BE EXTENDED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF FOUR (4) INCHES AND A MAXIMUM DEPTH OF SIX (6) INCHES. AFTER THE BALES ARE STAKED AND CHINKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE BARRIER. BACKFILL SOIL SHALL CONFORM TO THE GROUND LEVEL ON THE DOWNHILL SIDE AND SHALL BE BUILT UP TO FOUR (4) INCHES AGAINST THE UPHILL SIDE OF THE BARRIER.
4. EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO (2) STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALES TOGETHER. STAKES OR REBARS SHALL BE DRIVEN DEEP ENOUGH INTO THE GROUND TO SECURELY ANCHOR THE BALES.
5. THE GAPS BETWEEN BALES SHALL BE CHINKED (FILLED BY WEDGING) WITH STRAW TO PREVENT WATER FROM ESCAPING BETWEEN THE BALES. (LOOSE STRAW SCATTERED OVER THE AREA IMMEDIATELY UPHILL FROM A STRAW BALE BARRIER TENDS TO INCREASE BARRIER EFFICIENCY.)
6. HAY BALES GENERALLY DETERIORATE IN 2-6 MONTHS AND THUS NEED REPLACEMENT.
7. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
8. BALE BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SITE PREP

1. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATION, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
2. CONTRACTOR SHALL ERECT AND MAINTAIN SAFETY BARRICADES AND POST PROPER NOTICES PRIOR TO THE COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING TO REMAIN.
4. CONTRACTOR SHALL MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM FROM DAMAGE DURING DEMOLITION OPERATIONS.
5. DO NOT DAMAGE EXISTING UTILITIES TO REMAIN WITHIN PROJECT AREA. ALL DAMAGE TO EXISTING UTILITIES TO REMAIN SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE UTILITY OWNER.
6. THERE SHALL BE NO BURNING OF DEMOLISHED MATERIAL ALLOWED ON SITE.
7. CONTRACTOR SHALL COORDINATE WITH OWNER FOR ANY ITEMS TO BE TURNED OVER TO OWNER.
8. DEMOLISH AND REMOVE ALL PAVEMENT, SLABS, FOOTINGS, SUBSURFACE ELEMENTS, MISCELLANEOUS DEBRIS, ETC. WITHIN PROPERTY LINES UNLESS NOTED OTHERWISE.
9. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST SO THAT DUST DOES NOT CREATE A NUISANCE ON ADJACENT ROADS OR PROPERTIES. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR STREET SWEEPING AND CATCH BASIN CLEANING AFTER EACH PHASE OF CONSTRUCTION AND AS NEED IS DETERMINED BY THE ENGINEER.
10. CONTRACTOR SHALL REMOVE AND DISPOSE OF ANY ABANDONED SUBSURFACE SOIL ABSORPTION SYSTEM (SAS) AND MISCELLANEOUS DEBRIS.
11. NO ACTIVITY OTHER THAN NORMAL MAINTENANCE SHALL OCCUR OUTSIDE OF LIMIT OF WORK LINES AS SHOWN ON PLAN WITHOUT THE APPROVAL OF THE ENGINEER.
12. THE CONTRACTOR SHALL NOTIFY DIG SAFE @ 1-888-344-7233 PRIOR TO COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITY.

LANDSCAPE NOTES

1. THE CONTRACTOR SHALL VERIFY FINAL SELECTION OF PLANT MATERIALS WITH THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
2. NO PLANT MATERIAL WILL BE ACCEPTED WHICH DISPLAYS MAJOR IRREGULARITIES OR DAMAGE. THE OWNER/LANDSCAPE ARCHITECT RETAINS THE RIGHT TO REJECT ANY PLANT MATERIAL DEEMED UNFIT.
3. WARRANTED: FOR A PERIOD OF TWO GROWING SEASONS FROM THE DATE THAT THE WORK UNDER THIS CONTRACT IS CERTIFIED AS SUBSTANTIALLY COMPLETE, THE CONTRACTOR SHALL: 1) WARRANTEE ALL PLANTS AND SEEDED AREAS UNDER THIS CONTRACT; 2)REMOVE AND REPLACE DURING THIS GUARANTEE PERIOD PLANTS WHICH DIE OR ARE IN POOR CONDITION AS DETERMINED BY THE OWNER; 3) REPLANT WITH STOCK OF SAME SIZE AND QUALITY AS ORIGINALLY SPECIFIED; 4) GUY AND MAINTAIN AS SPECIFIED HEREIN AT NO ADDITIONAL COST TO THE OWNER.
4. ALL NEW LAWN AREAS SHALL RECEIVE A MINIMUM OF 4 INCHES TOPSOIL OF THE PROPER pH AND ORGANIC CONTENT SUITABLE FOR THE HEALTHY GROWTH OF LAWNS. THESE AREAS SHALL BE SEEDED WITH A FINE BLADE LAWN GRASS SEED OR SODDED. ADDITIONAL DRY-SITE TOPSOIL MAY BE REQUIRED.
5. ALL AREAS TO BE MULCHED SHALL RECEIVE 4 INCHES MINIMUM 100% SHREDDED BARK MULCH WITHIN 48 HOURS OF PLANTING UNLESS OTHERWISE NOTED IN PLANTING DETAILS.
6. ALL TREE AND SHRUB PITS SHALL BE AT LEAST 2 FEET WIDER AND 1 FOOT DEEPER THAN THE TREE OR SHRUB ROOT BALL TO BE PLANTED IN IT. BACKFILL SHALL BE HIGH QUALITY LOAM OF THE PROPER pH AND ORGANIC CONTENT SUITABLE FOR THE HEALTHY GROWTH OF PLANT MATERIALS.
7. ALL PLANTS SHALL BE NURSERY GROWN AND CONFORM TO THE LATEST EDITION OF "ANSI Z60.1, AMERICAN STANDARD FOR NURSERY STOCK".
8. EACH PLANT TO BE FREE FROM DISEASE, INSECT INFESTATION, MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR FIELD PLANTING.
9. EACH PLANT TO BE IN THE TOP OF ITS SIZE CLASS AFTER SHEARING AND PRUNING.
10. ADJACENT TO THE TOP OF ANY WALLS OVER 36" A FENCE OR WALL SHALL BE CONSTRUCTED PER PLAN THAT MEETS LOCAL BUILDING CODE AND ALL OTHER APPLICABLE STATE AND FEDERAL LAWS.
11. SEE DETAIL SHEETS FOR ADDITIONAL DETAILS & SPECIFICATIONS.
12. SHOULD GC OR ANY SUBCONTRACTOR ENCOUNTER A DISCREPANCE/CONFLICT IN THE PLAN AN THE ACTUAL LOCATION OF A SITE FEATURE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT/ENGINEER AND OWNER IMMEDIATELY.
13. ALL AREAS DISTURBED DURING CONSTRUCTION NOT DESIGNATED TO RECEIVE OTHER TREATMENT SHALL BE LOAMED TO A MINIMUM DEPTH OF 4" AND SEEDED IN ACCORDANCE WITH THE FOLLOWING:
   A. INCORPORATE GROUND LIMESTONE INTO ALL AREAS TO BE SEEDED AT A RATE OF 50 LBS/1,000 S.F.
   B. APPLY 10-6-4 FERTILIZER TO ALL AREAS TO BE SEEDED AT A RATE OF 2 LBS/1,000 S.F.
   C. THOROUGHLY INCORPORATE LIME AND FERTILIZER INTO SEED BED TO DEPTH OF 3" BY DISCING OR OTHER APPROVED METHOD.
   D. SEED WITH THE FOLLOWING MIXTURE, APPLIED AT A RATE OF 10 LBS/1,000 S.F.
   SEED MIX:

NAME OF SEED	% BY WEIGHT IN MIXTURE	MIN. % PURITY	MIN. GERMINATION
POA PRATENSES "BARON" BARON BLUEGRASS	50	90	75
FESTUCA RUBRA "PENNLAWN" PENNLAWN FESCUE	25	95	85
LOLIUM PERENNE "PENNFINE" PENNFINE	25	98	95

   E. MULCH ALL SEEDED AREAS WITH STRAW AT A RATE OF 3 LBS/1,000 S.F.UNLESS HYDROSEEDING WAS USED.
   F. ALL SLOPES OF 3:1 OR GREATER AFTER BEING LOAMED, SEEDED AND MULCHED IN ACCORDANCE WITH THE ABOVE SHALL SECURED WITH EROSION CONTROL BLANKETS (NO. AMERICAN GREEN S150 OR EQUAL). OVERLAP ALL NETTING JOINTS A MINIMUM OF 6" AND SECURE WITH DOUBLE ROW OF STAPLES.

PERMITTING

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Environmental Consultants
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NOTES, SYMBOL & LINE LEGEND AND ABBREVIATIONS

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Springfield, Mass.
Parcel ID's 08130039A, 08130039T & 085800035

5/28/20

PREPARED FOR:

Zaheer Ul Haq
551 Main Street
Agawam MA, 01001

ISSUANCE DATE: May 28, 2020

REVISIONS:	DATE:

DRAFTED BY: JMM

SCALE: AS NOTED

RLA PROJ. NUMBER: 200106

DRAWING#: C-1 REV.: -

GENERAL CONSTRUCTION NOTES

1. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL CONVENE A PRE-CONSTRUCTION CONFERENCE BETWEEN THE CITY/TOWN REPRESENTATIVES, CONSULTING ENGINEER/LANDSCAPE ARCHITECT, UTILITY COMPANY REPRESENTATIVES, AND ANY OTHER AFFECTED PARTIES.
2. THE OWNER, R LEVESQUE ASSOCIATES, INC., AND PAUL S. SMITH LAND SURVEYING AND/OR THEIR REPRESENTATIVES, IN PREPARING THESE PLANS HAVE ATTEMPTED TO LOCATE ALL EXISTING UTILITIES IN THE PROJECT AREA. HOWEVER, THERE MAY BE UTILITIES THAT WERE NOT OR COULD NOT BE LOCATED. UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE IN APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR SHALL CALL ALL APPROPRIATE UTILITY COMPANIES FOR LOCATIONS OF THEIR UTILITIES AT LEAST 48 HOURS BEFORE COMMENCING EXCAVATION. IN THE EVENT THAT A UTILITY IS SITUATED SUCH THAT CONSTRUCTION CANNOT PROCEED AS SHOWN ON THE PLANS, THE PROJECT ENGINEER/LANDSCAPE ARCHITECT AND OWNER SHALL BE NOTIFIED IMMEDIATELY.
3. THE SITE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH OCCUR DUE TO HIS FAILURE TO LOCATE AND PRESERVE ANY AND ALL UTILITIES.
4. ALL FILL WORK REQUIRED TO BRING THE PROPOSED ROADWAY UP TO SUB-GRADE LEVEL SHALL CONFORM TO MHD SPECIFICATIONS SECTION 150.
5. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
6. ALL WORK IN THE CITY/TOWN RIGHT-OF-WAY AND EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY/TOWN SPECIFICATIONS AND MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
7. THE CONTRACTOR SHALL GIVE THE CITY/TOWN A MINIMUM OF 48 HOURS NOTICE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION.
8. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
9. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE CONDITIONS OF APPROVAL OUTLINED IN ALL STATE AND LOCAL PERMITS. COPIES OF THE CONDITIONS ARE INCLUDED WITHIN THE PROJECTS TECHNICAL SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THIS INFORMATION PRIOR TO CONSTRUCTION AND CONFORMING TO THE CONDITIONS AS REQUIRED DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. THE WORK AREAS ARE TO BE PICKED UP AT THE END OF EACH WORK DAY.
11. ANY TEMPORARY FACILITIES FOR THE STORAGE OR PROTECTION OF TOOLS, EQUIPMENT OR MATERIALS SHALL CONFORM TO LOCAL REGULATIONS AND SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMMUNITY FOR CONSTRUCTION SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY.
12. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO SUBMITTING HIS PROPOSAL. NO EXTRAS DUE TO UNFAMILIARITY WITH THE EXISTING SITE OR WORKING CONDITIONS WILL BE ALLOWED.
13. CONTRACTOR SHALL BE REQUIRED TO PERFORM FINAL CLEANUP CONSISTING OF CLEANING THE PROPOSED DRAINAGE AND SEWER SYSTEMS OF ALL DEBRIS PRIOR TO THE ACCEPTANCE BY THE OWNER. ADDITIONALLY, THE PROPOSED ROADWAY SHALL BE CLEANED AND SWEPT BY THE CONTRACTOR PRIOR TO ACCEPTANCE.
14. ALL EXCAVATION SHALL COMPLY WITH OSHA'S LATEST STANDARDS. ALL REQUIREMENTS OF OSHA'S EXCAVATION STANDARDS SHALL BE PROVIDED BY THE CONTRACTOR INCLUDING, BUT NOT LIMITED TO, THE PROVISION FOR A COMPETENT PERSON ON SITE MANAGER AND ANY REQUIRED DOCUMENTATION THAT MAY REQUIRE CERTIFICATION BY A PROFESSIONAL ENGINEER. THE OWNER, THROUGH ITS ENGINEER, SHALL EXPRESSLY NOT PROVIDE ANY OF THE ABOVE REQUIREMENTS DESIGNATED BY OSHA'S EXCAVATION STANDARD.
15. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE COST OF LAYING OUT ALL ITEMS OF THE WORK BASED ON CERTAIN HORIZONTAL CONTROL AND BENCHMARK SUPPLIED BY THE SURVEYOR OF RECORD. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
16. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, EQUIPMENT, PERMITS AND APPURTENANCES NECESSARY TO PROVIDE A COMPLETE PROJECT AS INDICATED ON THE PLANS AND IN THESE SPECIFICATIONS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH SITE EXAMINATION IN ORDER TO PREPARE SITE FOR CONSTRUCTION.
18. ANY AND ALL DEMOLISHED TREES, STRUCTURES AND OTHER RUBBLE MATERIAL PERTAINING TO THIS PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR OFF-SITE AT HIS EXPENSE IN ACCORDANCE WITH ALL OF THE CITY/TOWN ORDINANCES AND ALL APPLICABLE STATE AND FEDERAL ENVIRONMENTAL REGULATIONS.
19. ALL PAVEMENT DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS AND AS SHOWN ON THE DRAWINGS.
20. ALL STREET EXCAVATIONS SHALL BE COMPLETELY CLOSED AT THE END OF EACH WORKING DAY BY BACKFILLING OR COVERING WITH STEEL PLATES.
21. ALL MATERIALS AND METHODS ARE TO COMPLY WITH THE CITY/TOWN DPW STANDARDS OR MASSACHUSETTS DEPARTMENT OF TRANSPORTATION (MASSDOT) (WHERE APPLICABLE), UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
22. PERMITS WILL BE REQUIRED BY CONTRACTOR WHEN WORKING WITHIN OR OCCUPYING PUBLIC WAY. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED WORK PERMITS AND MAINTAINING A COPY OF ALL PERMITS IN A THREE RING BINDER OR PROJECT BOOK AND ON-SITE AT ALL TIMES.
23. BACKFILL WILL BE PLACED IN SUCCESSIVE LAYERS NOT MORE THAN TWELVE INCHES IN THICKNESS AND SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY DETERMINED BY STANDARD PROCTOR TEST (ASTM 698) FOR ALL APPLICABLE TYPES OF BACKFILL MATERIAL. NO FROZEN MATERIAL SHALL BE USED AS BACKFILL. IF, IN THE OPINION OF THE ENGINEER OR THE DPW, THE EXCAVATED MATERIAL IS UNSUITABLE, THE ENTIRE MATERIAL FOR BACKFILLING SHALL CONSIST OF APPROVED GRAVEL OR APPROVED BORROW, AS DIRECTED. AFTER THOROUGH TAMPING AROUND AND BENEATH THE UTILITY, A SIX-INCH LAYER OF BACKFILL WILL BE THOROUGHLY COMPACTED AS FOLLOWS: IF DRY, SHALL BE MOISTENED AND THEN COMPACTED WITH MECHANICAL TAMPERS OR BY HAND TAMPERS HAVING A TAMPING FACE NOT EXCEEDING 25 SQUARE INCHES IN AREA. THE FINAL TWELVE INCHES OF FILLING WILL IN ALL CASES, CONSIST OF APPROVED GRAVEL THOROUGHLY TAMPED.
24. CONTRACTOR SHALL PROVIDE FIELD COMPACTION VERIFICATION UTILIZING ASTM D5195-02, STANDARD TEST METHOD FOR DENSITY OF SOIL & ROCK IN-PLACE AT DEPTHS BELOW THE SURFACE BY NUCLEAR METHODS.
25. CONTRACTOR SHALL PROVIDE FIELD COMPACTION RESULTS TO ENGINEER WITHIN 24-HOURS PRIOR TO PLACEMENT OF INFRASTRUCTURE OR BITUMINOUS BINDER.
26. ALL FILL TO BRING PROPOSED ROADWAY UP TO THE SUB-GRADE LEVEL SHALL EXTEND PAST THE EDGE OF THE RIGHT-OF-WAY AT A 2:1 SLOPE. THIS IS TO PROVIDE ADEQUATE SUPPORT FOR THE RIGHT-OF-WAY.

LAYOUT NOTES

1. ALL CONSTRUCTION IN CITY/TOWN RIGHT-OF-WAYS AND/OR EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY/TOWN STANDARD SPECIFICATIONS.
2. IN THE EVENT OF DISCREPANCIES BETWEEN LOCAL SPECIFICATIONS AND SITE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
3. SITE CONTRACTOR SHALL PROTECT ALL BENCHMARKS AND PROPERTY MONUMENTATION AND SHALL REPLACE OR REPAIR, AT HIS OWN EXPENSE, BENCHMARKS AND MONUMENTATION DISTURBED DURING CONSTRUCTION.
4. ALL STRIPING, PAVEMENT MARKINGS, AND TRAFFIC SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, UNLESS OTHERWISE NOTED ON THE PLANS.
5. ALL WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO; AASHTO, OSHA, EPA, DEP, MASSDOT, ETC. THE GENERAL CONTRACTOR SHALL APPLY FOR ALL PERMITS AND SHALL PAY ALL PERMIT RELATED FEES. ALL NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO THE START OF WORK.
6. ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS ARE TO BE VERIFIED BY THE CONTRACTOR. IF FIELD CONDITIONS VARY SIGNIFICANTLY ENOUGH TO REQUIRE A CHANGE TO THE CONTRACT DOCUMENTS, THE PROJECT PROPONENT AND ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
7. THE SITE/GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL CONTACT THE OWNER AND ENGINEER SHOULD HE FIND ANY CONFLICT OR INCONSISTENCY BETWEEN THE WORK SHOWN ON THE DRAWINGS AND NORMAL ACCEPTED CONSTRUCTION PRACTICES, OR HE SHALL ASSUME RESPONSIBILITY FOR ALL CORRECTIONS.
8. ANY CORRECTIONS REQUIRED FOR REVISIONS TO THE CONTRACT DRAWINGS INITIATED BY THE GENERAL CONTRACTOR OR SUBCONTRACTORS WITHOUT PRIOR APPROVAL OF THE OWNER AND OR THE ENGINEER SHALL BE ACCOMPLISHED AT THE CONTRACTORS RISK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL & LEGAL DISPOSAL OF ALL MATERIAL NECESSARY TO PREPARE THE SITE FOR THE NEW CONSTRUCTION AS SHOWN ON THE SITE DRAWINGS.
10. REPAIR DAMAGED CITY/TOWN ROADS AND CURBS IN ACCORDANCE WITH MASSDOT AND/OR THE CITY/TOWN REGULATIONS.
11. CONTRACTOR SHALL SAWCUT PAVEMENT EDGE WHERE PAVEMENT TO REMAIN IS ADJACENT TO PAVEMENT TO BE REMOVED.
12. CONTRACTOR SHALL PREPARE SITE AS NECESSARY FOR CONSTRUCTION SHOWN ON THE PLANS.

EARTHWORK NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
3. STORM PIPE SHALL BE AS NOTED ON PLANS.
4. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
5. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
6. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
8. ALL STORM PIPE ENTERING STRUCTURES SHALL BE SEALED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
9. ALL STORM SEWER MANHOLES FRAMES AND GRATES ARE TO BE SET EQUAL TO FINISH GRADES, AND SHALL HAVE TRAFFIC BEARING RING & COVERS (H20).
10. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
11. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
12. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH THE SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
13. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
14. IF CONTRACTOR RELOCATES OR SETS NEW BENCHMARKS, THE VERTICAL ELEVATIONS OF THE BENCHMARKS SHALL BE SET WITHIN A TOLERANCE OF 0.010 FT.
15. CONTRACTOR SHALL LEAVE GRADE BEHIND CURB IN ALL PLANTER AREAS A MINIMUM OF 4" LOW FOR THE PLACEMENT OF SUITABLE TOPSOIL OR PLANTING MIX.

SITE UTILITY NOTES

GENERAL:

1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. TOPS OF EXISTING MANHOLES SHALL BE SET EQUAL TO FINISH GRADE, IN GRASSED LANDSCAPED AREAS WITH WATER TIGHT LIDS.
3. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
4. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
5. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
6. SITE/GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES AT THE CITY WITH REGARD TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
8. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
9. CONTRACTOR SHALL COORDINATE INSPECTION OF UTILITY LINES WITH APPROPRIATE AUTHORITIES PRIOR TO BACKFILLING TRENCHES.
10. CONTRACTOR SHALL COMPLY WITH THE LATEST OSHA STANDARDS OR DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND MAINTENANCE OF ALL SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION.
11. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES WITH LOCAL COMPANIES TO AVOID CONFLICTS AND TO ASSURE THAT PROPER CLEARANCES ARE ACHIEVED. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANIES FOR EXACT LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
12. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY, DUE TO THE LACK OF AVAILABLE DOCUMENTATION. ALL UTILITIES, INCLUDING CURB BOXES, MAY NOT BE SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL CALL THE "DIG SAFE CENTER" TO HAVE ALL UTILITIES MARKED ON THE GROUND PRIOR TO THE START OF CONSTRUCTION
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH OCCUR DUE TO HIS FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
14. DO NOT INTERRUPT EXISTING UTILITIES WITHOUT AUTHORIZATION FROM THE OWNER, OWNERS OF ADJACENT PROPERTIES, AND THE CORRESPONDING UTILITY OWNER. CONTRACTOR SHALL ARRANGE TO SHUT OFF UTILITIES, AS REQUIRED, WITH THE UTILITY OWNERS.
15. COORDINATE UTILITY TERMINATION WITH UTILITY OWNERS.

SEWER:

1. SANITARY SEWER MAINS AND LATERALS SHALL BE PVC PIPE CONFORMING TO ASTM D 3034-SDR35. THE MINIMUM SIZE FOR SEWER MAINS SHALL BE 8"; SEWER LATERALS SHALL BE 4" MIN.
2. ALL SANITARY SEWERS, SEWER FORCE MAINS, AND SEWER LATERALS SHALL BE INSTALLED IN FIRST-CLASS BEDDING AND IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS. SEWERS SHALL BE INSTALLED TO THE LINE AND GRADE INDICATED ON THE PLANS.
3. ONLY PRECAST CONCRETE MANHOLES OF A DESIGN APPROVED BY THE TOWN ENGINEER SHALL BE INSTALLED ON A SANITARY SEWER MAIN.
4. NO GROUNDWATER OR SURFACE WATER SHALL BE DISCHARGED INTO THE SANITARY SEWER.
5. WHERE ROCK IS ENCOUNTERED, IT SHALL BE REMOVED TO A DEPTH OF ONE FOOT BELOW THE FLOWLINE OF THE SEWER AND THE PIPE LAID IN A PROPERLY COMPACTED GRANULAR MATERIAL APPROVED BY THE TOWN ENGINEER.
6. ONLY GRANULAR MATERIAL APPROVED BY THE TOWN ENGINEER SHALL BE USED AS BACKFILL IN ANY TRENCH EXCAVATION.

WATER:

1. CONTRACTOR SHALL CONTACT THE CITY/TOWN WATER DEPARTMENT FOR SPECIFICATIONS AND MAKE OF VALVES, VALVE BOXES, FIRE HYDRANTS AND ALL OTHER WATER LINE APPURTENANCES.
2. WATER LINE TESTING AND STERILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL DPW SPECIFICATIONS AND WATER DISTRIBUTION SYSTEM. CONTRACTOR SHALL COORDINATE TESTING WITH THE CITY WATER DEPARTMENT.
3. ALL WATER MAIN SHALL BE DUCTILE IRON (D.I.), CLASS 52, AWWA C-151 (ANSI A21.40). D.I. PIPE SHALL BE DOUBLE CEMENT LINED WITH A SEAL COAT CONFORMING TO AWWA C-104 (ANSI A-21.4).
4. JOINTS FOR D.I. PIPE SHALL BE PUSH-ON OR OTHERWISE APPROVED, AWWA C151(ANSI A-21.51) WITH GASKETS CONFORMING TO AWWA C-111 (ANSI A-21.11) MAXIMUM LENGTH OF PIPE TO BE 20 L.F.
5. ALL FITTINGS SHALL BE DUCTILE IRON CLASS 53 WITH PRESSURE RATING OF 350 PSI AND MECHANICAL JOINTS CONFORMING TO AWWA C-151 (ANSI A21.51).
6. RETAINER GLANDS: RETAINER GLANDS SHALL BE DESIGNED TO IMPART MULTIPLE WEDGING ACTION AGAINST THE PIPE, INCREASE ITS RESISTANCE AS THE PRESSURE INCREASES. GLANDS SHALL BE MANUFACTURED OF DUCTILE IRON CONFORMING TO ASTM A536-80. RESTRAINING DEVICES SHALL BE DUCTILE IRON HEAT-TREATED TO A MINIMUM HARNESS OF 370 BHN. TWIST-OFF NUTS SHALL BE USED TO INSURE PROPER ACTUATION OF THE RETAINER GLAND. DIMENSIONS OF THE GLAND SHALL BE SUCH THAT IT CAN BE USED WITH THE STANDARD MECHANICAL JOINT BELL AND TEE-HEADED BOLTS CONFORMING TO ANSI/AWWA A21.11 AND ANSI/AWWA 153/A21.5. THE RETAINER GLAND SHALL HAVE A WORKING PRESSURE OF 250 PSI WITH A MINIMUM SAFETY FACTOR OF 2:1 AND SHALL BE CERTIFIED BY THE MANUFACTURER TO BE COMPATIBLE WITH THE PIPE CLASS AND PIPE MANUFACTURER FOR ALL SIZES PROVIDED ON THE JOB. THE RETAINER GLAND SHALL BE MEGA-LUG AS MANUFACTURED EBAA IRON, INC., OR APPROVED EQUAL.
7. ALL WATER MAINS, UNLESS OTHERWISE NOTED, SHALL BE INSTALLED WITH A MINIMUM FIVE FEET OF COVER. WHEN CROSSING ABOVE OR BELOW WATER PIPELINES, A MINIMUM VERTICAL SEPARATION OF SIX INCHES SHALL BE PROVIDED. WHEN CROSSING SANITARY SEWERS, A MINIMUM OF 18" SHALL BE PROVIDED.

SITE UTILITY NOTES (CONTINUED)

8. THE INSTALLED WATER MAIN SHALL BE PRESSURE TESTED, FLUSHED AND DISINFECTED BY CONTRACTOR IN ACCORDANCE WITH AWWA C-600 AND AWWA C-651 OR PER CITY/TOWN WATER DEPARTMENT STANDARDS.
9. DUCTILE IRON PIPES SHALL BE INSTALLED IN ACCORDANCE WITH AWWA C-600.
10. ALL MECHANICAL JOINTS ARE TO BE RESTRAINED. FITTINGS SHALL BE RESTRAINED BY MECHANICAL JOINT RESTRAINTS. THE PIPE CONNECTED TO THE FITTING SHALL BE RESTRAINED PER THE MANUFACTURER'S SCHEDULE.
11. THE CONTRACTOR SHALL MARK THE LOCATION OF THE PROPOSED WATER MAIN AT LEAST 48 HOURS PRIOR TO EXCAVATING. EXCAVATION SHALL NOT PROCEED WITHOUT AUTHORIZATION BY THE ENGINEER.
12. ALL WATER MAINS, HYDRANT BRANCHES, AND SERVICES SHALL HAVE UTILITY WARNING TAPE. THE TAPE SHALL BE BURIED APPROXIMATELY 2 FEET BELOW FINISHED GRADE.
13. BACKFILL SHALL BE COMPACTED TO 95 PERCENT OF THE STANDARD PROCTOR DENSITY AS DETERMINED BY ASTM D698. COMPACTION EQUIPMENT USED MUST BE SPECIFICALLY DESIGNED FOR COMPACTION. TAMPING WITH THE BACK OF THE BACK HOE BUCKET IS UNACCEPTABLE COMPACTION.
14. ALL WATER SERVICES SHALL BE 1" DIA. COPPER TUBING TYPE K, SOFT TEMPER CONFORMING TO ASTM B88 UNLESS OTHERWISE NOTED.
15. DEPRESS WATER MAIN UNDER EXISTING SERVICES AND HYDRANT BRANCHES TO MAINTAIN 5'-0" OF COVER.
16. ALL WATER MAINS SHALL BE LAID PER THE PLANS TO MAINTAIN THE MAXIMUM SEPARATION FROM EXISTING OR PROPOSED SANITARY SEWER. DISTANCE SHALL BE MEASURED EDGE TO EDGE.
17. IDENTIFY EACH PIPE LENGTH & FITTING CLEARLY WITH MANUFACTURE'S NAME & TRADEMARK, NOMINAL PIPE SIZE & MATERIAL DESIGNATION.
18. ALL WATER MAINS & SERVICE PIPES SHALL BE LAID IN A TRENCH SEPARATE FROM ANY OTHER UTILITY (GAS, ELECTRIC, TELEPHONE, ETC.) SHALL BE A MINIMUM NO LESS THAN FIVE (5) FEET FROM ANOTHER UTILITY.
19. ALL MATERIAL SHALL BE IN ACCORDANCE WITH CITY/TOWN WATER DEPARTMENT "RULES & REGULATIONS". ALL WORK TO BE PERFORMED IN ACCORDANCE WITH CITY/TOWN WATER DEPARTMENT "SPECIFICATIONS". CITY/TOWN WATER DEPARTMENT STANDARDS SHALL TAKE PRECEDENCE OVER ANY REQUIREMENTS LISTED ABOVE.

PERMITTING

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CONSTRUCTION NOTES

3111 Main Street
Parcel ID's 081300394, 081300397 & 085800035
Springfield, Mass.

5/28/20

PREPARED FOR:

Zahoor Ul Haq
551 Main Street
Agawam MA, 01001

ISSUANCE DATE: March 2020

REVISIONS:	DATE:

DRAFTED BY: J.W.H.

SCALE: AS NOTED

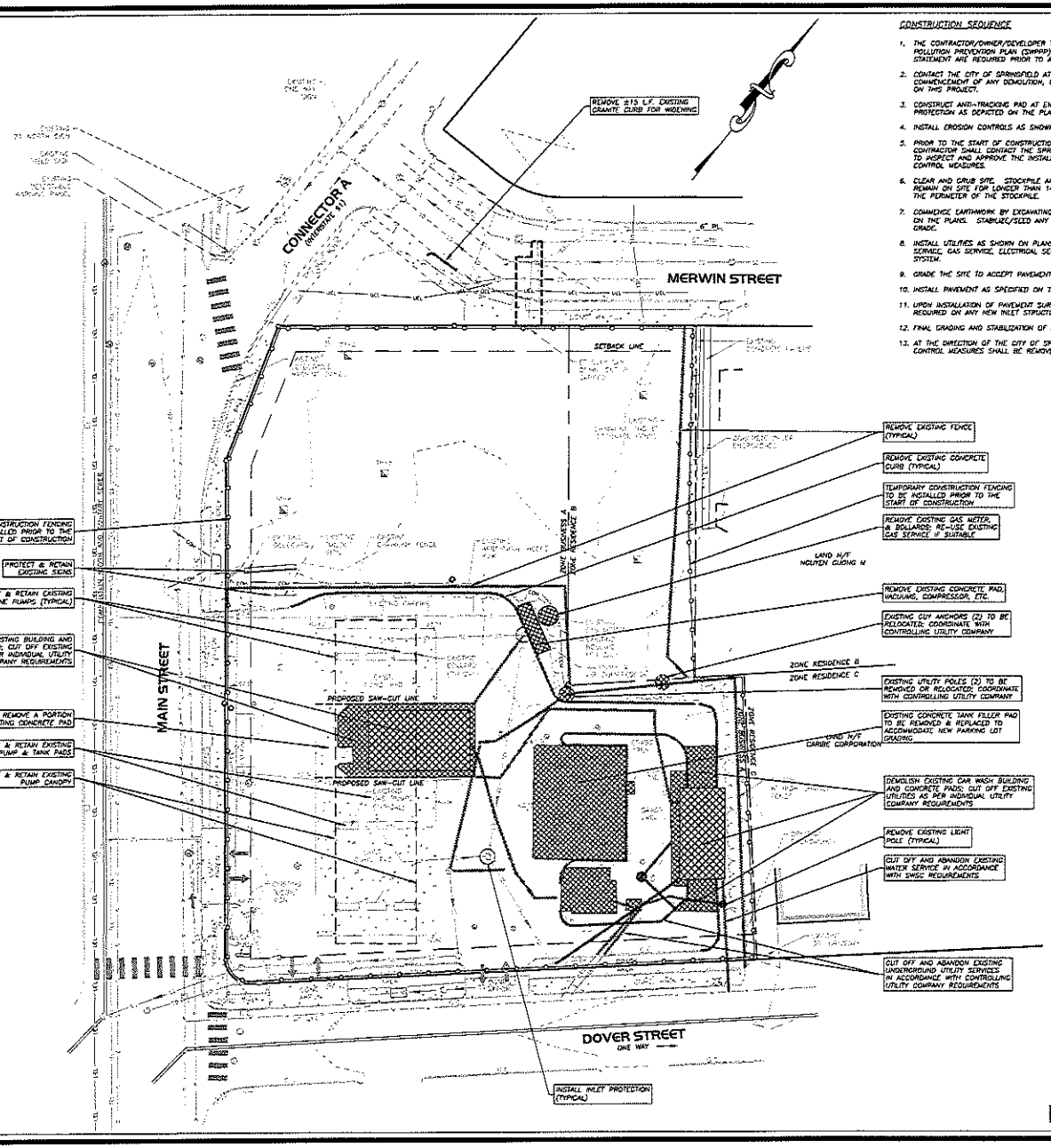
RLA PROJ. NUMBER: 20010a

DRAWING#: C-2

REV.: -

DEMOLITION NOTES

1. THE INFORMATION SHOWN HEREON IS NOT INTENDED TO BE AN EXHAUSTIVE SURVEY OF ALL APPURTENANCES THAT MAY OR MAY NOT BE IN PLACE TO SERVE THE EXISTING ON-SITE STRUCTURES AND USE. SEPTIC SYSTEM COMPONENTS, UNDERGROUND TANKS, AND OTHER SUB-SURFACE STRUCTURES MAY BE IN PLACE AND MAY REQUIRE ATTENTION BEFORE CONSTRUCTION MAY PROCEED.
2. CONTRACTOR SHALL CONDUCT A PRE-DEMOLITION SURVEY TO IDENTIFY ANY AND ALL UTILITIES AND UTILITY COMPONENTS TO BE DISCONTINUED, REMOVED, OR DEMOLISHED IN PLACE AND THE PRESENCE OR ABSENCE OF ANY HAZARDOUS MATERIALS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION, REMOVAL OR RELOCATION, INCLUDING BUT NOT LIMITED TO: ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES' SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN BASE BID.
4. CONTRACTOR SHALL ERECT AND MAINTAIN SAFETY BARRICADES AND POST PROPER NOTICES PRIOR TO THE COMMENCEMENT OF WORK.
5. CONTRACTOR SHALL PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES AND LANDSCAPING TO REMAIN.
6. CONTRACTOR SHALL MAINTAIN EXISTING UTILITIES TO REMAIN IN SERVICE AND PROTECT THEM FROM DAMAGE DURING DEMOLITION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES TO REMAIN SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE UTILITY OWNER.
7. ALL UTILITY DISCONNECTION SHALL BE PERFORMED TO THE SATISFACTION OF THE RELEVANT UTILITY COMPANY AND COMPLY WITH ANY LOCAL, STATE AND/OR FEDERAL REGULATORY AGENCIES.
8. CONTRACTOR SHALL PROMPTLY TRANSPORT AND LEGALLY DISPOSE OF DEMOLISHED MATERIALS OFF OWNERS PROPERTY. DO NOT ALLOW DEMOLISHED MATERIAL TO COLLECT ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DISPOSAL.
9. THERE SHALL BE NO BURNING OF DEMOLISHED MATERIAL ALLOWED ON SITE.
10. CONTRACTOR SHALL COORDINATE WITH OWNER FOR ANY ITEMS TO BE TURNED OVER TO OWNER.
11. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST SO THAT DUST DOES NOT CREATE A NUISANCE ON ADJACENT ROADS OR PROPERTIES. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR STREET SWEEPING AND CATCH BASIN CLEANING AFTER EACH PHASE OF CONSTRUCTION AND AS NEED IS DETERMINED BY THE LANDSCAPE ARCHITECT/ENGINEER.
12. NO ACTIVITY SHALL OCCUR OUTSIDE OF LIMIT OF WORK LINE AS SHOWN ON PLAN WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT/ENGINEER AND LANDOWNER.
13. THE CONTRACTOR SHALL NOTIFY DIG SAFE @ 1-888-344-7233 A MINIMUM OF 72 HOURS (M-F) PRIOR TO COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITY.
14. THE LANDSCAPE ARCHITECT/ENGINEER IS NOT RESPONSIBLE FOR ANY ITEMS THAT MAY BE DISCOVERED ON-SITE DURING DEMOLITION OR CONSTRUCTION THAT WAS NOT PREVIOUSLY INDICATED ON THE SURVEYS OR INFORMATION PROVIDED.
15. PAVEMENT SHALL BE SAWCUT AT THE LIMIT OF WORK. ALL PAVING, FOOTINGS, UTILITIES, CURBING AND OTHER EXISTING IMPROVEMENTS SHALL BE REMOVED OR SUITABLY MILLED TO THE SATISFACTION OF THE OWNER AND GENERAL CONTRACTOR.



CONSTRUCTION SEQUENCE

1. THE CONTRACTOR/OWNER/DEVELOPER TO BE AWARE THAT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND AN ELECT DISCHARGE COMPLIANCE STATEMENT ARE REQUIRED PRIOR TO ANY LAND DISTURBANCE.
2. CONTACT THE CITY OF SPRINGFIELD AT LEAST FORTY-EIGHT HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION, OR EARTHWORK ACTIVITY ON THIS PROJECT.
3. CONSTRUCT ANTI-TRACKING PAD AT ENTRANCE AND INSTALL ANY REQUIRED INLET PROTECTION AS DEPICTED ON THE PLAN.
4. INSTALL EROSION CONTROLS AS SHOWN ON THE PLANS.
5. PRIOR TO THE START OF CONSTRUCTION AND/OR CLEARING OF THE SITE, THE CONTRACTOR SHALL CONTACT THE SPRINGFIELD DPW ENGINEERING DEPARTMENT TO INSPECT AND APPROVE THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROL MEASURES.
6. CLEAR AND GRUB SITE. STOCKPILE ANY CHIPPING OR TOPSOIL MATERIAL TO REMAIN ON SITE FOR LONGER THAN 14 DAYS AND INSTALL SILT FENCE AROUND THE PERIMETER OF THE STOCKPILE.
7. COMMENCE EARTHWORK BY EXCAVATING FOR THE CUT/FILL SLOPES AS SHOWN ON THE PLANS. STABILIZE/SEED ANY SLOPES THAT HAVE ACHIEVED FINAL GRADE.
8. INSTALL UTILITIES AS SHOWN ON PLANS INCLUDING WATER SERVICE, SEWER SERVICE, GAS SERVICE, ELECTRICAL SERVICE AND STORMWATER MANAGEMENT SYSTEM.
9. GRADE THE SITE TO ACCEPT PAVEMENT SECTION MATERIALS.
10. INSTALL PAVEMENT AS SPECIFIED ON THE PLANS.
11. UPON INSTALLATION OF PAVEMENT SURFACE, INSTALL INLET PROTECTION AS REQUIRED ON ANY NEW INLET STRUCTURES.
12. FINAL GRADING AND STABILIZATION OF ANY REMAINING EXPOSED AREAS.
13. AT THE DIRECTION OF THE CITY OF SPRINGFIELD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.

PERMITTING

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DEMOLITION & REMOVALS PLAN

3111 Main Street
Parcel ID's 081300394, 081300397 & 085800035
Springfield, Mass.

5/28/20

PREPARED FOR:

Zahoor Ul Haq
551 Main Street
Agawam MA, 01001

ISSUANCE DATE: May 28, 2020

REVISIONS:	DATE:

DRAFTED BY: J.W.M.

SCALE: AS NOTED

RLA PROJ. NUMBER: 290106

DRAWING#	REV.
C-3	-

LAYOUT NOTES

1. SITE CONTRACTOR SHALL REFER TO REMAINING PLAN SET FOR INFORMATION REGARDING SITE LAYOUT.
2. IT SHALL BE THE SITE CONTRACTORS RESPONSIBILITY TO CROSS REFERENCE INFORMATION CONTAINED IN OTHER SHEETS WITH SITE INFORMATION SHOWN HEREON.
3. PRIOR TO SUBMITTING THEIR BID FOR CONSTRUCTION, THE SITE CONTRACTOR SHALL COMMUNICATE ANY DISCREPANCIES BETWEEN THE PROPOSED DESIGN AND THE SAID SPECIFICATIONS WITH THE PROJECT PROPONENT AND LANDSCAPE ARCHITECT/ENGINEER. SHOULD THE SITE CONTRACTOR FAIL TO COMMUNICATE ANY DISCREPANCIES, HE/SHE SHALL BE RESPONSIBLE FOR ANY COSTS RESULTING FROM SAID DISCREPANCY.

SIGNAGE AND PAVEMENT MARKING NOTES

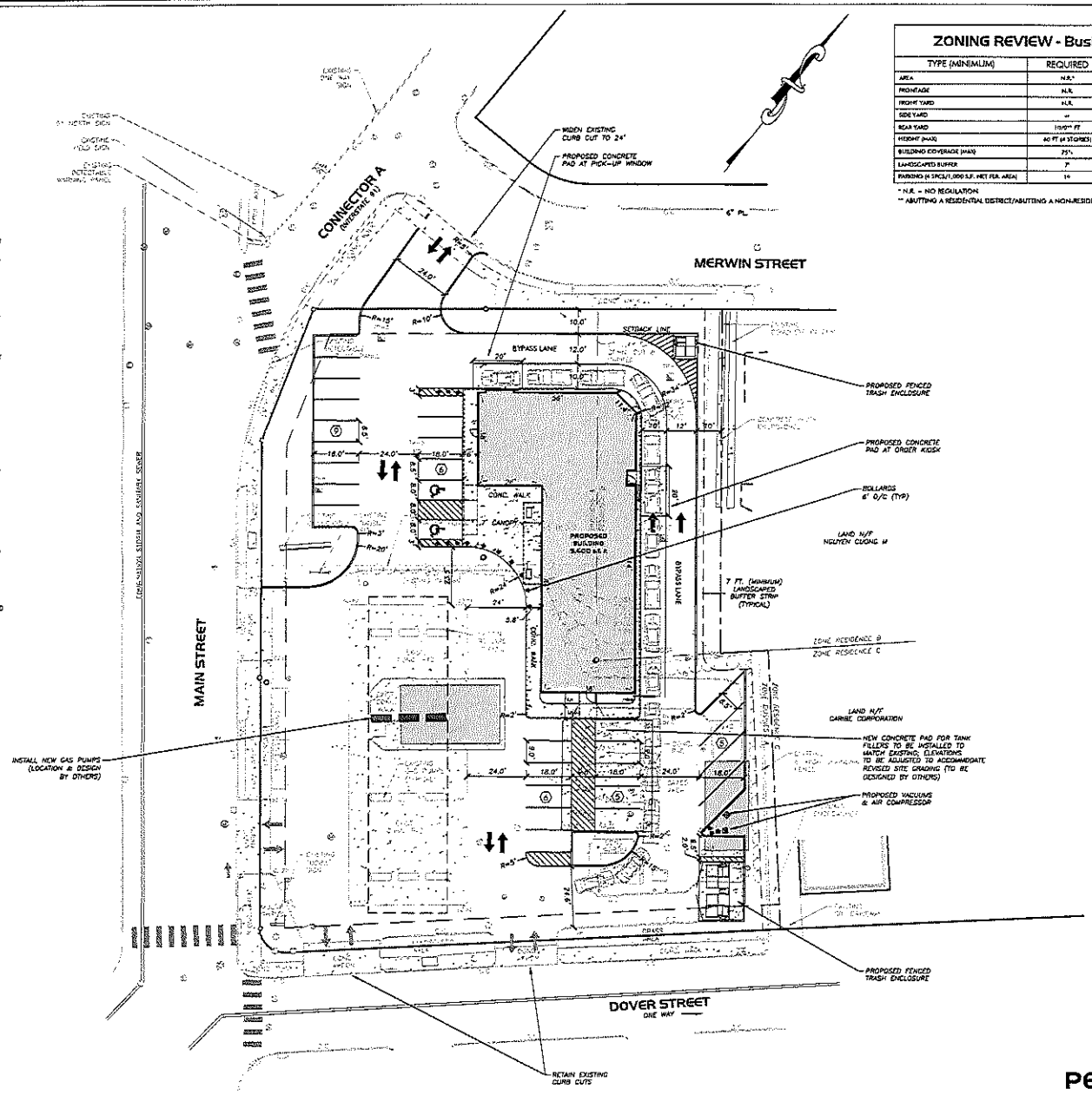
1. STRIPE ALL PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, CROSSWALKS, AND ACCESSIBLE ROUTE MARKINGS AND SYMBOLS USING WHITE TRAFFIC PAINT. PAINTED ISLANDS, FIRE LANES, AND TRAVEL WAY CENTERLINES SHALL BE PAINTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL CONFORM TO AASHTO M248 TYPE "N".
2. STOP BARS SHALL BE 12" WIDE (WHITE).
3. ALL PARKING STALL LINES SHALL BE 4" WIDE (WHITE).
4. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", MASSDOT, STATE BUILDING CODE AND ADA REQUIREMENTS, AND AS SHOWN ON THE PLANS & DETAILS.

CONSTRUCTION NOTES

1. CONTACT DEPARTMENT OF PUBLIC WORKS (DPW) FOR REVIEW AND APPROVAL OF ANY MODIFICATIONS OF THE APPROVED SITE PLANS PRIOR TO WORK BEING PERFORMED.
2. CONTACT SPRINGFIELD WATER & SEWER COMMISSION (SWSC) FOR REVIEW AND APPROVAL OF ANY MODIFICATIONS OF THE APPROVED PLAN PRIOR TO THE WORK BEING PERFORMED.
3. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF SPRINGFIELD/SWSC REQUIREMENTS.
4. THE CONTRACTOR MUST OBTAIN DPW STREET OPENING & TRENCH PERMITS BEFORE CONSTRUCTION.
5. ALL WATER, SEWER, DRAIN AND PAVEMENT MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF SPRINGFIELD/SWSC REQUIREMENTS.
6. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE SWSC BEFORE BEING BACKFILLED.
7. THE CITY OF SPRINGFIELD/SWSC SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.

ACCESSIBILITY NOTES

1. ALL ACCESSIBLE ROUTES, TRANSITIONS, AND ACCESSIBLE PARKING/LOADING AREAS, INCLUDING ALL ENTRANCES TO BUILDING, SHALL ADHERE TO 521 CMR.
2. SHOULD THE ARCHITECT PROVIDE ADDITIONAL ENTRANCES OR MEANS OF EGRESS, ADDITIONAL ACCESSIBLE ROUTES MAY BE REQUIRED.
3. IT IS THE RESPONSIBILITY OF THE ARCHITECT AND CONTRACTOR TO NOTIFY THE ENGINEER AND LANDSCAPE ARCHITECT OF ANY CHANGES TO THE PROPOSED BUILDING THAT WOULD AFFECT THE ACCESSIBILITY REQUIREMENTS OF THE PROPOSED SITE.
4. THE CONTRACTOR SHALL REVIEW IN DETAIL THE REQUIREMENTS OF 521 CMR AND SHALL BE RESPONSIBLE FOR CONFORMANCE WITH SAID REGULATIONS.



ZONING REVIEW - Business A (BA)		
TYPE (MINIMUM)	REQUIRED	PROPOSED
AREA	N.R.*	49,215 s.f.
FRONTAGE	N.R.	434.05' (TOTAL)
FRONT YARD	N.R.	23.9'
SIDE YARD	**	**
REAR YARD	10'/0'** FT	24.1'
HEIGHT (MAX)	60 FT (4 STORIES)	<40 FT (1 STORY)
BUILDING COVERAGE (MAX)	75%	13.4%
LANDSCAPED BUFFER	7'	7'
PARKING (4 SPCS/1,000 S.F. NET FLR. AREA)	19	31

* N.R. = NO REGULATION
** ABUTTING A RESIDENTIAL DISTRICT/ABUTTING A NON-RESIDENTIAL DISTRICT

PERMITTING

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LAYOUT & MATERIALS PLAN

3111 Main Street
Parcel ID's 08130039A, 08130039B & 085B0035
Springfield, Mass.

5/28/20

PREPARED FOR:

Zahoor Ul Haq
551 Main Street
Agawam MA, 01001

ISSUANCE DATE: May 28, 2020

REVISIONS:	DATE:

DRAFTED BY: JMM

UNAUTHORIZED ALTERATION OF THIS DOCUMENT IS A VIOLATION OF MASSACHUSETTS STATE LAW

SCALE: AS NOTED

RLA PROJ. NUMBER: 20016

DRAWING: C-4

REV.: -

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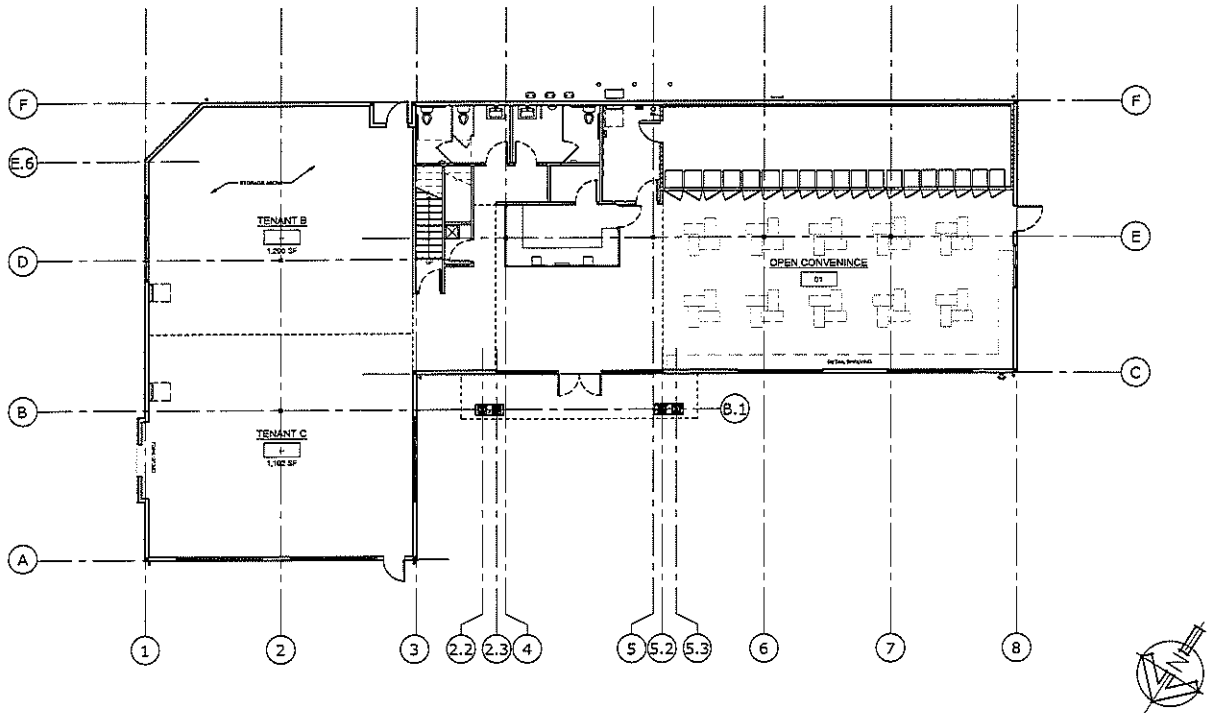

FIRST FLOOR PLAN 1

1/8" = 1'-0"

FLOOR PLAN LEGEND

GENERAL NOTES:

1 REFER TO SHEET G000 FOR GENERAL NOTES
2 REFER TO SHEET A111 FOR CEILING PLAN
3 REFER TO SHEET A121 FOR ROOF PLAN
4 REFER TO SHEET A201 FOR EXTERIOR ELEVATIONS
5 REFER TO A300 SERIES FOR WALL SECTIONS
6 REFER TO A500 SERIES FOR ENLARGED DETAILS
7 REFER TO SHEET A601 & A602 FOR DOOR & WINDOW SCHEDULES
8 REFER TO SHEET A603 FOR PARTITION TYPES

GENERAL NOTES

FLOOR PLAN KEY NOTES:

1	G.C. PROVIDE CONCRETE PAD AT WALK-IN COOLER
2	2" GAP AT WALK-IN COOLERS, TYP
3	ALUMINUM DOWNSPOUT, SEE CIVIL FOR DRAINAGE
4	GAS METERS, SEE PLUMBING DRAWING
5	WATER METER LOCATION- G.C. TO COORDINATE
6	CUSTOM MILLWORK AT CASHIER COUNTER, SEE INTERIOR ELEVATIONS FOR ADDITIONAL DETAI
7	NOT USE
8	ELECTRICAL PANEL
9	FURNITURE (DASHED) BY OWNER
10	RETAIL SHELVING BY OWNE
11	RETAIL EQUIPMENT SHOWN FOR REFERENCE, SEE EQUIPMENT PLAN BY OTHERS
12	MISC. MTL LADDER TO ATTIC ACCESS, PROVIDE BLOCKING IN WALL AS REQ'D FOR ATTACHMENT
13	PROVIDE ALUMINUM FLASHING, BACKER ROD & SEALANT, FROM BUILDING WALL AIR/WATER BARRIER OVER WALK-IN COOLERS TO PROVIDE WATER & AIR TIGHT SEAL AT BUILDING, ALL SIDES
14	NOT USED
15	G.C. PROVIDE SOLID BLOCKING IN WALL AS REQ'D FOR EQUIPMENT MOUNTING, SEE EQUIPMENT PLAN
16	G.C. PROVIDE 7/16" PLYWOOD AT ALL UTILITY ROOM WALLS UP TO 8'
17	NOT USED

FLOOR PLAN KEY NOTES

GENERAL NOTES:

1 DIMENSIONS ARE FROM FACE OF FINISH UNLESS OTHERWISE NOTED
2 REFER TO FINISH FLOOR PLAN AND ROOM FINISH SCHEDULE FOR ALL FINISHES
3 MINIMUM DRYWALL THICKNESS IS 5/8"
4 PROVIDE 5/8" TILE BACKING PANELS AT ALL WALLS TO RECEIVE TILE FINISH. OPPOSING FACE OF WET WALL SHALL HAVE DURA-ROCK A MIN OF 8" A.F.F.
5 ALL INTERIOR WALL STUDS SHALL BE A MIN. OF 20 GAUGE. STUD DEPTH SHALL BE DETERMINED BY BEARING REQUIREMENTS AND STUD LENGTH. DOUBLE 18 GAUGE STUDS SHALL BE INSTALLED ON EACH SIDE OF ALL DOOR OPENINGS AND AREAS THAT WILL SUPPORT SIGNS, CABINETS, SHELVES, ETC
6 ALL FLOOR PENETRATIONS SHALL HAVE A WATER PROOFING INSTALLED 3'-0" DIAMETER FROM THE CENTER OF THE PENETRATION OR 2'-0" FROM THE FOOTAGE OF WATER PROOFING AROUND THE PENETRATION.
7 WALL DIMENSIONS FOR WALK-IN COOLERS ARE FROM EXTERIOR OF WALLS, UON.
8 ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL RELATIVE TO THE CEILING PLANE, AND SHALL NOT FOLLOW VARIATIONS IN THE FLOOR PLANE.
9 PARTITION TYPES ABOVE DOORS ARE TO BE SAME AS THE ADJACENT PARTITIONS, UON., SEE A601 FOR PARTITION TYPES
10 ANY DIMENSION NOTED "VERIFY" OR "VIF" MUST BE CONFIRMED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION OF PARTITIONS.
11 PROVIDE BLOCKING AS REQUIRED IN PARTITIONS AND CEILINGS AT WALL AND CEILING MOUNTED SHELVING, MILLWORK, LIGHTING, ETC. IN DAMP AND WET AREAS BLOCKING SHALL BE MOISTURE RESISTANT. IN FIRE RATED ASSEMBLIES AND WITHIN 4'-0" HORIZONTALLY OF ALL COOKING EQUIPMENT BLOCKING SHALL BE NON-COMBUSTIBLE. COORDINATE LOCATIONS OF BLOCKING WITH ALL PLANS, ELEVATIONS, AND DETAILS. VERIFY SHOP STANDARDS WITH SUBCONTRACTORS AND SUPPLIERS AND REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
12 LOCATIONS OF SLAB PENETRATIONS ARE TO BE CLEARLY IDENTIFIED AND REVIEWED FOR APPROVAL BY ARCHITECT PRIOR TO DRILLING
13 PROVIDE ADDITIONAL STUDS AS REQUIRED WITHIN PARTITIONS TO ACHIEVE OUTLET GROUPINGS AS SPECIFIED IN ELECTRICAL DRAWINGS
14. G.C. TO IDENTIFY AREAS TO REQUIRE ACCESS PANELS AND COORDINATE EXACT LOCATIONS, SIZES, AND QUANTITIES WITH ARCHITECT
15 G.C. IS RESPONSIBLE FOR MAINTAINING DIMENSIONS AS INDICATED ON THE DRAWINGS. ALL DIMENSIONS INDICATED AS "HOLD" SHALL NOT VARY MORE THAN 1/16". WHERE THIS TOLERANCE IS NOT OBTAINABLE THE ARCHITECT SHALL BE NOTIFIED PRIOR TO COMMENCEMENT OF THE WORK
16 DIMENSIONS INDICATED AS "CLEAR" OR "CLR" SHALL BE MAINTAINED. ANY DISCREPANCIES OR VARIATIONS IN THESE DIMENSIONS SHALL BE REVIEWED WITH THE ARCHITECT BEFORE BEGINNING CONSTRUCTION
17 THE DIMENSIONS AND WORK NOTED ON THESE DRAWINGS ARE INDICATED FOR DESIGN INTENT. IF THE INSTALLATION OF ELECTRICAL, MECHANICAL, PLUMBING, OR FIRE PROTECTION WORK INTERFERES WITH THIS INTENT, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION
18 THE G.C. IS RESPONSIBLE FOR BRACING TO DECK OF PARTITIONS AT DOORS AND WINDOWS
19. G.C. TO COORDINATE LOCATIONS OF ALL MEP (INCLUDING THERMOSTATS, OUTLETS, ACCESS PANELS, EMERGENCY FIXTURES, SMOKE DETECTION FIXTURES, ETC) WITH EXISTING CONDITIONS, ARCHITECTURAL DRAWINGS, MILLWORK, FURNITURE, INTERIOR FINISHES, ETC AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OF CONFLICTS PRIOR TO INSTALLATION OF EQUIPMENT OR SERVICES
20 G.C. TO COORDINATE ALL WALL HEIGHTS WITH THE INTERIOR ELEVATIONS. 20 WITHIN 2'-0" OF ALL FLOOR DRAINS, PROVIDE 1/4" ON 12" SLOPE TO FLOOR DRAINS

FLOOR PLAN GENERAL NOTES

ARCHITECT

PHASE ZERO DESIGN
55 POND PARK ROAD, BAY 14
HINGHAM, MA 02043
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FAX: (781) 519-2030
www.phasezerodesign.com

CLIENT

SARA, LLC
3111 MAIN STREET
SPRINGFIELD MA

STRUCTURAL

MEP

PROJECT

MOBILE FUELS - PROPOSED C-STORE

3111 MAIN STREET
SPRINGFIELD, MA

SEAL

ISSUED FOR: PERMIT
ISSUED DATE: 05.XX.2020

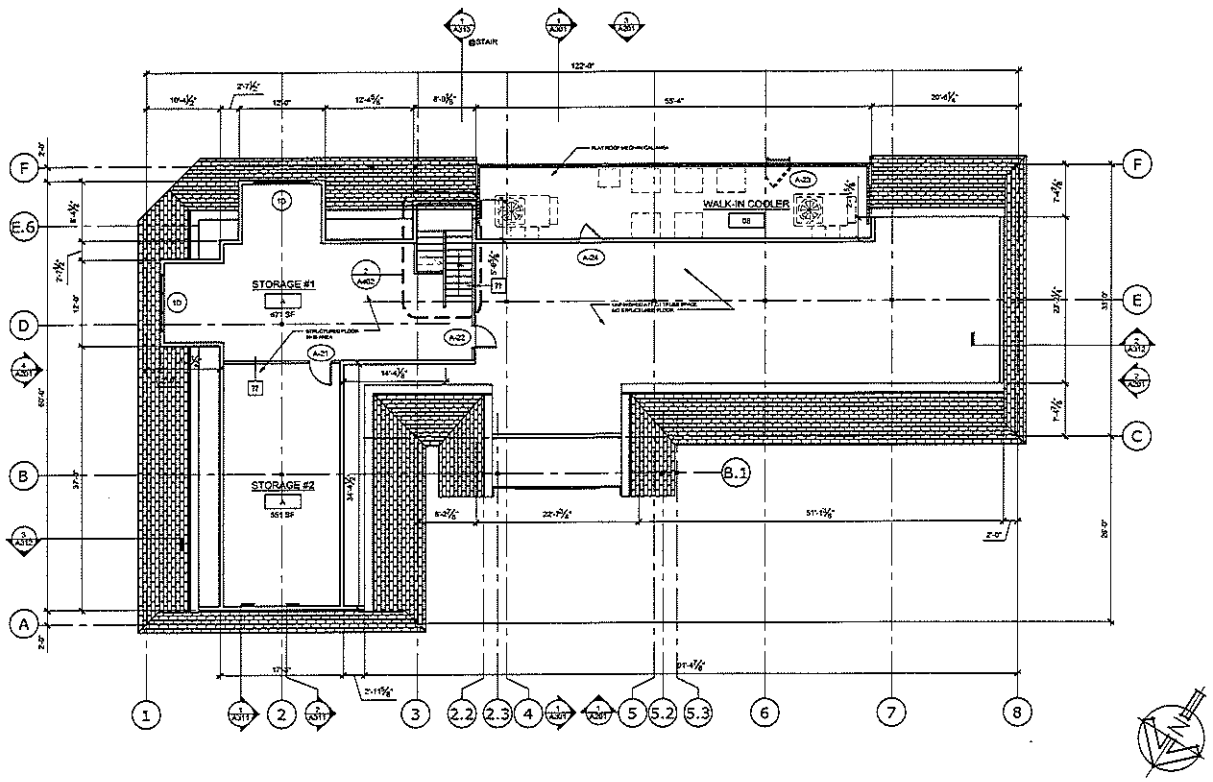
DRAWN BY: AJ
CHECKED BY: BG
PROJECT NUMBER: 2110XXX

DRAWING NAME

OVERALL
FLOOR PLAN

DRAWING NO.

A101



ATIC FLOOR PLAN 1
1/8" = 1'-0"

FLOOR PLAN LEGEND	
01	WINDOW NUMBER TAG
102	DOOR NUMBER TAG
	STUD WALL
	LINE ABOVE

FLOOR PLAN LEGEND

DESIGN BUILD CONTRACTOR TO PROVIDE ALL ENGINEERING FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SCOPE WORK REQUIRED TO PERMIT AND COMPLETE THE SCOPE OF THE PROJECT.

GENERAL NOTES:

1. REFER TO SHEET G001 FOR GENERAL NOTES
2. REFER TO SHEET A111 FOR CEILING PLAN
3. REFER TO SHEET A121 FOR ROOF PLAN
4. REFER TO SHEET A201 FOR EXTERIOR ELEVATIONS
5. REFER TO A300 SERIES FOR WALL SECTIONS
6. REFER TO A500 SERIES FOR ENLARGED DETAILS
7. REFER TO SHEET A601 & A602 FOR DOOR & WINDOW SCHEDULES
8. REFER TO SHEET A603 FOR PARTITION TYPES

GENERAL NOTES

FLOOR PLAN KEY NOTES:

1. G.C. PROVIDE CONCRETE PAD AT WALK-IN COOLER
2. 2" GAP AT WALK-IN COOLERS, TYP
3. ALUMINUM DOWNSPOUT, SEE CIVIL FOR DRAINAGE
4. GAS METERS, SEE PLUMBING DRAWING
5. WATER METER LOCATION- G.C. TO COORDINATE
6. CUSTOM MILLWORK AT CASHIER COUNTER, SEE INTERIOR ELEVATIONS FOR ADDITIONAL DETAI
7. NOT USE
8. ELECTRICAL PANEL
9. FURNITURE (DASHED) BY OWNER
10. RETAIL SHELVING BY OWNE
11. RETAIL EQUIPMENT SHOWN FOR REFERENCE, SEE EQUIPMENT PLAN BY OTHERS
12. MGC MTL LADDER TO ATTIC ACCESS, PROVIDE BLOCKING IN WALL AS REQ'D FOR ATTACHMENT
13. PROVIDE ALUMINUM FLASHING, BACKER ROD & SEALANT, FROM BUILDING WALL AIRWATER BARRIER OVER WALK-IN COOLERS TO PROVIDE WATER & AIR TIGHT SEAL AT BUILDING, ALL SIDES
14. NOT USED
15. G.C. PROVIDE SOLID BLOCKING IN WALL AS REQ'D FOR EQUIPMENT MOUNTING, SEE EQUIPMENT PLAN
16. G.C. PROVIDE 7/16" PLYWOOD AT ALL UTILITY ROOM WALLS UP TO 6'
17. NOT USED

FLOOR PLAN KEY NOTES

GENERAL NOTES:

1. DIMENSIONS ARE FROM FACE OF FINISH UNLESS OTHERWISE NOTED
2. REFER TO FINISH FLOOR PLAN AND ROOM FINISH SCHEDULE FOR ALL FINISHES
3. MINIMUM DRYWALL THICKNESS IS 5/8"
4. PROVIDE 5/8" TILE BACKING PANELS AT ALL WALLS TO RECEIVE TILE FINISH OPPOSING FACE OF WET WALL SHALL HAVE DURA-ROCK A MIN. OF 8' A.F.F.
5. ALL INTERIOR WALL STUDS SHALL BE A MIN. OF 20 GAUGE. STUD DEPTH SHALL BE DETERMINED BY BEARING REQUIREMENTS AND STUD LENGTH. DOUBLE IN GAUGE, STUDS SHALL BE INSTALLED ON EACH SIDE OF ALL DOOR OPENINGS AND AREAS THAT WILL SUPPORT SIGNS, CABINETS, SHELVES, ETC
6. ALL FLOOR PENETRATIONS SHALL HAVE A WATER PROOFING INSTALLED 3'-0" DIAMETER FROM THE CENTER OF THE PENETRATION OR 2'-0" FROM THE FOOTAGE OF WATER PROOFING AROUND THE PENETRATION
7. WALL DIMENSIONS FOR WALK-IN COOLERS ARE FROM EXTERIOR OF WALLS, UON
8. ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL RELATIVE TO THE CEILING PLANE, AND SHALL NOT FOLLOW VARIATIONS IN THE FLOOR PLANE
9. PARTITION TYPES ABOVE DOORS ARE TO BE SAME AS THE ADJACENT PARTITIONS, UON , SEE A601 FOR PARTITION TYPES
10. ANY DIMENSION NOTED "VERIFY" OR "VF" MUST BE CONFIRMED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION OF PARTITIONS.
11. PROVIDE BLOCKING AS REQUIRED IN PARTITIONS AND CEILINGS AT WALL AND CEILING MOUNTED SHELVING, MILLWORK, LIGHTING, ETC. IN DAMP AND WET AREAS BLOCKING SHALL BE MOISTURE RESISTANT. IN FIRE RATED ASSEMBLIES AND WITHIN 4'-0" HORIZONTALLY OF ALL COOKING EQUIPMENT BLOCKING SHALL BE NON-COMBUSTIBLE. COORDINATE LOCATIONS OF BLOCKING WITH ALL PLANS, ELEVATIONS, AND DETAILS. MEET SHOP STANDARDS WITH SUBCONTRACTORS AND SUPPLIERS AND REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
12. LOCATIONS OF SLAB PENETRATIONS ARE TO BE CLEARLY IDENTIFIED AND REVIEWED FOR APPROVAL BY ARCHITECT PRIOR TO DRILLING
13. PROVIDE ADDITIONAL STUDS AS REQUIRED WITHIN PARTITIONS TO ACHIEVE OUTLET GROUPINGS AS SPECIFIED IN ELECTRICAL DRAWINGS
14. G.C. TO IDENTIFY AREAS TO REQUIRE ACCESS PANELS AND COORDINATE EXACT LOCATIONS, SIZES, AND QUANTITIES WITH ARCHITECT
15. G.C. IS RESPONSIBLE FOR MAINTAINING DIMENSIONS AS INDICATED ON THE DRAWINGS. ALL DIMENSIONS INDICATED AS "HOLD" SHALL NOT VARY MORE THAN 1/16". WHERE THIS TOLERANCE IS NOT OBTAINABLE THE ARCHITECT SHALL BE NOTIFIED PRIOR TO COMMENCEMENT OF THE WORK
16. DIMENSIONS INDICATED AS "CLEAR" OR "CLR" SHALL BE MAINTAINED. ANY DISCREPANCIES OR VARIATIONS IN THESE DIMENSIONS SHALL BE REVIEWED WITH THE ARCHITECT BEFORE BEGINNING CONSTRUCTION
17. THE DIMENSIONS AND WORK NOTES ON THESE DRAWINGS ARE INDICATED FOR DESIGN INTENT. IF THE INSTALLATION OF ELECTRICAL, MECHANICAL, PLUMBING, OR FIRE PROTECTION WORK INTERFERES WITH THIS INTENT, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION
18. THE G.C. IS RESPONSIBLE FOR BRACING TO SECOK OF PARTITIONS AT DOORS AND WINDOWS
19. G.C. TO COORDINATE LOCATIONS OF ALL MEP (INCLUDING THERMOSTATS, OUTLETS, ACCESS PANELS, EMERGENCY FIXTURES, SMOKE DETECTION FIXTURES), ETC) WITH EXISTING CONDITIONS, ARCHITECTURAL DRAWINGS, MILLWORK, FURNITURE, INTERIOR FINISHES, ETC AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OF CONFLICTS PRIOR TO INSTALLATION OF EQUIPMENT OR SERVICES
20. G.C. TO COORDINATE ALL WALL HEIGHTS WITH THE INTERIOR ELEVATIONS. 2ft WITHIN 7'-0" OF ALL FLOOR DRAINS, PROVIDE 1/8" ON 12" SLOPE TO FLOOR DRAINS

FLOOR PLAN GENERAL NOTES

ARCHITECT
PHASE ZERO DESIGN
38 POND PARK ROAD, BAY 16
HINGHAM, MA 02043
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FAX: (781) 878-3036

CLIENT
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3111 MAIN STREET
SPRINGFIELD, MA

STRUCTURAL
Reynolds Associates, Inc.

MEP

MOBILE FUELS - PROPOSED C-STORE
3111 MAIN STREET
SPRINGFIELD, MA

PROJECT

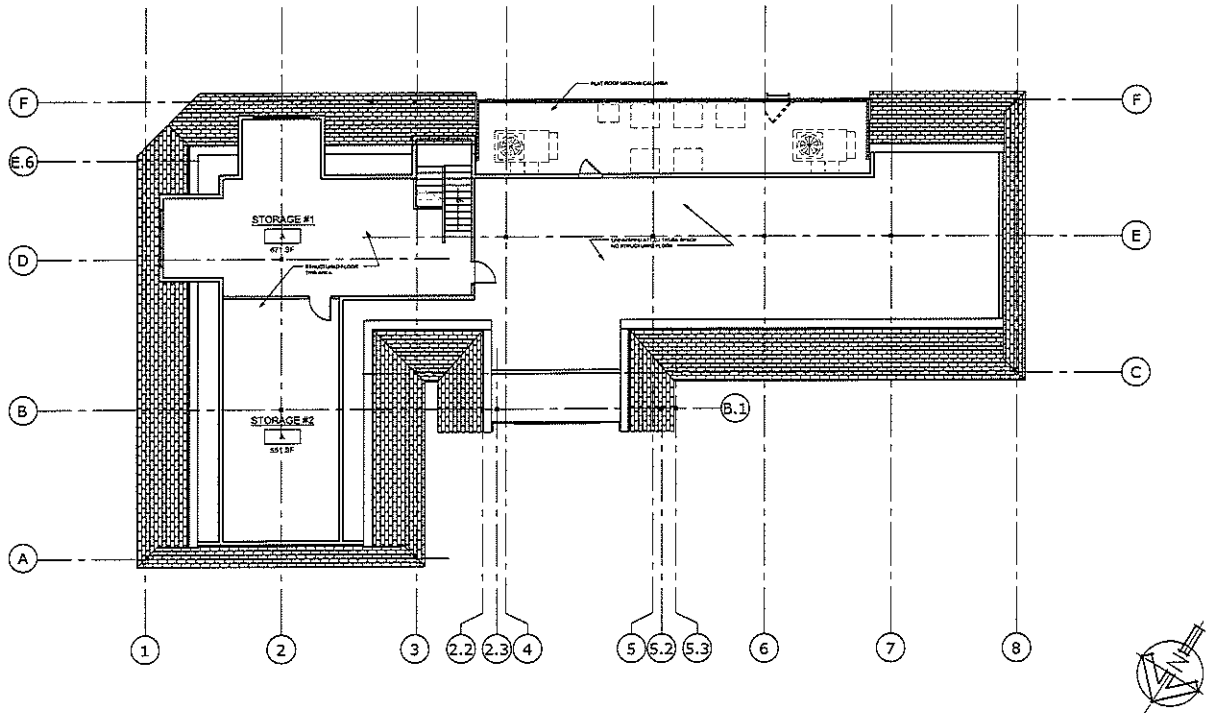
REVISIONS		
NO.	DATE	DESCRIPTION / COMMENTS

SEAL

ISSUED FOR: PERMIT
ISSUED DATE: 06.JUL.2020
DRAWN BY: AJ
CHECKED BY: MJ
PROJECT NUMBER: 211000A

DRAWING TITLE
OVERALL FLOOR PLAN

DRAWING NO.
A102



ATIC FLOOR PLAN 1
1/8" = 1'-0"

FLOOR PLAN LEGEND	
01	WINDOW NUMBER TAG
102	DOOR NUMBER TAG
	STUD WALL
	LINE ABOVE

DESIGN BUILD CONTRACTOR TO PROVIDE ALL ENGINEERING FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SCOPE WORK REQUIRED TO PERMIT AND COMPLETE THE SCOPE OF THE PROJECT.

FLOOR PLAN LEGEND

GENERAL NOTES:

1. REFER TO SHEET G000 FOR GENERAL NOTES
2. REFER TO SHEET A111 FOR CEILING PLAN
3. REFER TO SHEET A121 FOR ROOF PLAN
4. REFER TO SHEET A201 FOR EXTERIOR ELEVATIONS
5. REFER TO A300 SERIES FOR WALL SECTIONS
6. REFER TO A500 SERIES FOR ENLARGED DETAILS
7. REFER TO SHEET A601 & A602 FOR DOOR & WINDOW SCHEDULES
8. REFER TO SHEET A603 FOR PARTITION TYPES

GENERAL NOTES

FLOOR PLAN KEY NOTES:

1	G.C. PROVIDE CONCRETE PAD AT WALK-IN COOLER
2	2" GAP AT WALK-IN COOLERS, TYP
3	ALUMINUM DOWNSPOUT, SEE CIVIL FOR DRAINAGE
4	GAS METERS, SEE PLUMBING DRAWING
5	WATER METER LOCATION- G.C. TO COORDINATE
6	CUSTOM MILLWORK AT CASHIER COUNTER, SEE INTERIOR ELEVATIONS FOR ADDITIONAL DETAI
7	NOT USE
8	ELECTRICAL PANEL
9	FURNITURE (DASHED) BY OWNER
10	RETAIL SHELVING BY OWNE
11	RETAIL EQUIPMENT SHOWN FOR REFERENCE, SEE EQUIPMENT PLAN BY OTHERS
12	MISC. MTL LADDER TO ATTIC ACCESS, PROVIDE BLOCKING IN WALL AS REQ'D FOR ATTACHMENT
13	PROVIDE ALUMINUM FLASHING, BACKER ROD & SEALANT, FROM BUILDING WALL AIR/WATER BARRIER OVER WALK-IN COOLERS TO PROVIDE WATER & AIR TIGHT SEAL AT BUILDING, ALL SIDES
14	NOT USED
15	G.C. PROVIDE SOLID BLOCKING IN WALL AS REQ'D FOR EQUIPMENT MOUNTING, SEE EQUIPMENT PLAN
16	G.C. PROVIDE 7/16" PLYWOOD AT ALL UTILITY ROOM WALLS UP TO 8'
17	NOT USED

FLOOR PLAN KEY NOTES

GENERAL NOTES:

1. DIMENSIONS ARE FROM FACE OF FINISH UNLESS OTHERWISE NOTED
2. REFER TO FINISH FLOOR PLAN AND ROOM FINISH SCHEDULE FOR ALL FINISHES
3. MINIMUM DRYWALL THICKNESS IS 5/8"
4. PROVIDE 5/8" TILE BACKING PANELS AT ALL WALLS TO RECEIVE TILE FINISH. OPPOSING FACE OF WET WALL SHALL HAVE DURA-ROCK A MIN OF 8" A.F.F.
5. ALL INTERIOR WALL STUDS SHALL BE A MIN. OF 20 GAUGE. STUD DEPTH SHALL BE DETERMINED BY BEARING REQUIREMENTS AND STUD LENGTH. DOUBLE 18 GAUGE STUDS SHALL BE INSTALLED ON EACH SIDE OF ALL DOOR OPENINGS AND AREAS THAT WILL SUPPORT SIGNS, CABINETS, SHELVES, ETC.
6. ALL FLOOR PENETRATIONS SHALL HAVE A WATER PROOFING INSTALLED 3'-0" DIAMETER FROM THE CENTER OF THE PENETRATION OR 2'-0" FROM THE FOOTAGE OF WATER PROOFING AROUND THE PENETRATION
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8. ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL RELATIVE TO THE CEILING PLANE, AND SHALL NOT FOLLOW VARIATIONS IN THE FLOOR PLANE.
9. PARTITION TYPES ABOVE DOORS ARE TO BE SAME AS THE ADJACENT PARTITIONS, UON., SEE A601 FOR PARTITION TYPES
10. ANY DIMENSION NOTED "VERIFY" OR "VIF" MUST BE CONFIRMED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION OF PARTITIONS.
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20. G.C. TO COORDINATE ALL WALL HEIGHTS WITH THE INTERIOR ELEVATIONS. IN WITHIN 2'-0" OF ALL FLOOR DRAINS, PROVIDE 1/4" ON 12" SLOPE TO FLOOR DRAINS

FLOOR PLAN GENERAL NOTES

ARCHITECT
PHASE ZERO DESIGN
38 POND PARK ROAD, SUITE 1A
HINGHAM, MA 02043
PHONE: (781) 462-7721
FAX: (781) 878-3030

CLIENT
SARA, LLC
3121 MAIN STREET
SPRINGFIELD MA

STRUCTURAL
SIMONELLI STRUCTURAL

MEP

MOBILE FUELS - PROPOSED C-STORE
3111 MAIN STREET
SPRINGFIELD, MA

PROJECT

REVISIONS		
NO.	DATE	DESCRIPTION / COMMENTS

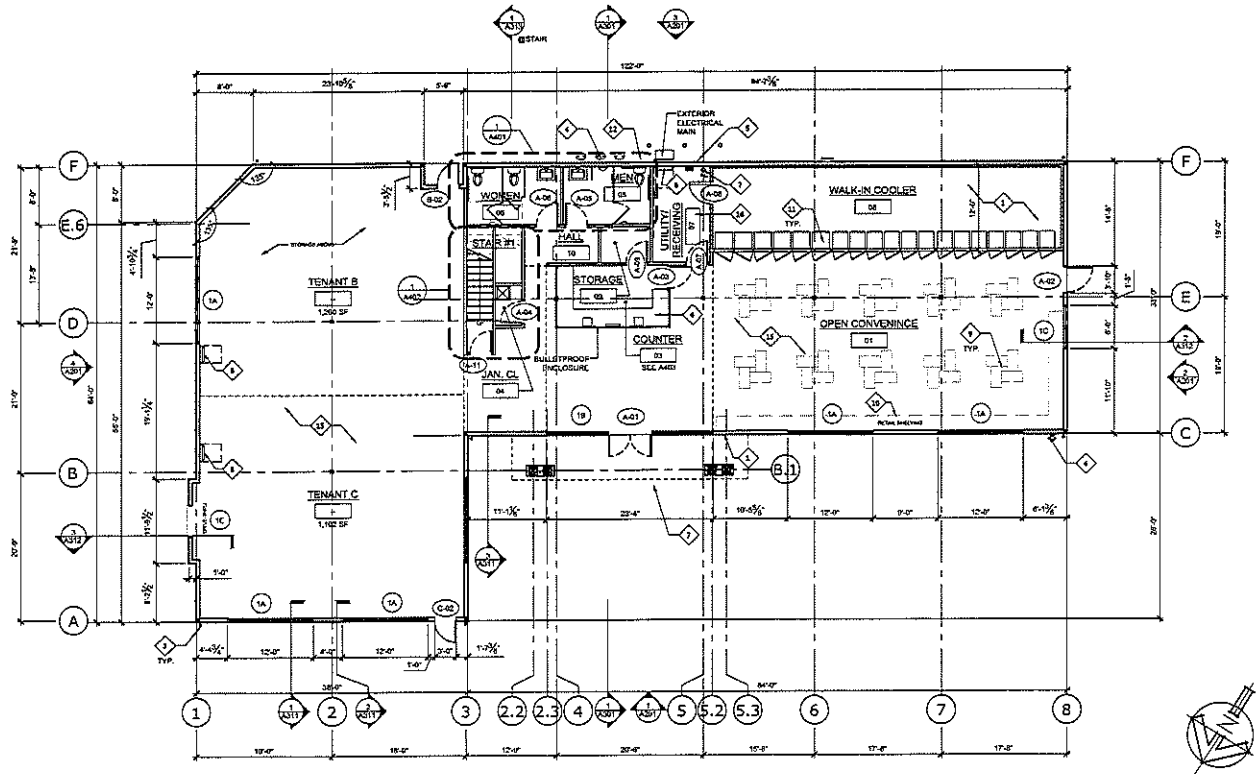
SEAL

ISSUED FOR: PERMIT
ISSUED DATE: 05.XX.2020

DRAWN BY: AJ
CHECKED BY: MJ
PROJECT NUMBER: 211100XX

DRAWING NAME
OVERALL FLOOR PLAN

DRAWING No.
A102



FIRST FLOOR PLAN 1
1/8" = 1'-0"

FLOOR PLAN LEGEND	
01	WINDOW NUMBER TAG
101	DOOR NUMBER TAG
	STUD WALL
	LINE ABOVE

DESIGN BUILD CONTRACTOR TO PROVIDE ALL ENGINEERING FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SCOPE WORK REQUIRED TO PERMIT AND COMPLETE THE SCOPE OF THE PROJECT.

FLOOR PLAN LEGEND

GENERAL NOTES:

1. REFER TO SHEET G000 FOR GENERAL NOTES
2. REFER TO SHEET A111 FOR CEILING PLAN
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4. REFER TO SHEET A201 FOR EXTERIOR ELEVATIONS
5. REFER TO A300 SERIES FOR WALL SECTIONS
6. REFER TO A400 SERIES FOR ENLARGED DETAILS
7. REFER TO SHEET A601 & A602 FOR DOOR & WINDOW SCHEDULES
8. REFER TO SHEET A603 FOR PARTITION TYPES

GENERAL NOTES

FLOOR PLAN KEY NOTES:	
1	G.C. PROVIDE CONCRETE PAD AT WALK-IN COOLER
2	2" GAP AT WALK-IN COOLERS, TYP
3	ALUMINUM DOWNSPOUT, SEE CIVIL FOR DRAINAGE
4	GAS METERS, SEE PLUMBING DRAWING
5	WATER METER LOCATION- G.C. TO COORDINATE
6	CUSTOM MILLWORK AT CASHIER COUNTER, SEE INTERIOR ELEVATIONS FOR ADDITIONAL DETAI
7	NOT USE
8	ELECTRICAL PANEL
9	FURNITURE (DASHED) BY OWNER
10	RETAIL SHELVING BY OWNC
11	RETAIL EQUIPMENT SHOWN FOR REFERENCE, SEE EQUIPMENT PLAN BY OTHERS
12	MISC. MTL LADDER TO ATTIC ACCESS, PROVIDE BLOCKING IN WALL AS REQ'D FOR ATTACHMENT
13	PROVIDE ALUMINUM FLASHING, BACKER ROD & SEALANT, FROM BUILDING WALL AIR/WATER BARRIER OVER WALK-IN COOLERS TO PROVIDE WATER & AIR TIGHT SEAL AT BUILDING, ALL SIDES
14	NOT USED
15	G.C. PROVIDE SOLID BLOCKING IN WALL AS REQ'D FOR EQUIPMENT MOUNTING, SEE EQUIPMENT PLAN
16	G.C. PROVIDE 7/16" PLYWOOD AT ALL UTILITY ROOM WALLS UP TO 8'
17	NOT USED

FLOOR PLAN KEY NOTES

GENERAL NOTES:

1. DIMENSIONS ARE FROM FACE OF FINISH UNLESS OTHERWISE NOTED
2. REFER TO FINISH FLOOR PLAN AND ROOM FINISH SCHEDULE FOR ALL FINISHES
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4. PROVIDE 5/8" TILE BACKING PANELS AT ALL WALLS TO RECEIVE TILE FINISH. OPPOSING FACE OF WET WALL SHALL HAVE DURA-ROCK A MIN. OF 4' AFF
5. ALL INTERIOR WALL STUDS SHALL BE A MIN. OF 20 GAUGE, STUD DEPTH SHALL BE DETERMINED BY BEARING REQUIREMENTS AND STUD LENGTH. DOUBLE 3X GAUGE STUDS SHALL BE INSTALLED ON EACH SIDE OF ALL DOOR OPENINGS AND AREAS THAT WILL SUPPORT SIGNS, CABINETS, SHELVES, ETC.
6. ALL FLOOR PENETRATIONS SHALL HAVE A WATER PROOFING INSTALLED 3'-0" DIAMETER FROM THE CENTER OF THE PENETRATION OR 2'-0" FROM THE FOOTAGE OF WATER PROOFING AROUND THE PENETRATION
7. WALL DIMENSIONS FOR WALK-IN COOLERS ARE FROM EXTERIOR OF WALLS, UON
8. ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL RELATIVE TO THE CEILING PLANE, AND SHALL NOT FOLLOW VARIATIONS IN THE FLOOR PLANE.
9. PARTITION TYPES ABOVE, DOORS ARE TO BE SAME AS THE ADJACENT PARTITIONS, UON, SEE A601 FOR PARTITION TYPES
10. ANY DIMENSION NOTED "VERIFY" OR "VIF" MUST BE CONFIRMED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION OF PARTITIONS.
11. PROVIDE BLOCKING AS REQUIRED IN PARTITIONS AND CEILINGS AT WALL AND CEILING MOUNTED SHELVING, MILLWORK, LIGHTING, ETC. IN SWIP AND WET AREAS BLOCKING SHALL BE MOISTURE RESISTANT. IN FIRE RATED ASSEMBLIES AND WITHIN 44" HORIZONTALLY OF ALL COOKING EQUIPMENT BLOCKING SHALL BE NON-COMBUSTIBLE. COORDINATE LOCATIONS OF BLOCKING WITH ALL PLANS, ELEVATIONS AND DETAILS. VERIFY SHOP STANDARDS WITH SUBCONTRACTORS AND SUPPLIERS AND REVIEW WITH ARCHITECT PRIOR TO INSTALLATION
12. LOCATIONS OF SLAB PENETRATIONS ARE TO BE CLEARLY IDENTIFIED AND REVIEWED FOR APPROVAL BY ARCHITECT PRIOR TO DRILLING
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20. G.C. TO COORDINATE ALL WALL HEIGHTS WITH THE INTERIOR ELEVATIONS. 24" WITHIN 2'-0" OF ALL FLOOR DRAINS, PROVIDE 1/4" ON 12" SLOPE TO FLOOR DRAINS

FLOOR PLAN GENERAL NOTES

ARCHITECT
PHASE ZERO DESIGN
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FAX: (781) 878-3020
www.phasezerodesign.com

CLIENT
SARA, LLC
3111 MAIN STREET
SPRINGFIELD MA

STRUCTURAL
SCHUCLEMEYER
STRUCTURAL ENGINEERS
1400 Main Street
Springfield, MA 01103
413-781-1000
www.schuclemeyer.com

MEP

MOBILE FUELS - PROPOSED C-STORE
3111 MAIN STREET
SPRINGFIELD, MA

REVISIONS		
REV.	DATE	DESCRIPTION / COMMENTS

SEAL

ISSUED FOR: PERMIT
ISSUED DATE: 09.XX.2020
DRAWN BY: AJ
CHECKED BY: SG
PROJECT NUMBER: 2110XXX

DRAWING NAME
OVERALL FLOOR PLAN

DRAWING NO.
A101

GRADING & DRAINAGE NOTES

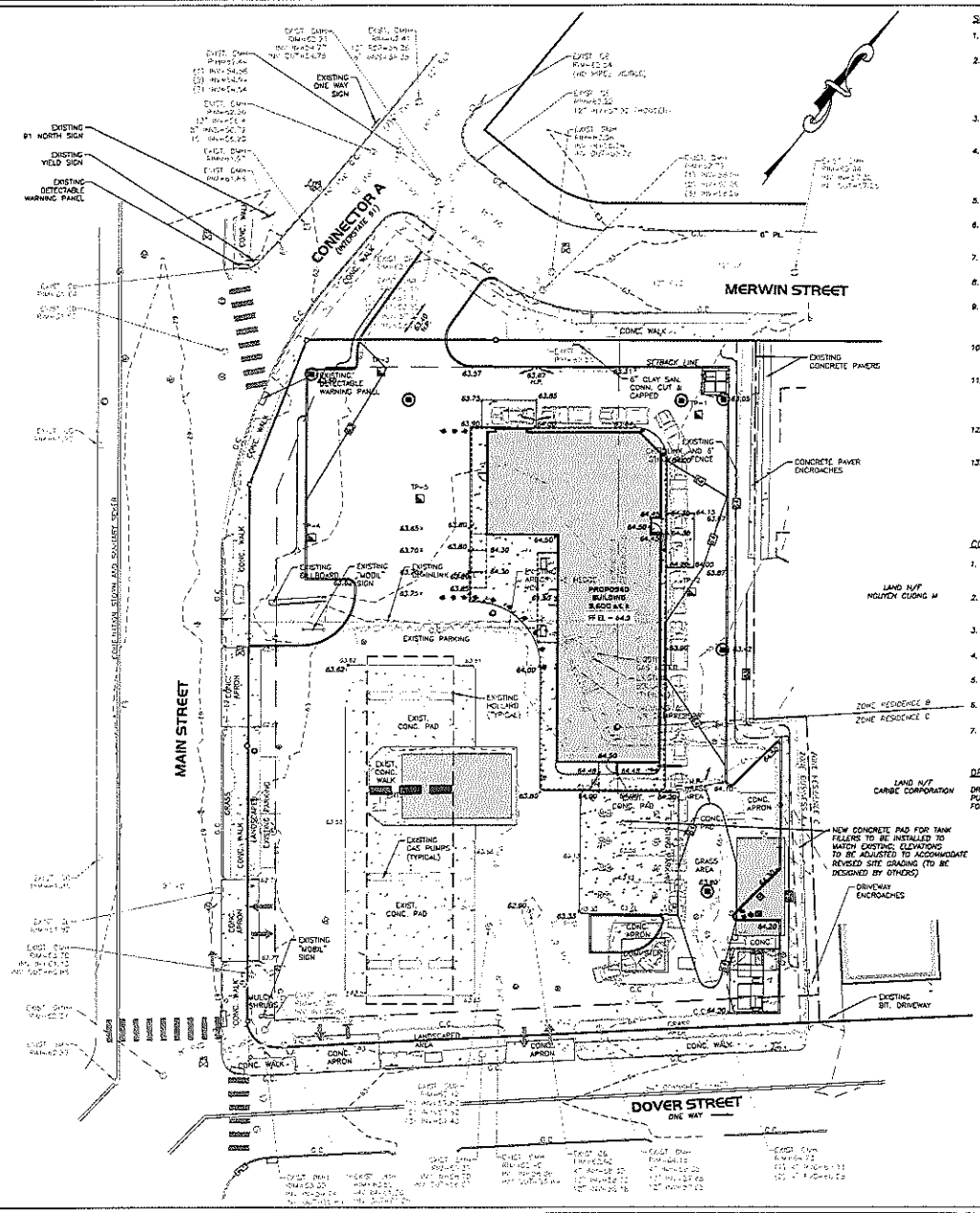
1. SITE CONTRACTOR SHALL REFER TO REMAINING PLAN SET FOR INFORMATION REGARDING GRADING AND DRAINAGE.
2. IT SHALL BE THE SITE CONTRACTORS RESPONSIBILITY TO CROSS REFERENCE INFORMATION CONTAINED IN OTHER SHEETS WITH GRADING AND DRAINAGE INFORMATION SHOWN HEREON.
3. PRIOR TO SUBMITTING A BID FOR CONSTRUCTION, THE SITE CONTRACTOR SHALL COMMUNICATE ANY DISCREPANCIES BETWEEN THE PROPOSED DESIGN AND THE SPECIFICATIONS WITH THE PROJECT PROPONENT AND LANDSCAPE ARCHITECT/ENGINEER. SHOULD THE SITE CONTRACTOR FAIL TO COMMUNICATE ANY DISCREPANCIES, HE/SHE SHALL BE RESPONSIBLE FOR ANY COSTS RESULTING FROM SAID DISCREPANCY.
4. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT/ENGINEER OF ANY UNEXPECTED CONDITIONS THAT ARE ENCOUNTERED DURING CONSTRUCTION.
5. ONCE DRAINAGE SYSTEM IS INSTALLED AND FUNCTIONING, THE OWNER/SITE CONTRACTOR SHALL COORDINATE WITH R LEVESQUE ASSOCIATES, INC. (RLA) TO CONDUCT A POST-CONSTRUCTION ANALYSIS OF THE DRAINAGE SYSTEM DURING ACTUAL STORM EVENTS TO DETERMINE THE FUNCTIONALITY OF THE INSTALLED DRAINAGE SYSTEM DURING SAID EVENTS. SHOULD THE DRAINAGE SYSTEM NOT FUNCTION AS DESIGNED UNDER REAL WORLD CONDITIONS, RLA WILL RECOMMEND ADJUSTMENTS TO THE DRAINAGE SYSTEM TO BE IMPLEMENTED BY THE OWNER/SITE CONTRACTOR.
6. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THEIR RESPECTIVE CITY/TOWN DEPARTMENT SPECIFICATIONS.

CONSTRUCTION NOTES

1. THE CONTRACTOR/OWNER/DEVELOPER TO BE AWARE THAT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND AN ILLICIT DISCHARGE COMPLIANCE STATEMENT ARE REQUIRED PRIOR TO ANY LAND DISTURBANCE.
2. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON SURFACE FEATURES AS LOCATED BY SURVEY AND AVAILABLE RECORD DATA AND ARE APPROXIMATE. ACTUAL FIELD LOCATIONS SHOULD BE VERIFIED WITH THE APPROPRIATE UTILITY COMPANY AND/OR MUNICIPAL DEPARTMENT PRIOR TO CONSTRUCTION.
3. ALL LAYOUT WORK REQUIRED SHALL BE PERFORMED BY A LICENSED SURVEYOR OR ENGINEER EMPLOYED BY THE CONTRACTOR.
4. CONTRACTOR TO NOTIFY DIG SAFE A MINIMUM OF 72 HOURS PRIOR TO START OF CONSTRUCTION ACCORDING TO MA GENERAL LAWS.
5. APPROVED PLANS TO BE ON SITE AT ALL TIMES.
6. CHANGES TO THIS PLAN MAY OCCUR AS UNFORESEEN CONDITIONS ARISE. ALL CHANGES TO BE APPROVED BY DESIGN ENGINEER, FIELD INSPECTOR AND CITY/TOWN ENGINEER.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND SAFETY OF TRAFFIC ON THE PUBLIC AND PRIVATE WAYS AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.
8. CONTRACTOR SHALL PROTECT ALL SLOPES, VEGETATION, PAVING, WALKS, AND IMPROVEMENTS OUTSIDE THE AREAS TO BE AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.
9. TREES, BRUSH AND STUMPS REMOVED BY CLEARING AND GRUBBING OPERATIONS SHALL BE TRANSPORTED OFF THE PROJECT SITE TO AN APPROVED DISPOSAL LOCATION.
10. ALL PAVEMENT MARKINGS CHANGED, ALTERED OR REMOVED SHALL BE REAPPLIED.
11. ALL CONSTRUCTION METHODS TO CONFORM TO AGAWAM PLANNING BOARD REGULATIONS AND BOARD OF PUBLIC WORKS SPECIFICATIONS.
12. AGAWAM DEPARTMENT OF PUBLIC WORKS APPROVAL IS NOT TO BE CONSTRUED AS AN ALL INCLUSIVE APPROVAL AS OTHER APPROVALS MAY BE NECESSARY, I.E. TOWN ENGINEER, CONSERVATION, FIRE DEPARTMENT, WATER DEPARTMENT, ETC.
13. ALL CATCH BASINS TO HAVE 48" SEALED SUMPS AND HOODS.
14. EROSION CONTROL MEASURES TO BE IN PLACE PRIOR TO START OF CONSTRUCTION.

ACCESSIBILITY NOTES

1. ALL ACCESSIBLE ROUTES, TRANSITIONS, AND ACCESSIBLE PARKING/LOADING AREAS, INCLUDING ALL ENTRANCES TO BUILDING, SHALL ADHERE TO 521 CMR.
2. SHOULD THE ARCHITECT PROVIDE ADDITIONAL ENTRANCES OR MEANS OF EGRESS, ADDITIONAL ACCESSIBLE ROUTES MAY BE REQUIRED.
3. IT IS THE RESPONSIBILITY OF THE ARCHITECT AND CONTRACTOR TO NOTIFY THE ENGINEER AND LANDSCAPE ARCHITECT OF ANY CHANGES TO THE PROPOSED BUILDING THAT WOULD AFFECT THE ACCESSIBILITY REQUIREMENTS OF THE PROPOSED SITE.
4. THE CONTRACTOR SHALL REVIEW IN DETAIL THE REQUIREMENTS OF 521 CMR AND SHALL BE RESPONSIBLE FOR CONFORMANCE WITH SAID REGULATIONS.



SHORT-TERM EROSION CONTROL MAINTENANCE

1. THE CONTRACTOR OR SUBCONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING EACH CONTROL SHOWN ON THE SEDIMENTATION AND EROSION CONTROL PLAN.
2. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF-SITE SEDIMENTATION IF DEEMED NECESSARY BY ON-SITE INSPECTION.
3. EFFECTIVE EROSION CONTROL MEASURES SHALL BE INITIATED PRIOR TO THE COMMENCEMENT OF CLEARING, GRADING, EXCAVATION, OR OTHER OPERATIONS THAT WILL DISTURB THE NATURAL PROTECTION.
4. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND AFTER ANY STORM EVENT GREATER THAN 0.5 INCHES OF PRECIPITATION DURING ANY 24-HOUR PERIOD, AND THE INSPECTION SHALL BE DOCUMENTED IN WRITING. DAMAGED OR INEFFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED, AS NECESSARY.
5. THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS TO AVOID EXCESS EROSION OF THE SITE DUE TO THE CONSTRUCTION OF THIS PROJECT.
6. SILT SHALL BE REMOVED FROM BEHIND BARRIERS IF GREATER THAN 6-INCHES DEEP OR AS NEEDED. SEDIMENT THAT IS COLLECTED IN STRUCTURES SHALL BE DISPOSED OF PROPERLY AND COVERED IF STORED ON-SITE.
7. DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION.
8. ALL DITCHES SHALL BE STABILIZED AS SOON AS IS PRACTICABLE TO MINIMIZE EROSION.
9. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES IN A GOOD, WORKING STATE OF REPAIR UNTIL THEIR USE IS NO LONGER WARRANTED. AT THAT TIME, THE EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF SO AS TO CAUSE NO OFF-SITE SILTATION.
10. INSPECT AND MAINTAIN CONSTRUCTION ENTRANCE STONE SUCH THAT SEDIMENT DOES NOT TRACK ONTO THE STREET. ANY SEDIMENT TRACKED ONTO THE STREET SHALL BE CLEANED DAILY.
11. AFTER CATCH BASINS HAVE BEEN CONSTRUCTED AND THE SITE HAS BEEN PAVED, THE CONTRACTOR SHALL PROTECT THE INLETS BY CONSTRUCTING INLET PROTECTION AS SHOWN ON THE PLANS. INLET PROTECTION TO REMAIN IN PLACE AND MAINTAINED UNTIL DISTURBED AREAS HAVE BEEN STABILIZED, LOAMED AND SEEDED.
12. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL ALL DISTURBED EARTH HAS BEEN SUBSTANTIALLY STABILIZED. AFTER REMOVAL OF MEASURES, DISTURBED AREAS SHALL BE RECRADED AND STABILIZED AS NECESSARY.
13. THIS PLAN IS PROVIDED AS A BASIS FOR THE INITIAL SEDIMENTATION AND EROSION CONTROL MEASURES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO UPDATE AND EXPAND THIS PLAN AS SITE CONDITIONS DICTATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PREVENT THE OCCURRENCE OF SILTATION TO WETLAND RESOURCE AREAS AND THE MOVEMENT OF SEDIMENT BEYOND THE SITE BOUNDARIES.

CONSTRUCTION NOTES

1. CONTACT DEPARTMENT OF PUBLIC WORKS (DPW) FOR REVIEW AND APPROVAL OF ANY MODIFICATIONS OF THE APPROVED SITE PLANS PRIOR TO WORK BEING PERFORMED.
2. CONTACT SPRINGFIELD WATER & SEWER COMMISSION (SWSC) FOR REVIEW AND APPROVAL OF ANY MODIFICATIONS OF THE APPROVED PLAN PRIOR TO THE WORK BEING PERFORMED.
3. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF SPRINGFIELD/SWSC REQUIREMENTS.
4. THE CONTRACTOR MUST OBTAIN DPW STREET OPENING & TRENCH PERMITS BEFORE CONSTRUCTION.
5. ALL WATER, SEWER, DRAIN AND PAVEMENT MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY OF SPRINGFIELD/SWSC REQUIREMENTS.
6. ALL WATER AND SEWER CONSTRUCTION SHALL BE INSPECTED BY THE SWSC BEFORE BEING BACKFILLED.
7. THE CITY OF SPRINGFIELD/SWSC SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE REQUIRED INSPECTIONS.

DRAINAGE NOTE

DRAINAGE SHOWN ON THIS SHEET IS SHOWN SCHEMATICALLY FOR REFERENCE PURPOSES ONLY. PLEASE REFER TO SHEET C-6, DETAILS AND DRAINAGE REPORT FOR DETAILS ON STORMWATER DRAINAGE SYSTEM.

PERMITTING

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GRADING, EROSION & SEDIMENTATION CONTROL PLAN

3111 Main Street
Parcel ID's 081300394, 081300397 & 085800035
Springfield, Mass.

5/28/20

PREPARED FOR:

Zahoor Ul Haq
551 Main Street
Agawam MA, 01001

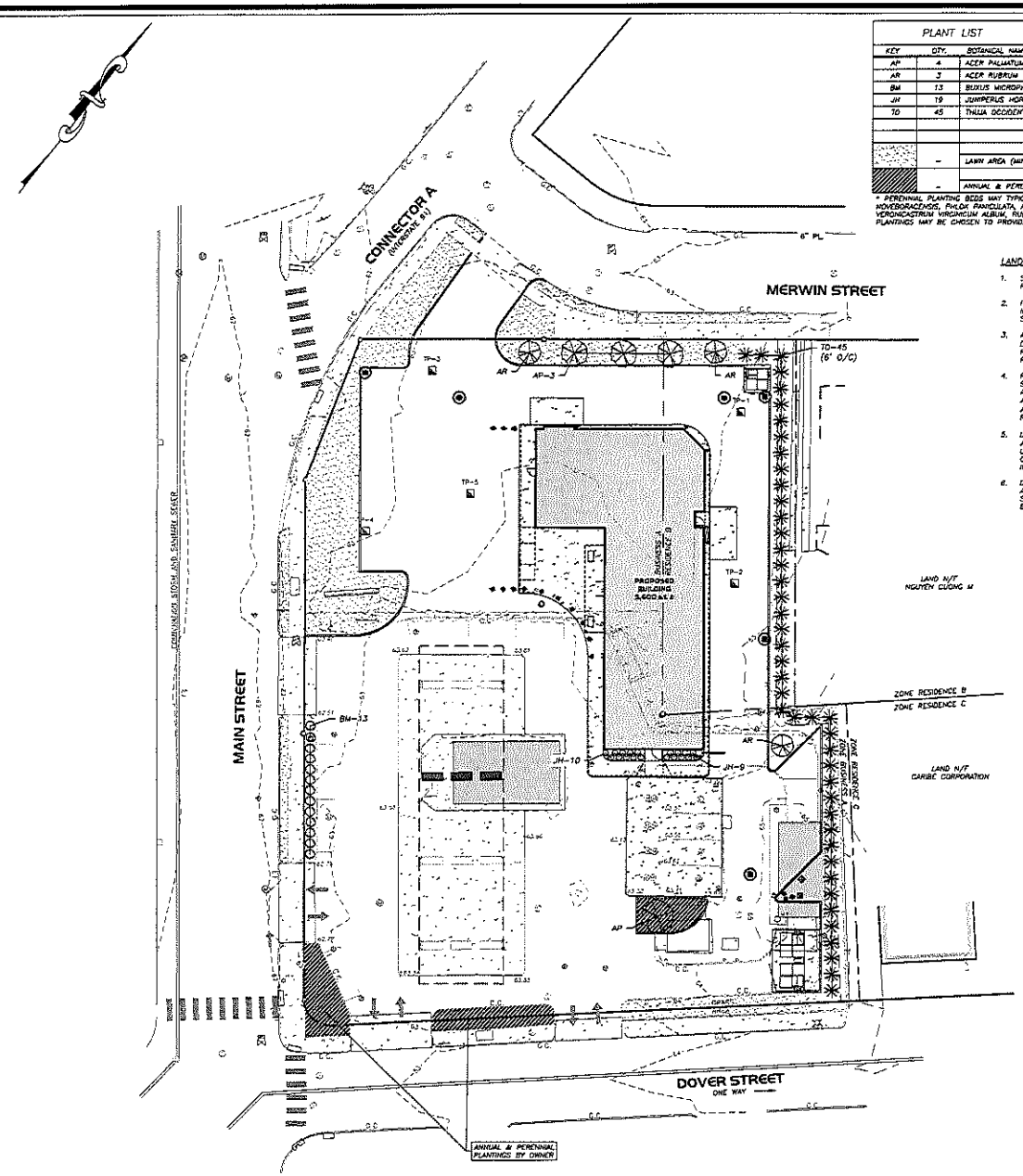
ISSUANCE DATE: MAY 28, 2020

REVISIONS:	DATE:

DRAFTED BY: JMM

SCALE: AS NOTED
RLA PROJ. NUMBER: 200106

DRAWING# C-5 REV. -



PLANT LIST				
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE/SPACING
AP	4	ACER PALMATUM	JAPANESE MAPLE	2-2.5" CAL
AR	3	ACER RUBRUM	RED MAPLE	2.5-3" CAL
BM	13	BUXUS MICROPHYLLA 'COMPACTA'	COMPACT BOXWOOD	3' O.C. (3 GAL. CONTAINER)
JH	19	JUNIPERUS HORIZONTALIS	CREEPING JUNIPER	3' O.C. (3 GAL. CONTAINER)
TO	45	THUJA OCCIDENTALIS	ARBORVITAE	4-6' HT.
	-	LAWN AREA (MIN. 4" LOAM & SEED)		RATE PER SUPPLIER REC.
	-	ANNUAL & PERENNIAL PLANTING BED		RATE PER SUPPLIER REC.

* PERENNIAL PLANTING BEDS MAY TYPICALLY INCLUDE NATIVE AND NON-INVASIVE VARIETIES SUCH AS VERNONIA NOVEBORACEOSS, PHLOX PANICULATA, ACHILLEA MILLEFOLIUM, ASTILBE VAR., HELICHRYSUM VAR., SARCHARDA OCTOMOOES, VERONICASTRUM VIRGINICUM ALBUM, RUDBECKIA HIRTA, AND ORNAMENTAL NON-SPREADING GRASSES. ANNUAL PLANTINGS MAY BE CHOSEN TO PROVIDE ADDITIONAL SEASONAL INTEREST.

LANDSCAPE NOTES:

1. SITE CONTRACTOR SHALL REFER TO SHEET C-1, C-2, DETAIL SHEETS AND REMAINING PLAN SET FOR INFORMATION REGARDING LANDSCAPING.
2. IT SHALL BE THE SITE CONTRACTOR'S RESPONSIBILITY TO CROSS-REFERENCE INFORMATION CONTAINED IN OTHER SHEETS WITH THE LANDSCAPE INFORMATION SHOWN HEREON.
3. ALL SITE PLANTINGS ARE TO MEET OR EXCEED THE MINIMUM SPECIFICATIONS DETAILED IN THE AFORMENTIONED NOTES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SPECIFICATIONS FOR EACH INDIVIDUAL PLANTING AND SOURCE IT APPROPRIATELY.
4. PRIOR SUBMITTING THEIR BID FOR CONSTRUCTION, THE SITE CONTRACTOR SHALL COMMUNICATE ANY DISCREPANCIES BETWEEN THE PROPOSED DESIGN AND SAID SPECIFICATIONS WITH THE PROJECT PROPONENT, LANDSCAPE ARCHITECT/ENGINEER. SHOULD THE SITE CONTRACTOR FAIL TO COMMUNICATE ANY DISCREPANCIES, HE/SHE SHALL BE RESPONSIBLE FOR ANY COSTS RESULTING FROM SAID DISCREPANCY.
5. LANDSCAPE CONTRACTOR SHALL HAVE EXCAVATING CONTRACTOR, "DIGSAFE", AND ANY APPLICABLE NON-[DIGSAFE] MEMBER UTILITIES MARK ALL UNDERGROUND UTILITIES AND PRIOR TO ANY PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND PROJECT PROPONENT IF ANY CONFLICTS ARISE AND STOP ALL WORK UNTIL CONFLICT IS RESOLVED.
6. DUE TO SEASON PLANTING PROBLEMS AND LACK OF PLANT AVAILABILITY, APPROVED LANDSCAPE PLANS MAY REQUIRE MINOR REVISIONS. ALL PLANTING SUBSTITUTIONS MUST BE APPROVED BY THE CITY OF SPRINGFIELD PLANNING BOARD STAFF.

PERMITTING

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R LEVESQUE ASSOCIATES INC

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SITE LANDSCAPING PLAN

3111 Main Street
Parcel ID's 081B00394, 081B00397 & 085B00035
Springfield, Mass.

5/28/20

PREPARED FOR:

Zaheer Ul Haq
551 Main Street
Agawam MA, 01001

ISSUANCE DATE: May 28, 2020

REVISIONS:	DATE:

DRAFTED BY: J.W.M.

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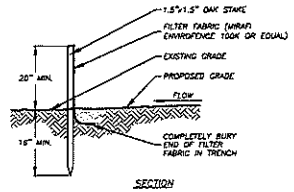
SCALE: AS NOTED

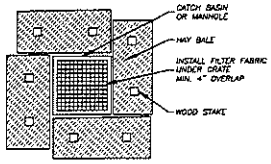
RLA PROJ. NUMBER: 20010a

DRAWING: C-7 REV: -

S:\Projects\3920\20010A - Haq - 3111 Main Street, Springfield, MA\Civil 3D\20010A - SITE.dwg

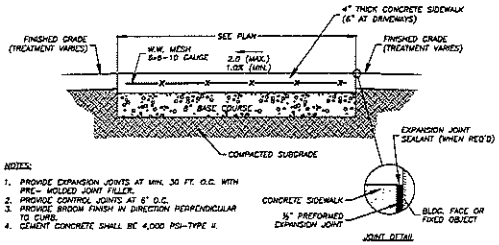


SILT FENCE DETAIL
NO SCALE



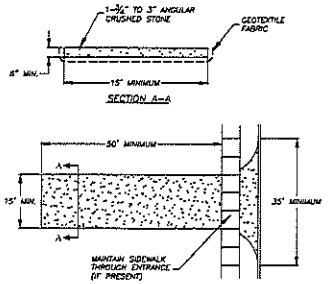
NOTE
INSTALL BARRIER AT EACH CATCH BASIN AND DRAINAGE BASIN. CATCH BASINS IN PAVEMENT AREAS ARE TO RECEIVE ONLY THE FILTER FABRIC TREATMENT.

INLET PROTECTION - HAY BALES
NO SCALE



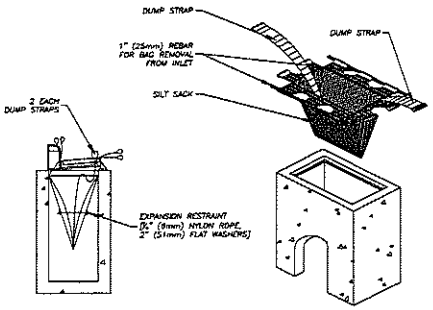
NOTES:
1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE- MOLDED JOINT FILLER.
2. PROVIDE CONTROL JOINTS AT 6' O.C.
3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
4. CEMENT CONCRETE SHALL BE 4,000 PSI-TYPE II.

REINFORCED CONCRETE SIDEWALK SECTION
NO SCALE

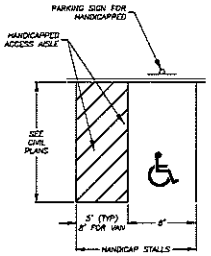


NOTES
1. EACH SITE ENTRANCE IS TO HAVE A TEMPORARY CONSTRUCTION ENTRANCE.
2. STONE IS TO BE 1-½" TO 3" ANGULAR CRUSHED STONE.
3. PLACE GEOTEXTILE OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
4. ANY SEDIMENT TRACKED INTO THE ROADWAY NEEDS TO BE CLEANED IMMEDIATELY.
5. ADDITIONAL STONE IS TO BE ADDED TO THE PAD AS NEEDED TO MAINTAIN THE ORIGINAL DEPTH.
6. ANY SIDEWALK DAMAGED DURING CONSTRUCTION MUST BE REPLACED AT THE CONTRACTORS/DEVELOPERS EXPENSE.
7. SIDEWALK MUST REMAIN PASSABLE, IF THE SIDEWALK BECOMES UNSAFE OR IMPASSABLE, A TEMPORARY SIDEWALK/ SIDEWALK DETOUR MUST BE PROVIDED.

ANTI-TRACKING APRON (AS REQ'D)
NO SCALE

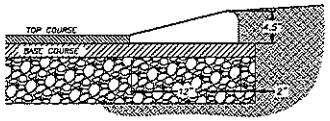


INLET PROTECTION - SEDIMENT FILTER SACK
NO SCALE

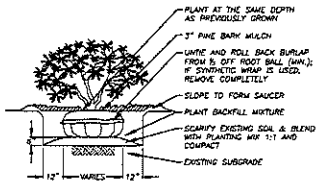


NOTES:
1. ALL DIMENSIONS TO CENTER OF 4" PAVEMENT STRIPING.
2. ALL STRIPING SHALL BE 4" SOLID WHITE PAVEMENT MARKING PAINT UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO ENSURE HANDICAP ACCESSIBLE PARKING SPACE SHALL HAVE A SLOPE OF 2% OR LESS IN ALL DIRECTIONS.
4. SEE AAB 521 CMR 23.00 FOR REQUIRED NUMBER AND PROPORTION OF VAN ACCESSIBLE SPACES.

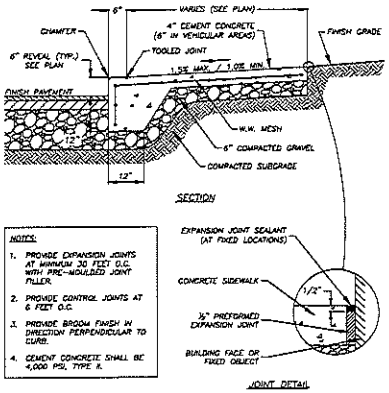
HANDICAP PARKING STALL
NO SCALE



BITUMINOUS CONCRETE BERM (CAPE COD)
NO SCALE

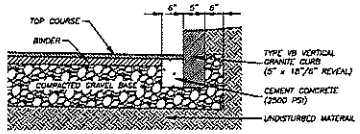


SHRUB PLANTING DETAIL
NO SCALE



NOTES:
1. PROVIDE EXPANSION JOINTS AT MINIMUM 30 FEET O.C. WITH PRE-MOULDED JOINT FILLER.
2. PROVIDE CONTROL JOINTS AT 6 FEET O.C.
3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
4. CEMENT CONCRETE SHALL BE 4,000 PSI, TYPE II.

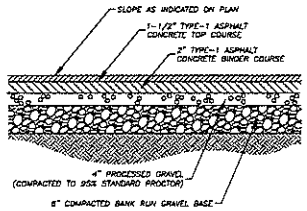
MONOLITHIC CONCRETE CURB & SIDEWALK
NO SCALE



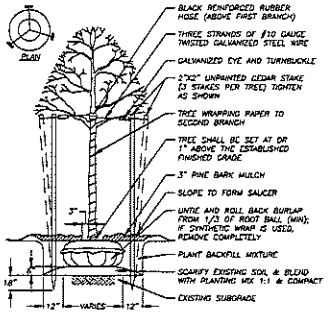
PROCEDURE DESCRIBED HEREIN IS APPLICABLE ONLY IF CURB IS TO BE SET AFTER BASE AND/OR BINDER COURSE ARE IN PLACE. OTHERWISE, CEMENT CONCRETE WILL BE ELIMINATED AND GRAVEL WILL BE BROUGHT UP TO THE BOTTOM OF THE BASE COURSE. FOR DESCRIPTION, MATERIALS AND CONSTRUCTION METHODS, SEE SPECIFICATIONS.

NOTES:
1. CUT NEAT LINE 6" FROM CURB LINE AND REMOVE BINDER, BASE AND STONE, AND REPLACE WITH CEMENT CONCRETE.
2. ACCEPTABLE CEMENT CONCRETE IS ANY CLASS UNDER SECTION M4 OF THE 1988 MHD STANDARD SPECIFICATIONS; ALL TEST REQUIREMENTS ARE WAIVED. HMA IS NOT AN ACCEPTABLE SUBSTITUTE.
3. WHEN SET ON RADII, THE CURBING SHALL BE CUT WITH THE REQUIRED RADIUS OF CURVATURE.

VERTICAL GRANITE CURB
NO SCALE



BITUMINOUS CONCRETE PAVING DETAIL
NO SCALE



TREE PLANTING DETAIL
NO SCALE

PERMITTING

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DETAILS
3111 Main Street
Parcel ID's 081B00394, 081B00397 & 085B00035
Springfield, Mass.

5/28/20

PREPARED FOR:
Zahoor Ul Haq
551 Main Street
Agawam MA, 01001

ISSUANCE DATE: May 08, 2020

REVISIONS:	DATE:

DRAFTED BY: J.W.M.

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SCALE: AS NOTED
RLA PROJ. NUMBER: 200106

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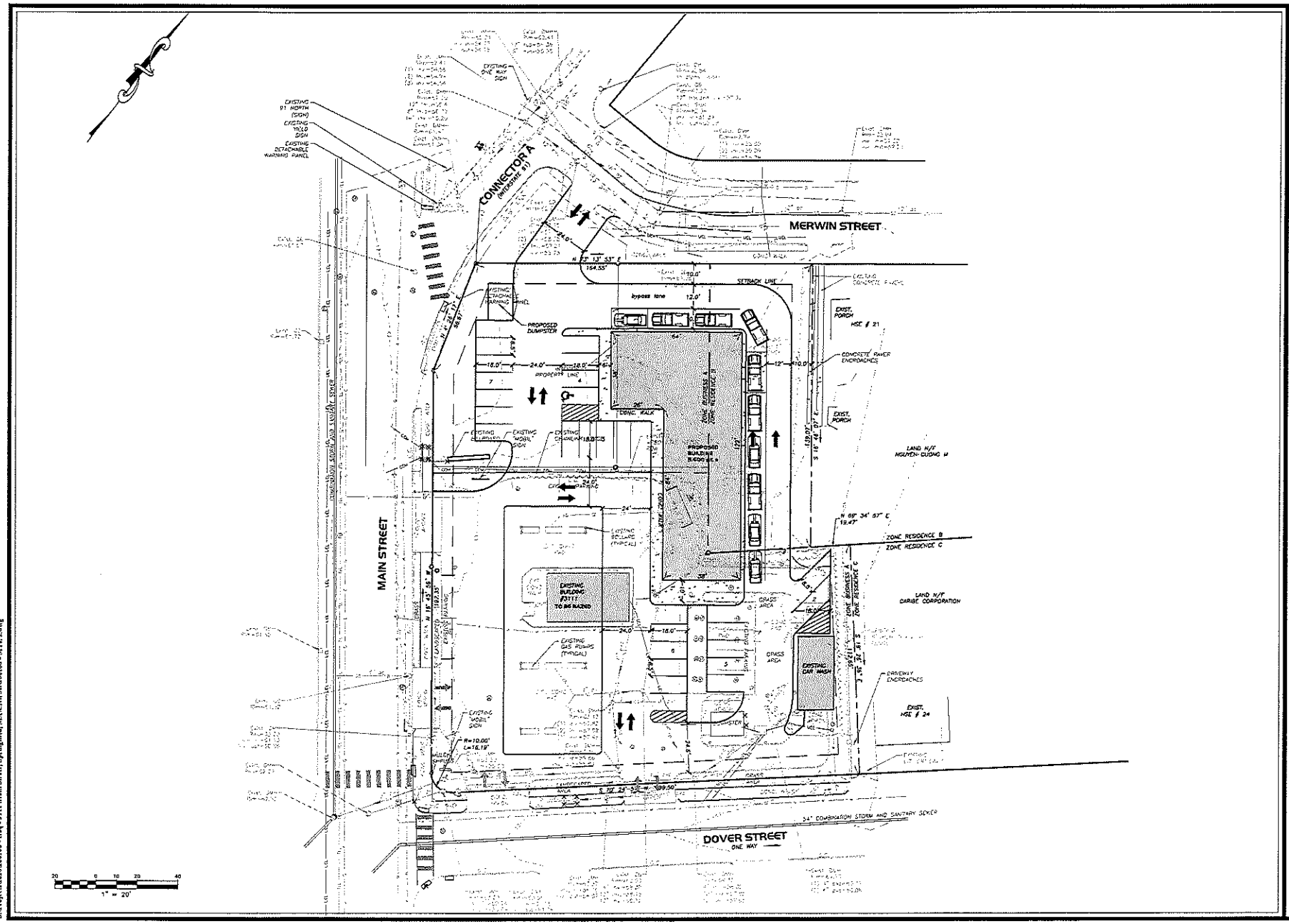

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LAYOUT & MATERIALS PLAN

3111 MAIN STREET

Parcel ID's 081300394, 085800035 and 081300397

Springfield MA

PREPARED FOR:

ZAHOOR UL HAQ
3111 Main Street
Springfield MA, 01107

ISSUANCE DATE: Printed 07/XX/19

REVISIONS:	DATE:

DRAFTED BY: T.A.

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SCALE: AS NOTED

RLA PROJ. NUMBER: 20010a

DRAWING#: C-4

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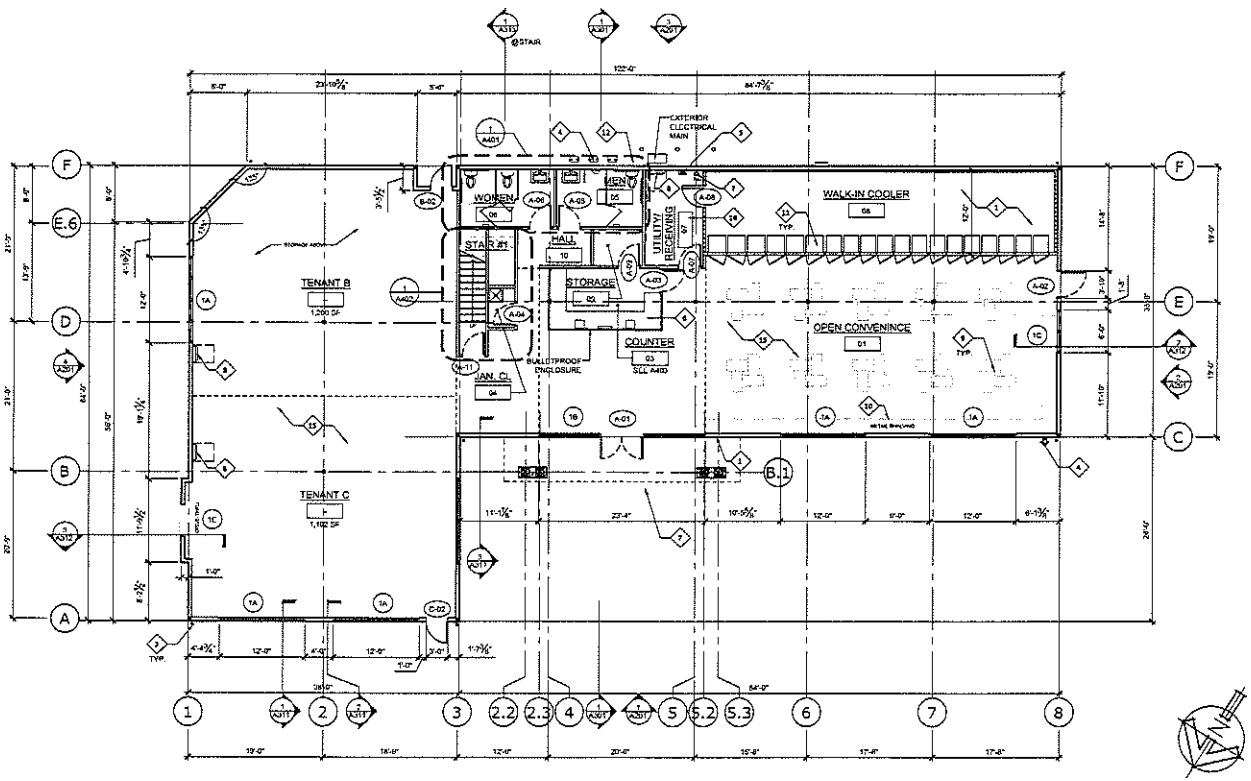

FIRST FLOOR PLAN 1
1/4" = 1'-0"

FLOOR PLAN LEGEND	
03	WINDOW NUMBER TAG
102	DOOR NUMBER TAG
	STUD WALL
	LINE ABOVE

DESIGN BUILD CONTRACTOR TO PROVIDE ALL ENGINEERING FOR ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SCOPE WORK REQUIRED TO PERMIT AND COMPLETE THE SCOPE OF THE PROJECT.

FLOOR PLAN LEGEND

GENERAL NOTES:

1. REFER TO SHEET G000 FOR GENERAL NOTES
2. REFER TO SHEET A111 FOR CEILING PLAN
3. REFER TO SHEET A121 FOR ROOF PLAN
4. REFER TO SHEET A201 FOR EXTERIOR ELEVATIONS
5. REFER TO A300 SERIES FOR WALL SECTIONS
6. REFER TO A300 SERIES FOR ENLARGED DETAILS
7. REFER TO SHEET A601 & A602 FOR DOOR & WINDOW SCHEDULES
8. REFER TO SHEET A603 FOR PARTITION TYPES

GENERAL NOTES

FLOOR PLAN KEY NOTES:

1	G.C. PROVIDE CONCRETE PAD AT WALK-IN COOLER
2	2" GAP AT WALK-IN COOLERS, TYP
3	ALUMINUM DOWNSPOUT, SEE CIVIL FOR DRAINAGE
4	GAS METERS, SEE PLUMBING DRAWING
5	WATER METER LOCATION- G.C. TO COORDINATE
6	CUSTOM MILLWORK AT CASHIER COUNTER, SEE INTERIOR ELEVATIONS FOR ADDITIONAL DETAIL
7	NOT USE
8	ELECTRICAL PANEL
9	FURNITURE (CASHIER) BY OWNER
10	RETAIL SHELVING BY OWNL
11	RETAIL EQUIPMENT SHOWN FOR REFERENCE, SEE EQUIPMENT PLAN BY OTHERS
12	MISC. MTL LADDER TO ATTIC ACCESS, PROVIDE BLOCKING IN WALL AS REQ'D FOR ATTACHMENT
13	PROVIDE ALUMINUM FLASHING, BACKER ROD & SEALANT, FROM BUILDING WALL AIR/WATER BARRIER OVER WALK-IN COOLERS TO PROVIDE WATER & AIR TIGHT SEAL AT BUILDING, ALL SIDES
14	NOT USED
15	G.C. PROVIDE SOLID BLOCKING IN WALL AS REQ'D FOR EQUIPMENT MOUNTING, SEE EQUIPMENT PLAN
16	G.C. PROVIDE 7/16" PLYWOOD AT ALL UTILITY ROOM WALLS UP TO 8'
17	NOT USED

FLOOR PLAN KEY NOTES

GENERAL NOTES:

1. DIMENSIONS ARE FROM FACE OF FINISH UNLESS OTHERWISE NOTED
2. REFER TO FINISH FLOOR PLAN AND ROOM FINISH SCHEDULE FOR ALL FINISHES
3. MINIMUM DRYWALL THICKNESS IS 5/8"
4. PROVIDE 3/8" TILE BACKING PANELS AT ALL WALLS TO RECEIVE TILE FINISH. OPPOSING FACE OF WET WALL SHALL HAVE DURA-ROCK A MIN. OF 4' A.F.F.
5. ALL INTERIOR WALL STUDS SHALL BE A MIN. OF 20 GAUGE. STUD DEPTH SHALL BE DETERMINED BY BLAKING REQUIREMENTS AND STUD LENGTH. DOUBLE 14 GAUGE STUDS SHALL BE INSTALLED ON EACH SIDE OF ALL DOOR OPENINGS AND AREAS THAT WILL SUPPORT SIGNS, CABINETS, SHELVES, ETC
6. ALL FLOOR PENETRATIONS SHALL HAVE A WATERPROOFING INSTALLED 3'-0" DIAMETER FROM THE CENTER OF THE PENETRATION OR 2'-0" FROM THE FOOTAGE OF WATERPROOFING AROUND THE PENETRATION
7. WALL DIMENSIONS FOR WALK-IN COOLERS ARE FROM EXTERIOR OF WALLS, U.O.N.
8. ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL RELATIVE TO THE CEILING PLANE, AND SHALL NOT FOLLOW VARIATIONS IN THE FLOOR PLANE
9. PARTITION TYPES ABOVE DOORS ARE TO BE SAME AS THE ADJACENT PARTITIONS, U.O.N. SEE A603 FOR PARTITION TYPES
10. ANY DIMENSION NOTED "VERIFY" OR "VIF" MUST BE CONFIRMED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION OF PARTITIONS.
11. PROVIDE BLOCKING AS REQUIRED IN PARTITIONS AND CEILINGS AT WALL AND CEILING MOUNTED SHELVING, MILLWORK, LIGHTING, ETC. IN DAMP AND WET AREAS BLOCKING SHALL BE MOISTURE RESISTANT. IN FIRE RATED ASSEMBLIES AND WITHIN 4'-0" HORIZONTALLY OF ALL COOKING EQUIPMENT BLOCKING SHALL BE NON-COMBUSTIBLE. COORDINATE LOCATIONS OF BLOCKING WITH ALL PLANS, ELEVATIONS, AND DETAILS. VERIFY SHOP STANDARDS WITH SUBCONTRACTORS AND SUPPLIERS AND REVIEW WITH ARCHITECT PRIOR TO INSTALLATION
12. LOCATIONS OF SLAB PENETRATIONS ARE TO BE CLEARLY IDENTIFIED AND REVIEWED FOR APPROVAL BY ARCHITECT PRIOR TO DRILLING
13. PROVIDE ADDITIONAL STUDS AS REQUIRED WITHIN PARTITIONS TO ADHERE OUTLET GROUPINGS AS SPECIFIED IN ELECTRICAL DRAWINGS
14. G.C. TO IDENTIFY AREAS TO REQUIRE ACCESS PANELS AND COORDINATE EXACT LOCATIONS, SIZES, AND QUANTITIES WITH ARCHITECT
15. G.C. IS RESPONSIBLE FOR MAINTAINING DIMENSIONS AS INDICATED ON THE DRAWINGS. ALL DIMENSIONS INDICATED AS "HOLD" SHALL NOT VARY MORE THAN 1/16". WHERE THIS TOLERANCE IS NOT OBTAINABLE THE ARCHITECT SHALL BE NOTIFIED PRIOR TO COMMENCEMENT OF THE WORK
16. DIMENSIONS INDICATED AS "CLEAR" OR "CLR" SHALL BE MAINTAINED. ANY DISCREPANCIES OR VARIATIONS IN THESE DIMENSIONS SHALL BE REVIEWED WITH THE ARCHITECT BEFORE BEGINNING CONSTRUCTION
17. THE DIMENSIONS AND WORK NOTED ON THESE DRAWINGS ARE INDICATED FOR DESIGN INTENT. IF THE INSTALLATION OF ELECTRICAL, MECHANICAL, PLUMBING, OR FIRE PROTECTION WORK INTERFERES WITH THIS INTENT, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH CONSTRUCTION
18. THE G.C. IS RESPONSIBLE FOR BRACING TO DECK OF PARTITIONS AT DOORS AND WINDOWS
19. G.C. TO COORDINATE LOCATIONS OF ALL MEP (INCLUDING THERMOSTATS, OUTLETS, ACCESS PANELS, EMERGENCY FIXTURES, SMOKE DETECTION FIXTURES, ETC) WITH EXISTING CONDITIONS, ARCHITECTURAL DRAWINGS, MILLWORK, FURNITURE, INTERIOR FINISHES, ETC AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO INSTALLATION OF EQUIPMENT OR SERVICES
20. G.C. TO COORDINATE ALL WALL HEIGHTS WITH THE INTERIOR ELEVATIONS. 26" WITHIN 2'-0" OF ALL FLOOR DRAINS, PROVIDE 1/8" ON 12" SLOPE TO FLOOR DRAINS

FLOOR PLAN GENERAL NOTES

PHASE ZERO DESIGN
30 POND PARK ROAD, SUITE 7B
HINGHAM, MA 02043
PHONE: (781) 462-7101
FAX: (781) 875-3670
www.phasezerodesign.com

CLIENT
SARA, LLC
3111 MAIN STREET
SPRINGFIELD MA

STRUCTURAL
SPINOSA ASSOCIATES
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Structural Mechanical Electrical
Fire Protection Technology
Fire Alarm Systems
Security Systems
Telephone Systems
Data Systems
Audio Visual Systems
Sound Systems
Nurse Call Systems
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Paging Systems
Intercom Systems
Access Control Systems
Video Surveillance Systems
Lighting Control Systems
Energy Management Systems
Building Automation Systems
Commissioning
Sustainable Design
Energy Conservation
Renewable Energy
Alternative Energy
Cogeneration
Tel: (508) 477-7000
Fax: (508) 477-7001
www.spinosaassociates.com

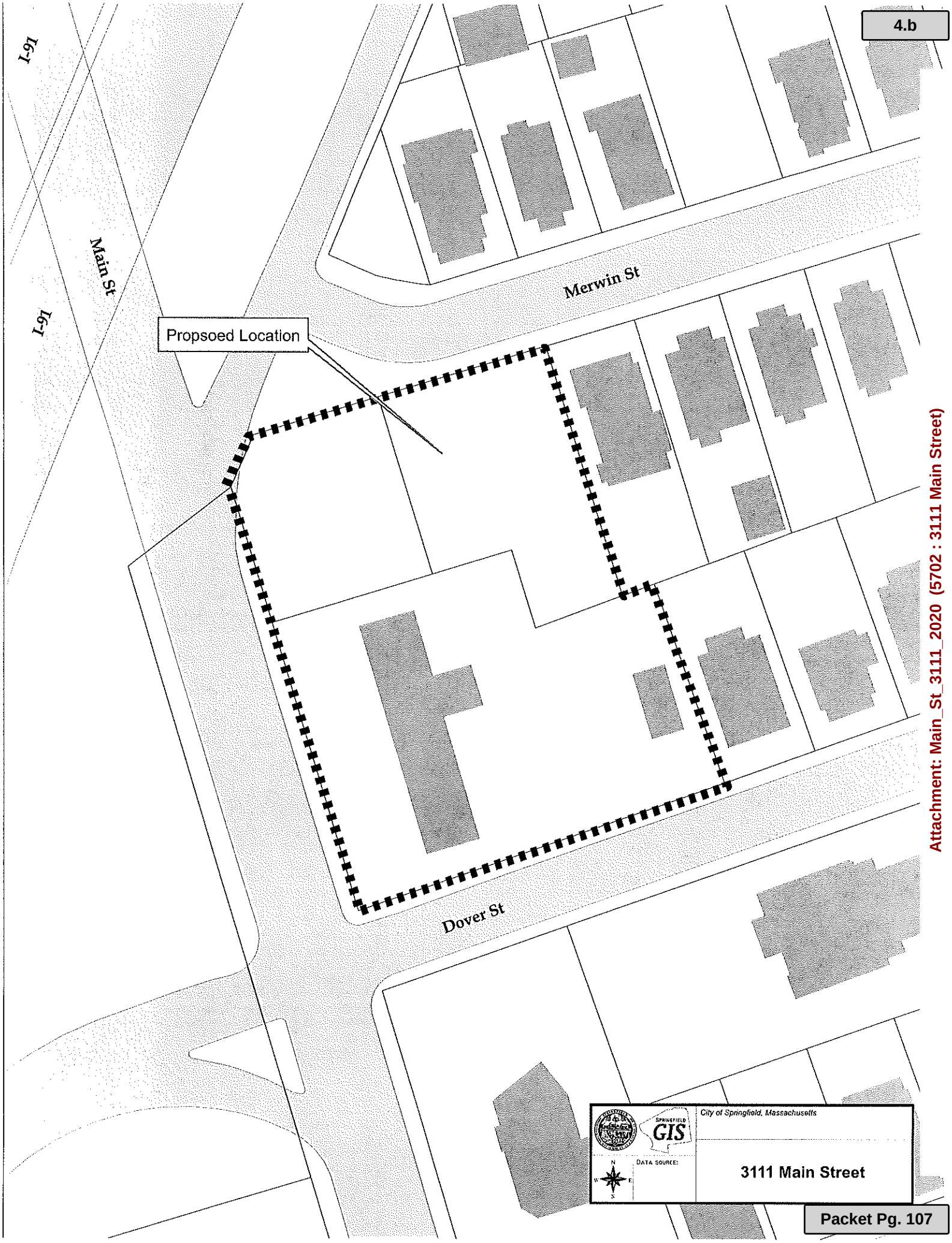
MOBILE FUELS - PROPOSED C-STORE
3111 MAIN STREET
SPRINGFIELD, MA

REVISIONS		
REV.	DATE	DESCRIPTION / COMMENTS

ISSUED FOR: PERMIT
ISSUED DATE: 05.XX.2020
DRAWN BY: AJ
CHECKED BY: BG
PROJECT NUMBER: 2110XXX

DRAWING NAME
OVERALL FLOOR PLAN

DRAWING NO.
A101



City Council
36 Court Street
Springfield, MA 01103

TABLED

PETITION (ID # 5693)

Meeting: 08/17/20 06:30 PM
Department: Economic Development
Category: Special Permit
Prepared By: Phil Dromey
Initiator: Phil Dromey
Sponsors:
DOC ID: 5693

For a Special Permit for the Expansion of a Non-Conforming Use (Used Car Sales) Located at the Property Known as 724 Page Boulevard (09440-0124) (Book#15109/Page#0177) to the Property Known as 734 Page Boulevard (09440-0127) (Book#22737/Page#187), as Allowed by M.G.L. and the Springfield Zoning Ordinance, Article 10, Section 10.1.30.

Request:	See Above
Owner:	Carlos G Dias
By:	Carlos G Dias
Petitioner:	Carlos G Dias
By:	Carlos G Dias

To The City Council of the City of Springfield:

The undersigned respectfully petition your honorable body

for a special permit for the expansion of a non-conforming use (used car sales) located at the property known as 724 Page Boulevard (09440-0124) (Book#15109/Page#0177) to the property known as 734 Page Boulevard (09440-0127) (Book#22737/Page#187), as allowed by M.G.L. and the Springfield Zoning Ordinance, Article 10, Section 10.1.30.

Mailing Address:

203 James Street
Ludlow, MA 01056

Owner & Petitioner:

Carlos G. Dias

I hereby certify that I am the owner and petitioner or acting on behalf of the owner and petitioner.

BY: _____
Carlos G. Dias

THE CITY OF
SPRINGFIELD, MASSACHUSETTS

06/01/2020

Special Permit
Tax Certification

I certify that all identifiable real estate, personal property and excise taxes have been paid by the petitioner and/or landlord associated with the special permit request shown below:

Special Permit : 724 Page Boulevard & 734 Page Boulevard
Petitioner : Carlos G. Dias
Landlord : Carlos G. Dias

Stephen J. Lonergan, Treasurer Collector

OFFICE OF PLANNING & ECONOMIC DEVELOPMENT
ANALYSIS FOR A SPECIAL PERMIT

734 PAGE BOULEVARD (09440-0127)
EXPANSION OF A NON-CONFORMING USE (MOTOR VEHICLE SALES)

General Information

Petitioner:	Carlos G Dias
Request:	Expansion of a pre-existing, non-conforming use (motor vehicle sales).
Proposed use of the property:	Motor vehicle sales
Property Size:	13,428 s.f.
Compatibility with current planning documents:	The East Springfield Neighborhood Plan shows no changes to this area.
Neighborhood council notification:	East Springfield Neighborhood Council: 6-1-20
Tax Status:	**SEE ATTACHED**
Site Visit:	7-23-20
Hearing Date:	8-17-20

Staff Analysis

Neighborhood characteristics:

The parcel is currently zoned Business A and is located in an area that has primarily commercial uses. The surrounding land uses include:

To the north is an American Legion Post zoned Business A.
To the south is a manufacturing operation zoned Industrial A.
To the east is a retail operation zoned Business A.
To the west is a used car sales operation zoned Business A.

Site plan review:

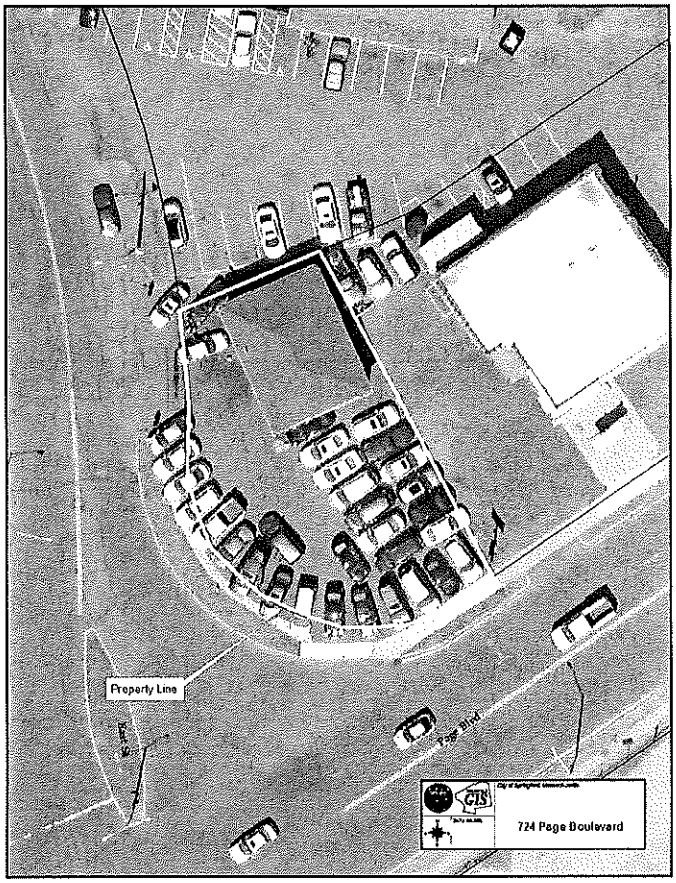
The petitioner has requested a special permit to allow for the expansion of a pre-existing, non-conforming use (used car sales) located at 724 Page Boulevard and expand it onto the adjacent property known as 724 Page Boulevard. This site at 724 Page Boulevard is the current location of New England Auto Wholesalers.

After review of the plans and visiting the site, the staff does not object to the proposed use, however, the staff does have the following concern with regards to the existing location at 724 Page Boulevard. Specially, it has been brought to the attention of the staff by the Department of Public Works (DPW) and the neighborhood council, that the petitioner has been parking vehicles for sale at 724 Page Boulevard within the public way and

across the existing sidewalk located along East Street.

In speaking directly with the Director of DPW, the staff was informed that this has been an issue that has he has been trying to resolve for some time. In fact, DPW indicated that the sidewalk along East Street has been painted black in order to make it appear part of the property. The owner of the property has indicated to DPW that they own this portion of the property but a property survey has never been provided which verifies this assertion. If a survey is provided to the DPW that shows ownership of this area, then the issue would be resolved.

As can be seen in the attached aerial photo, the vehicles can clearly be seen being parked into what appears to be the public way. Due to the fact that this special permit will be tied directly to this property at 724 Page Boulevard, the staff is recommending that this special permit not be approved until this issue is resolved.



Additionally, it was noted on the site plan submitted for 734 Page Boulevard it shows that some of the parking spaces located behind the building are partially located on the adjacent property known as 290 East Street. It needs to be stressed to the petitioner that this property is not part of the special permit and cannot be used to store or park vehicles.

Lastly, due to the number of vehicles currently being stored at 724 Page Boulevard it appears that customer and employee parking is limited. As such, it is essential that the area identified on the submitted site plan is left open for customer and employee parking and not used for the display or storage of vehicles for sale.

Recommendation

CONTINUE

Recommended Conditions (IF APPROVED)

1. This special permit is granted to this petitioner only.
2. This special permit is granted solely for the expansion of a pre-existing, non-conforming use (used car sales) at the property known as 724 Page Boulevard (09440-0124) onto the property known as 724 Page Boulevard (09440-0127).
3. The use shall be developed in accordance with the attached site plan, with the additions of conditions #4 through #11.
4. There shall be no display of vehicles parked within the public way or over the public sidewalks on either 724 or 734 Page Boulevard.
5. The vehicles currently being parked into the public way along East Street shall be relocated unless a legal property boundary survey is submitted to the Department of Public Works showing private ownership of this area.
6. The black paint used to cover the sidewalk along East Street shall be removed and the sidewalk re-established unless it is determined this area of the property is privately owned.
7. The site shall be maintained free of all weeds, trash and debris.
8. The building shall be maintained graffiti free.
9. The public sidewalks along Page Boulevard and East Street shall be maintained, including snow removal.
10. There shall be no vehicles parked and/or stored on the property known as 290 East Street.
11. There shall be no banners, streamer or other promotional materials located on the exterior of the building, fencing or property.
12. Compliance with these conditions, as well as any and all zoning regulations, is required. Failure to comply may result in denial of the issuance of a Building Permit and/or Occupancy Permit, revocation of any permits issued and/or enforcement by the Code Enforcement Department punishable by fines of up to $200 per day for each day a violation exists.

THE CITY OF
SPRINGFIELD, MASSACHUSETTS

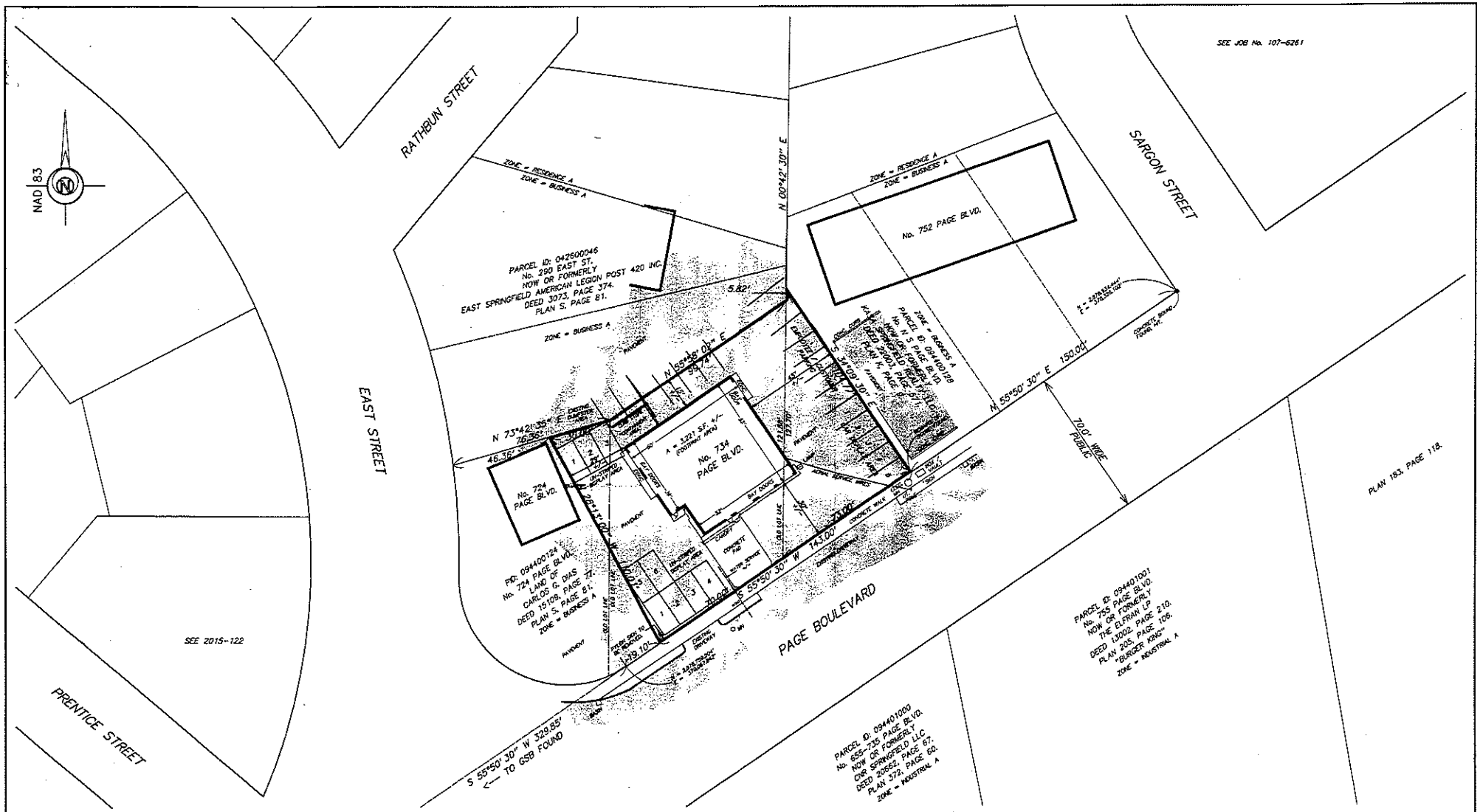
06/01/2020

Special Permit
Tax Certification

I certify that all identifiable real estate, personal property and excise taxes have been paid by the petitioner and/or landlord associated with the special permit request shown below:

Special Permit : 724 Page Boulevard & 734 Page Boulevard
Petitioner : Carlos G. Dias
Landlord : Carlos G. Dias

Stephen J. Lonergan, Treasurer Collector



DATE	NOTES / REVISIONS
NOTE	CONTACT DIG-SAFE PRIOR TO ANY EXCAVATIONS 1-888-344-7233
NOTE	SUBJECT TO EASEMENTS, RESTRICTIONS AND R.O.W.'S OF RECORD, IF ANY AND APPLICABLE.

SCALE 1" = 20'

0' 10' 20' 30' 40' 50' 80'

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISIONS OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN WAS MADE IN ACCORDANCE WITH THE MINIMUM RULES AND REGULATIONS OF THE REGISTRAR OF DEEDS.

SIGNED _____
EDWARD J. CHAPDELAINE
MASS. REG. No. 38378.

APPLICANT –

CARLOS DIAS – DBA
NEW ENGLAND AUTO WHOLESALERS, LLC
724 PAGE BOULEVARD
SPRINGFIELD, MA 01104
PHONE (413) 736-9602

OWNER OF RECORD –

PARCEL ID: 094400127
No. 734 PAGE BOULEVARD
CARLOS G. DIAS
DEED 22737, PAGE 187.
PLAN K, PAGE 9.
PLAN S, PAGE 81.

City Council Special Permit (Tier 3) Review Plan
Motor Vehicle Sales (14) & Motor Vehicle Services Permit Plan

SITE PLAN – 734 PAGE BOULEVARD

INDEXED _____

PLAN OF LAND IN THE CITY OF CHICOPEE, MASSACHUSETTS
HAMPDEN COUNTY – PREPARED FOR
CARLOS G. DIAS / NEW ENGLAND WHOLESALERS

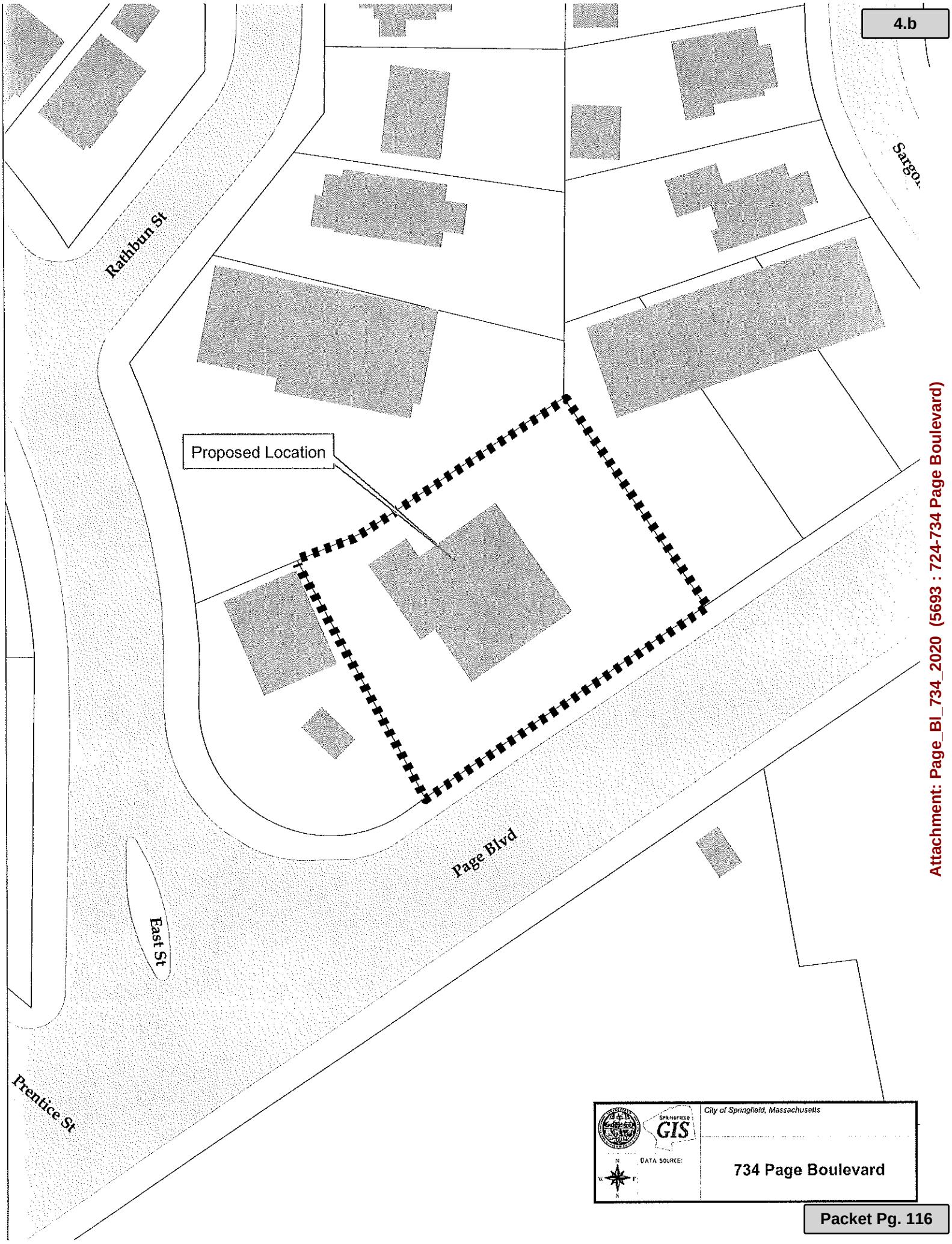
DURKEE, WHITE, TOWNE AND CHAPDELAINE
CIVIL ENGINEERS AND LAND SURVEYORS
356 FRONT STREET
CHICOPEE, MASSACHUSETTS – 01013
PHONE (413) 592-5164

SHEET 1 OF 1
FILE 2020-114.S90

DRAWN BY EJC
CHECKED BY ____
APPROVED BY EJC
SCANNED ____

DATE: 03/30/2020
SCALE 1" = 20'

DRAWING No. 96-5601
S.2020-114.1



City Council
36 Court Street
Springfield, MA 01103

TABLED

PETITION (ID # 5692)

Meeting: 08/17/20 06:30 PM
Department: Economic Development
Category: Special Permit
Prepared By: Phil Dromey
Initiator: Phil Dromey
Sponsors:
DOC ID: 5692

To Amend an Existing Special Permit (Motor Vehicle Sales), Granted May 2010, by Allowing a Change in the Petitioner, at the Property Known as 193 Taylor Street (11430 0163) (Book#14035/Page#172) as Allowed by M.G.L. and the Springfield Zoning Ordinance, Table 4-4, Section 12.1.

Request:	See Above
Owner:	Samuel Springer
By:	Samuel Springer
Petitioner:	Samuel Springer
By:	Samuel Springer

To The City Council of the City of Springfield:

The undersigned respectfully petition your honorable body

to amend an existing special permit (motor vehicle sales), granted May 2010, by allowing a change in the petitioner, at the property known as 193 Taylor Street (11430 0163) (Book#14035/Page#172) as allowed by M.G.L. and the Springfield Zoning Ordinance, Table 4-4, Section 12.1.

Mailing Address:

538 Page Boulevard
Springfield, MA 01104

Owner & Petitioner:

Samuel Springer

I hereby certify that I am the owner and petitioner or acting on behalf of the owner and petitioner.

By: _____
Samuel Springer

Stephen J. Lonergan
Collector/Treasurer

THE CITY OF
SPRINGFIELD, MASSACHUSETTS

May 13, 2020

Special Permit
Tax Certification

I certify that all identifiable real estate, personal property and excise taxes have been paid by the petitioner and/or landlord associated with the special permit request shown below:

Special Permit: 158 Avocado St – (00845-0035)

Petitioner and Property Owner: Springfield Cooperative Farmer's Market Association, Inc.
158 Avocado Street
Springfield, MA 01104

Representative: Richard A. Sypek, Esquire

Stephen J. Lonergan: Treasurer/Collector

OFFICE OF PLANNING & ECONOMIC DEVELOPMENT
ANALYSIS FOR A SPECIAL PERMIT

193 TAYLOR STREET (11430-0163)
MOTOR VEHICLE SALES

General Information

Petitioner:	Samuel Springer
Request:	To amend an existing special permit, granted May 2010 (used car sales) by allowing a change in the petitioner.
Proposed use of the property:	Used car sales.
Size:	9,241 s.f.
Compatibility with current planning documents:	The Downtown Master Plan shows no changes to this area.
Neighborhood council Notification:	Armoury Quadrangle Civic Association: 5-11-20
Tax Status:	**SEE ATTACHED**
Site Visit:	7-23-20
Hearing Date:	8-17-20

Staff Analysis

Neighborhood characteristics:

The parcel is zoned Business B. The area has a mix of commercial uses. The surrounding land uses include:

To the north is an auto repair operation zoned Business B.
To the south is a commercial parking lot zoned Business A.
To the east is a used car dealership zoned Business B.
To the west is a manufacturing operation zoned Business B.

Site plan review:

The petitioner has requested to amend an existing special permit for used car sales, granted May 2010, by allowing a change in the petitioner at the property known as 193 Taylor Street. This was the former location of an auto repair operation.

After reviewing the application and visiting the site, the staff does not object to the proposed request. As noted, this has been used for automotive sales for a number of years and the staff is not aware of any issues arising from this use. The only concern the staff does have is with the existing signage located on the side of the building. As can be seen by the attached photo, the existing wall sign has just been painted over. As part of this approval, the staff would strongly recommend that a condition be placed that requires the existing sign to be completely repainted or replaced as part of the new use and ownership. As with all signage, permits must be obtained by the Building Department before any new signage can be installed.

Lastly, as per the existing special permit, only seven (7) vehicles are allowed to be displayed on this site at any one time.

Recommendation

Approved, with conditions.

Recommended Conditions:

1. This special permit is granted to this petitioner only.
2. This special permit is granted solely for the operation of motor vehicle sales at the property known as 193 Taylor Street (11430-0163).
3. The use shall be developed according to the attached plan, with the addition of conditions #4 and #5.
4. All conditions placed on the May 28, 2010 special permit shall remain in effect.
5. The existing wall sign shall be completely repainted or replaced.

6. Compliance with these conditions, as well as any and all zoning regulations, is required. Failure to comply may result in denial of the issuance of a Building Permit and/or Occupancy Permit, revocation of any permits issued and/or enforcement by the Code Enforcement Department punishable by fines of up to $200 per day for each day a violation exists.

THE CITY OF
SPRINGFIELD, MASSACHUSETTS

05/26/2020

Special Permit
Tax Certification

I certify that all identifiable real estate, personal property and excise taxes have been paid by the petitioner and/or landlord associated with the special permit request shown below:

Special Permit : 193 Taylor Street
Petitioner : Samuel Springer
Landlord : Samuel Springer

Stephen J. Lonergan: Treasurer Collector

DEPARTMENTAL AND INTERDEPARTMENTAL CORRESPONDENCE
CITY OF SPRINGFIELD
MASSACHUSETTS

2010-1016

TO:

DATE: May 28, 2010

DEPARTMENT:

FROM: Wayman Lee, Esq.

COPIES TO:

DEPARTMENT: City Clerk

SUBJECT: 193 Taylor Street

This is to inform you that at a meeting of the City Council held on Monday, April 26, 2010 it was voted by the City Council according to law to grant a special permit to Owner: Daigle Realty, LLC By: Diane Scavotto and Petitioner: Jimmy J. Moore to allow used car sales at the property known as **193 Taylor Street** (11430-0163) as allowed by Massachusetts General Laws and the Springfield Zoning Ordinance, Article XI, Section 1101.11.d with the following conditions:

1. This special permit is granted to this petitioner only.
2. This special permit is granted solely for the operation of motor vehicle sales at the property known as 193 Taylor Street (11430-0163).
3. The use shall be developed according to the attached site plan and elevations, with the addition of conditions #4 through #10.
4. There shall be no more than seven (7) vehicles displayed or stored for sale at any one time.
5. The public sidewalk shall be maintained by petitioner including the removal of snow.
6. A full sign plan shall be submitted to the Office of Planning & Economic Development for review and approval prior to issuing a sign permit.
7. There shall be no outdoor storage of inoperable or junk vehicles or parts stored at this location.
8. There shall be no banners, streamers or additional signs located on the property or the vehicles.
9. There shall be no signs located on the public treebelt or public sidewalk.
10. The existing razor wire shall be removed.
11. Compliance with these conditions, as well as any and all zoning regulations, is required. Failure to comply may result in enforcement by the Code Enforcement Department punishable by fine of up to $100 per day for each day a violation exists.

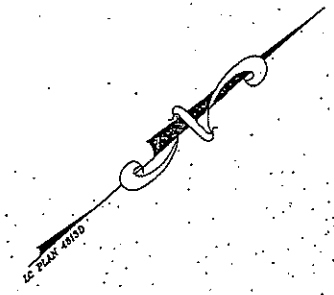
REASONS: (1) The specific site is an appropriate location for such a use, structure, or condition. (2) The use as developed will not adversely affect the neighborhood. (3)Adequate and appropriate facilities will be provided for the proper operation of the proposed use.

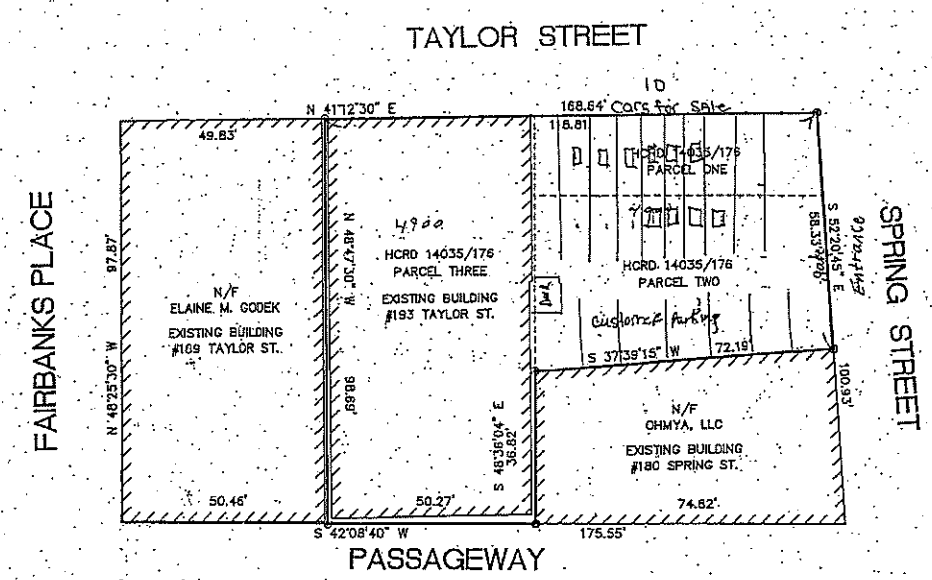
This permit becomes effective on May 28, 2010.

Very truly yours

Wayman Lee, Esq.
City Clerk

WL/laf





NOTES

1. THE PURPOSE OF THIS PLAN IS TO COMBINE SEVERAL PARCELS OF LAND AS DESCRIBED IN DEED RECORDED IN HCRD BOOK 14035, PAGE 176 INTO A SINGLE TRACT HAVING A TOTAL AREA OF 9,241 SQUARE FEET OR 0.212 ACRES.
2. THE PARCEL LINES SHOWN HEREON ARE BASED ON VARIOUS SOURCES OF INFORMATION INCLUDING CALLS IN THE VARIOUS DEEDS AND NOTES ON FILE WITH THE CITY OF SPRINGFIELD ENGINEERING DEPARTMENT. AN ATTEMPT HAS BEEN MADE TO BEST FIT THE AFOREMENTIONED CALLS ETC. AND THE EXISTING LOCATION OF LONG STANDING BUILDINGS ON THE SHOWN PARCELS. DUE TO THE LACK OF MONUMENTATION AND THE UNCERTAINITY OF THE VARIOUS CALLS ETC. IT IS RECOMMENDED THAT BOUNDARY LINE AGREEMENTS BE PURSUED WITH THE ABUTTING PROPERTY OWNERS.
3. ALL OF THE PARCELS SHOWN HEREON ARE SUBJECT TO ALL ENCUMBRANCES AND RESTRICTIONS OF RECORD IF IN FORCE AND APPLICABLE.

LEGEND

- ○ EXISTING IRON PIN
- □ EXISTING BOUND (AS NOTED)
- ⊗ EXISTING DRILL HOLE
- ⊙ IRON PIN TO BE SET
- ---+--- INTERIOR PARCEL LINE TO BE REMOVED
- HCRD HAMPDEN COUNTY REGISTRY OF DEEDS

I CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN.

DANIEL W. O'BRIEN P.L.S. #36388

REGISTRY USE ONLY

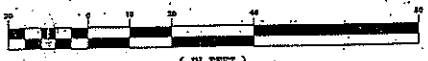
recorded
Book: 242 Page 49

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED
CITY OF SPRINGFIELD PLANNING BOARD

7/20/06
DATE

PLANNING BOARD ENDORSEMENT UNDER THE SUBDIVISION CONTROL LAW SHOULD NOT BE CONSTRUED AS EITHER AN ENDORSEMENT OR AN APPROVAL OF ZONING LOT AREA REQUIREMENTS.

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

PLAN OF LAND

TAYLOR + SPRING STREETS
SPRINGFIELD, MA

OWNED BY

DAIGLE'S STEER-O-MASTER REALTY, LLC

SCALE: 1" = 20' DATE: JULY 18, 2006

SMITH ASSOCIATES
SURVEYORS, INC.
165 SHAKER ROAD EAST LONGMEADOW, MA 01028

City Council
36 Court Street
Springfield, MA 01103

TABLED

PETITION (ID # 5655)

Meeting: 08/17/20 06:30 PM
Department: Economic Development
Category: Special Permit
Prepared By: Phil Dromey
Initiator: Phil Dromey
Sponsors:
DOC ID: 5655

For a Special Permit for Motor Vehicle Sales at the Property Known as NS Worcester Street (A.K.A. 93 Grochmal Avenue)(12525-0150)(Book#11182/Page#387), as Allowed by M.G.L. and the Springfield Zoning Ordinance, Article 4, Table 4-4, Section 12.1.

Request:	See Above
Owner:	Hayastan Industries, Inc.
By:	Stephen Shahabian
Petitioner:	Stephen Shahabian
By:	Stephen Shahabian

To The City Council of the City of Springfield:

The undersigned respectfully petition your honorable body

for a special permit for motor vehicle sales at the property known as NS Worcester Street (a.k.a. 93 Grochmal Avenue)(12525-0150)(Book#11182/Page#387), as allowed by M.G.L. and the Springfield Zoning Ordinance, Article 4, Table 4-4, Section 12.1.

Mailing Address:

64 Cedar Street
Foxboro, MA 02035

Owner:

Hayastan Industries, Inc.

I hereby certify that I am the owner or acting on behalf of the owner.

BY:_____
Stephen Shahabian

Mailing Address:

64 Cedar Street
Foxboro, MA 02035

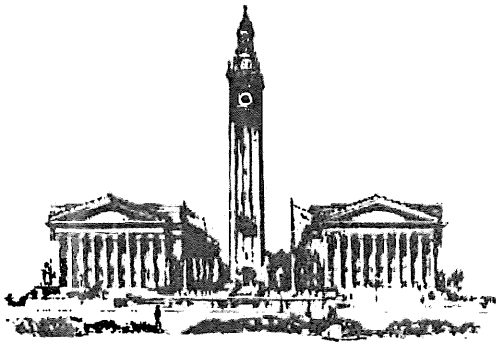
Petitioner:

Stephen Shahabian

I hereby certify that I am the petitioner or acting on behalf of the petitioner.

BY:_____
Stephen Shahabian

Stephen J. Lonergan
Collector/Treasurer



THE CITY OF
SPRINGFIELD, MASSACHUSETTS

May 12, 2020

Special Permit
Tax Certification

I certify that all identifiable real estate, personal property and excise taxes have been paid by the petitioner and/or landlord associated with the special permit request shown below:

Special Permit: NS Worcester St (aka 93 Grochmal Ave) – (12525-0150)

Petitioner: Stephen Shahabian
64 Cedar Street
Foxboro, MA 02035

Property Owner: Hayastan Industries, Inc
64 Cedar Street
Foxboro, MA 02035

Stephen J. Lonergan: Treasurer/Collector

OFFICE OF PLANNING & ECONOMIC DEVELOPMENT
ANALYSIS FOR A SPECIAL PERMIT

NS WORCESTER STREET (A.K.A. 93 GROCHMAL AVENUE)(12525-0150)
MOTOR VEHICLE SALES

General Information

Petitioner:	Stephen Shahabian
Request:	Motor vehicle sales
Proposed use of the property:	Motor vehicle sales
Parcel Size:	608,098 s.f.
Compatibility with current planning documents:	The Indian Orchard Neighborhood Plan shows no changes to this area.
Neighborhood council Notification:	Indian Orchard Citizens Council: 5-14-20
Tax Status:	**SEE ATTACHED**
Site Visit:	7-23-20
Hearing Date:	8-17-20

Staff Analysis

Neighborhood characteristics:

The property is split zoned Business A and Business B is located in an area that has a mix of both residential and commercial/industrial uses. The surrounding land uses include:

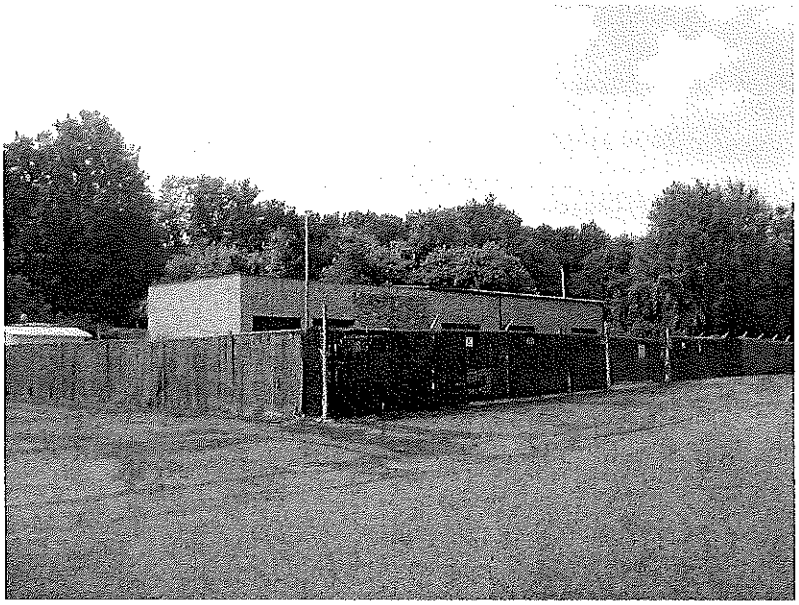
To the north is the City's fire training operation zoned Residence B.
To the south are single family homes zoned Residence A and Residence B.
To the west are self-storage units zoned Business B.
To the ease are mobile homes zoned Business A.

Site plan review:

The petitioner has requested a special permit to allow for motor vehicles sales on a portion of the property known as NS Worcester Street (a.k.a. 93 Grochmal Avenue). This site is currently being used for a garage area for the adjacent mobile home park.

After reviewing the plans and visiting the site, the staff does not object to the proposed request. As noted above, this site is currently being used in conjunction with the adjacent mobile home park and is currently fenced. In speaking with the petitioner, he has indicated that he only sells a few cars a years and would agree

to limit the amount of vehicles to no more than five (5) at any one time. He has also indicated that no repair work to vehicles would be done at this location.



Recommendation

Approve, with conditions.

Recommended Conditions:

1. This special permit is granted to this petitioner only.
2. This special permit is granted solely for motor vehicle sales at the property known as NS Worcester Street (a.k.a. 93 Grochmal Avenue)(12525-0150).
3. The use shall be developed as per the attached site plan, with the addition of conditions #4 though #7.
4. There shall be no more than five (5) vehicles stored/displayed for sale at any one time.
5. There shall be no automotive repairs completed at this location.
6. There shall be no storage of junk vehicles and/or parts located at this location.
7. Any and all signage shall be permitted through the Building Department prior to installation.
8. Compliance with these conditions, as well as any and all zoning regulations, is required. Failure to comply may result in denial of the issuance of a Building Permit and/or Occupancy Permit, revocation of any permits issued and/or enforcement by the Code Enforcement Department punishable by fines of up to $200 per day for each day a violation exists.

Stephen J. Lonergan
Collector/Treasurer

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INDIAN ORCHARD CITIZEN'S COUNCIL

March 30, 2020

To whom it may concern:

The Indian Orchard Citizens Council is in support of the request for Stephen Shahabian to have a used car lot at the Bircham Bend mobile home park.

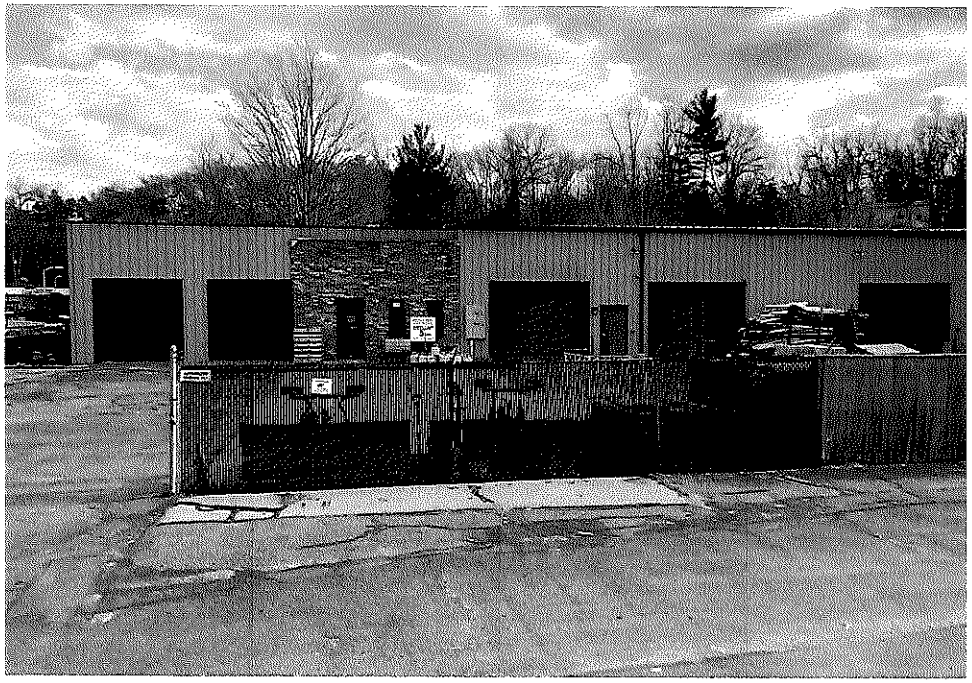
Mr. Shahabian attended and presented at our council meeting on 3/11/2020. We had a site visit with neighbors at the park on 3/20/2020 at 5 Pm. There were about 10 residents who were able to ask questions and voice their opinions and concerns. The main concern was of the amount of cars that would be on the lot and if there was going to be any auto work being done. Mr. Shahabian agreed to no more than 5 cars at a time and no work would be done on the cars on the premises.

Should you need to follow up on my letter of support for this project please do not hesitate to contact me. Zaida.govan@yahoo.cm or 413-301-2533.

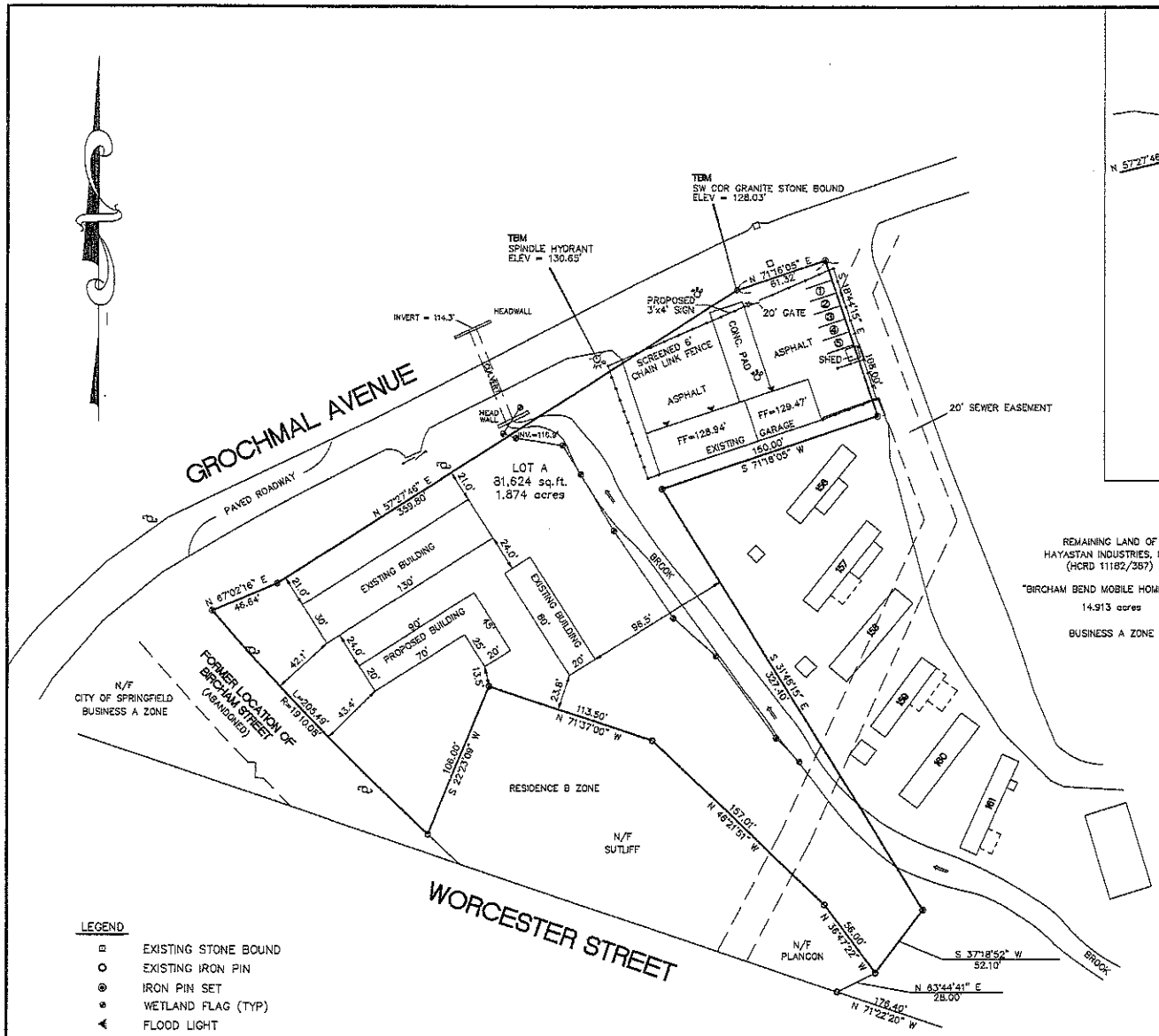
In Service,

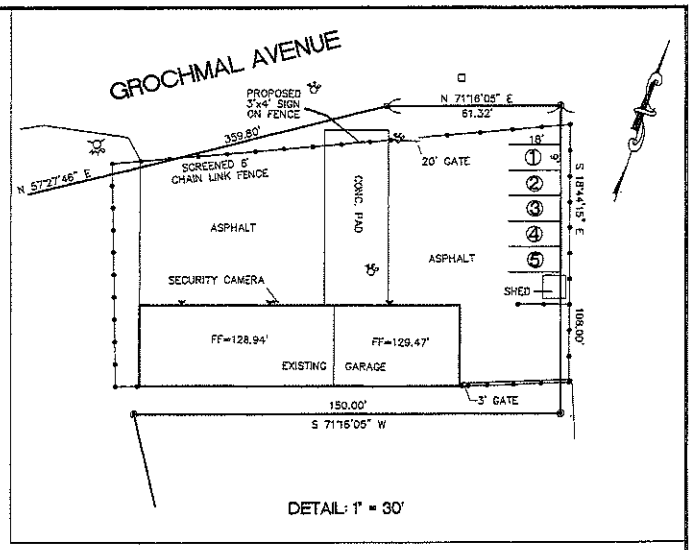
Zaida Govan, President

117 Main Street P. O. Box 51593 Indian Orchard, MA 01151 413-209-8240
iocc.council@gmail.com




AUTHORIZED
PERSONNEL ONLY





NOTES:

1. FOR TITLE TO THE PREMISES SHOWN HEREON SEE DEED FROM STANLEY R. GROCHMAL, JR. AND MARK P. GROCHMAL TO HAYASTAN INDUSTRIES, INC., RECORDED IN HCRD BOOK 11182, PAGE 387. SEE ALSO PLAN RECORDED IN HCRD BOOK OF PLANS 316, PAGE 118. LOT "A" AS SHOWN IS ZONED BUSINESS B.
2. THE WETLAND FLAGS SHOWN HEREON WERE PLACED BY BAYSTATE ENVIRONMENTAL CONSULTANTS AND FIELD LOCATED BY THIS OFFICE ON JUNE 28, 2016.
3. REFERENCE IS MADE TO A "SITE PLAN, PROPOSED SELF-STORAGE FACILITY, GROCHMAL AVENUE, SPRINGFIELD, MA, HAYASTAN INDUSTRIES, INC. – OWNER", DATED FEBRUARY 6, 2017, REVISED 7/14/17 BY GARY P. WEINER, P.E.

PLOT PLAN

FOR PROPOSED USED CAR LOT

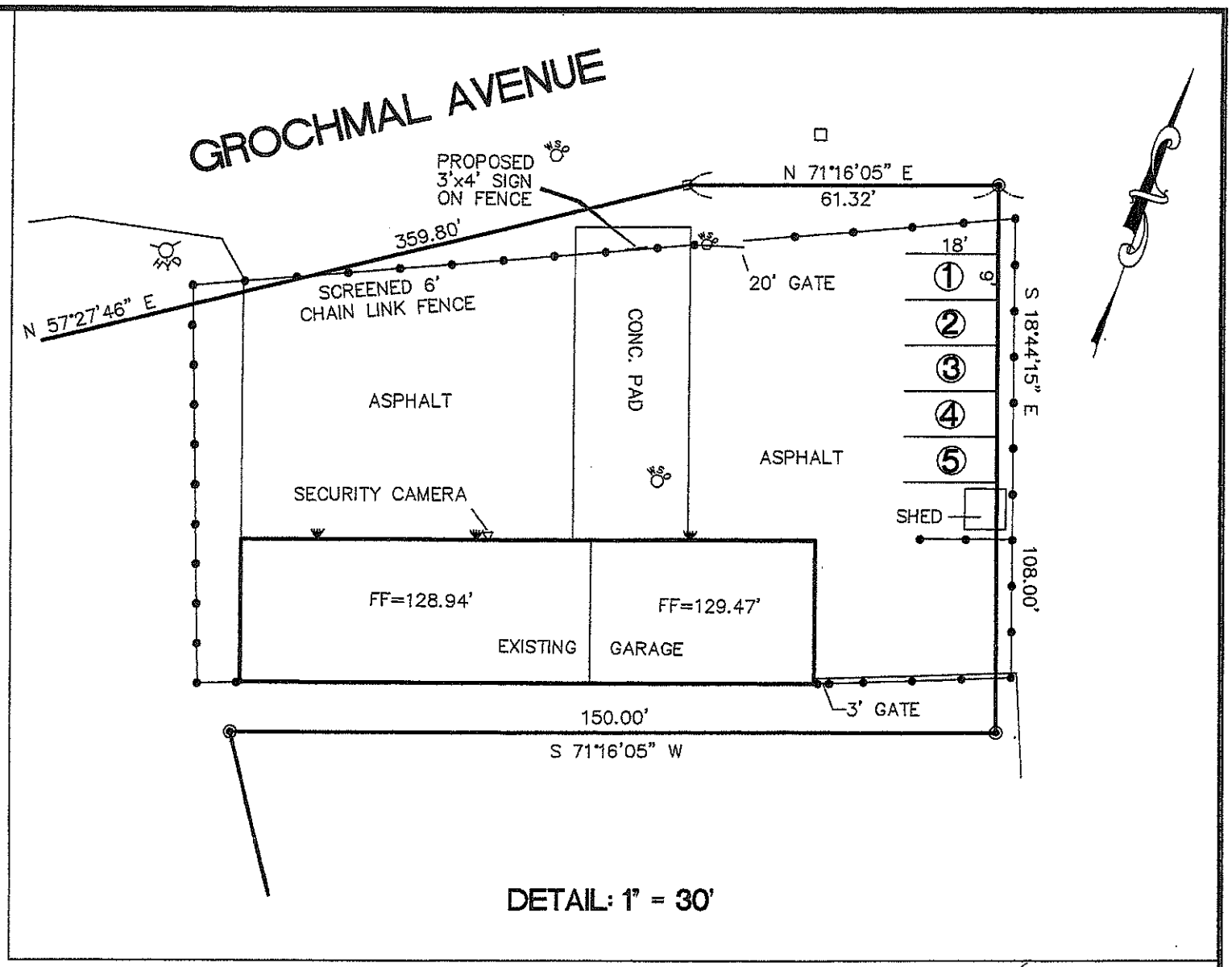
GROCHMAL AVENUE
SPRINGFIELD, MASS.

OWNED BY

HAYASTAN INDUSTRIES, INC.

SCALE: 1" = 50' DATE: APRIL 13, 2020

SMITH ASSOCIATES
SURVEYORS, INC.
468 BALDWIN STREET EAST LONGMEADOW, MA 01028 (413)525-8801



Inset

20' SEWER EASEMENT

REMAINING LAND OF
HAYASTAN INDUSTRIES, INC.
(HCRD 11182/387)